

TO: Mike Dayton, Town Planner

FROM: Nick Casparino, Engineering Technician *MSC*

DATE: October 3, 1994

RE: On-site plans for National Amusements - 936 Silver Lane

The plans for the on-site improvements for National Amusements have been revised to reflect the Planning & Zoning Commission's conditions of approval with respects to the engineering concerns. Construction plans for the off-site public improvements required for Silver Lane and Applegate Lane have not been submitted at this time. The off-site improvements will require approval from the Inland Wetland Commission.

Attached are one mylar and three blue-line copies of the site plan, A-2 survey, landscape plan (along Forbes Street), and a revised sheet #3 of the site plans for your files.

xc: Mike Mancini, Town Engineer

national

RECEIVED
TOWN OF EAST HARTFORD
DEVELOPMENT DEPARTMENT
94 SEP 30 PM 1:13

MEMO

TO: Michael Dayton, Town Planner
FROM: Robert Sukosky, Asst. Town Engineer *RS*
DATE: April 1, 1996
RE: 936 Silver Lane - National Amusements -
Revised drop off lane

Please be advised that plans for the above referenced site have been revised to incorporate the Design Review Committee's conditions of approval with respect to the engineering concerns.

Attached is one (1) set mylar and two (2) sets of paper prints.

RECEIVED
TOWN OF EAST HARTFORD
DEVELOPMENT DEPARTMENT
96 APR - 1 PM 3: 54

MYLARS

PROPOSED CINEMA ADDITION

FOR

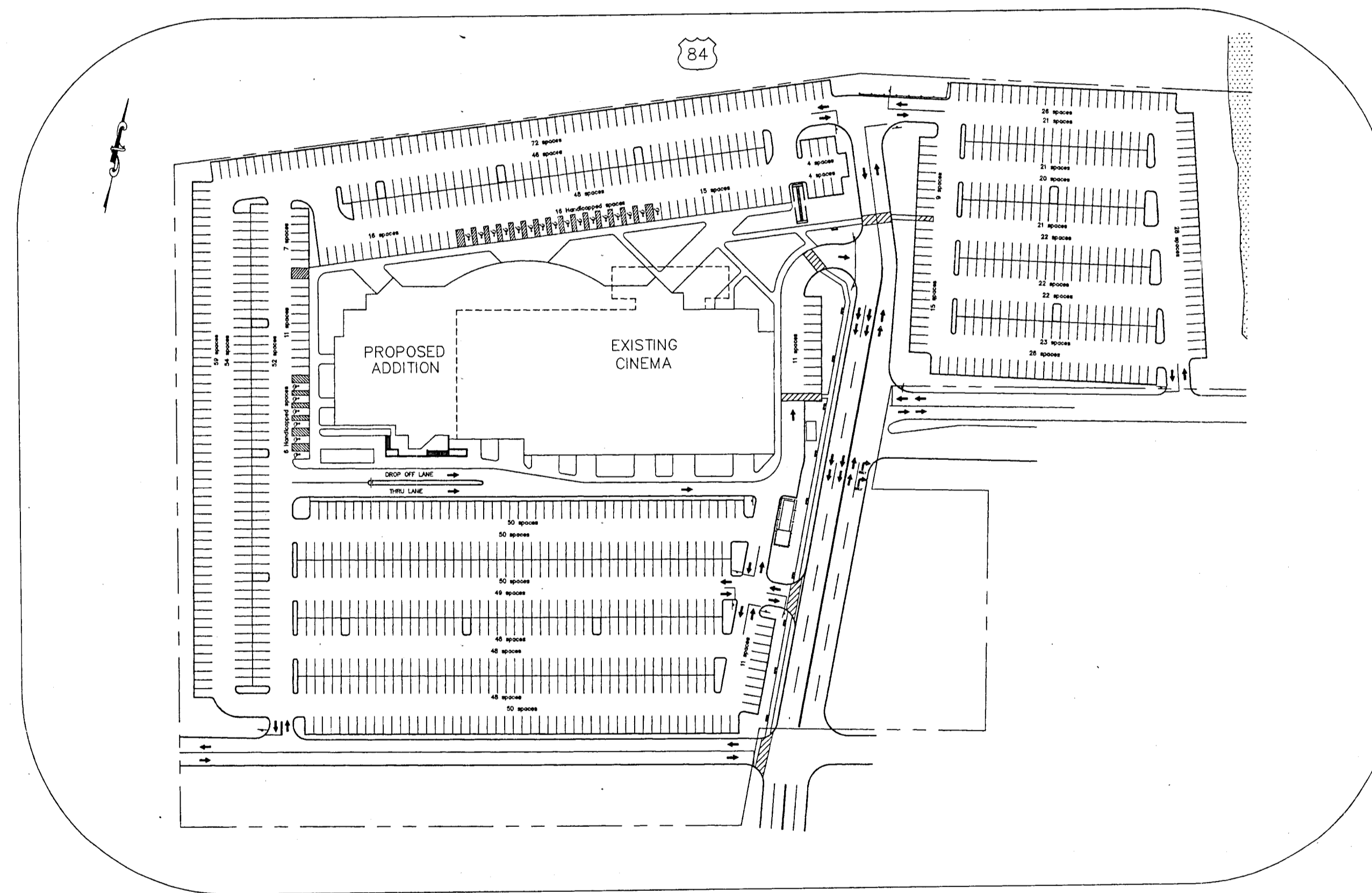
SHOWCASE CINEMAS

EAST HARTFORD, CT

PREPARED FOR

NATIONAL AMUSEMENTS, INC.

200 ELM STREET DEDHAM, MA



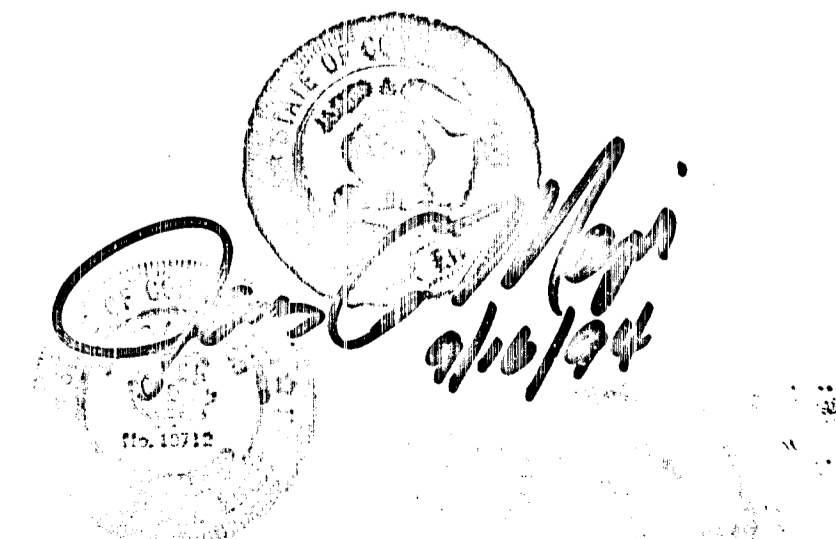
LOCUS PLAN
NOT TO SCALE

PREPARED BY

**Allen & Major
Associates, Inc.**

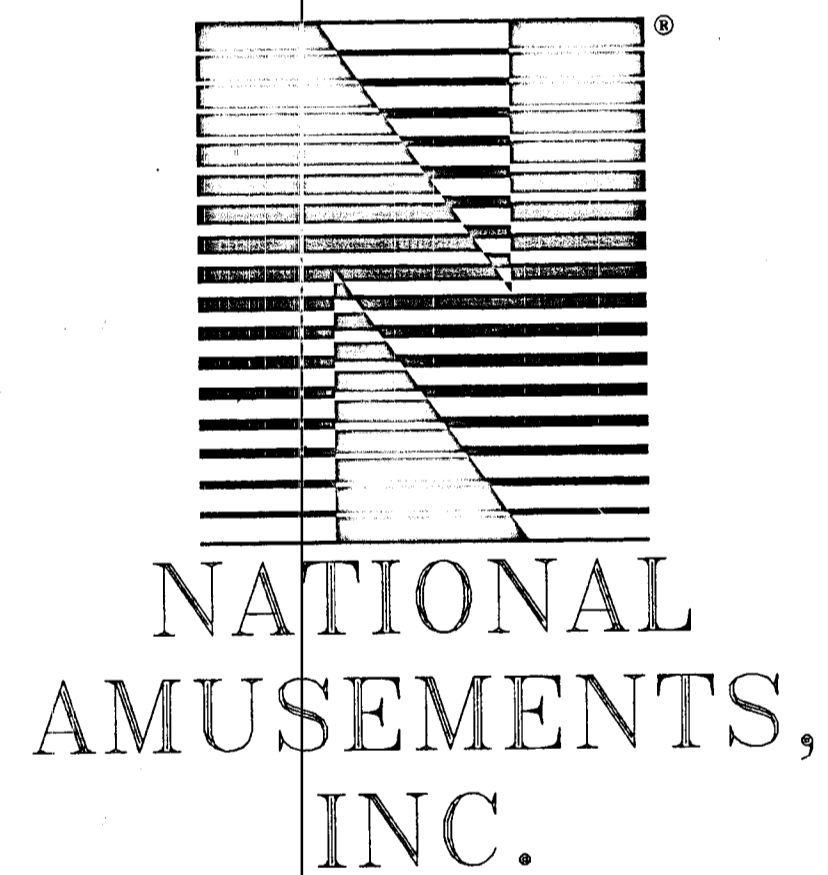
CIVIL ENGINEERS & LAND SURVEYORS
400 WEST CUMMINGS PARK SUITE 5050
WOBURN, MASSACHUSETTS 01801
(617) 935-6889 FAX: (617) 935-2896

247 LONDONDERRY TURNPIKE
AUBURN, NH 03032
(603) 641-8300 FAX: (603) 641-8882



LIST OF DRAWINGS

TITLE	SHEET No.
COVER SHEET	1
ABBREVIATIONS, NOTES, LEGENDS	1A
EXISTING CONDITIONS PLAN	2
PARKING PLAN	3
GRADING & UTILITY PLAN	4
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LIGHTING PLAN	6
LAYOUT PLAN	7
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DETAILS	9
DETAILS	10
DETAILS	11



TOWN OF EAST HARTFORD PLANNING AND ZONING COMMISSION SITE PLAN CERTIFICATE OF APPROVAL	
APPROVAL DATE	9/14/94
EXPIRATION DATE	9/14/99
<i>[Signature]</i>	CHAIRMAN

NOTES:

-The developer shall notify The Town of East Hartford Engineering Division 24 hours prior to beginning any storm drainage, roadway preparation, paving, sidewalk, curbing, street line monumentation, property corner pins, etc., to schedule inspections. The Division can be reached between 8:30 A.M. to 4:30 P.M. at 291-7380

Site plan design criteria is based upon the technical requirements as set forth in the East Hartford Subdivision Regulations.

CS-1
REVISED 6-23-94
7-26-94
9-7-94
9-16-94

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ABBREVIATIONS

- R = Rim
 - I = Invert
 - BC = Bottom Center
 - LD = Loading Dock
 - SGC = Sloped Granite Curb
 - GC = Granite Curb
 - CC = Cape Cod Berm
 - CNC = Concrete
 - CONC = Concrete
 - BIT = Bituminous Concrete
 - CRB = Curb
 - WG = Water Gate
 - HYD = Hydrant
 - TBA = To Be Abandoned
 - CB = Catch Basin
 - SMH = Sewer Manhole
 - DMH = Drainage Manhole
 - CLF = Chain Link Fence
 - PC = Point of Curvature
 - PT = Point of Tangency
 - RAD = Radius
 - PCB = Proposed Catch Basin
 - STMH = Steam Manhole
 - YH = Yard Hydrant
 - TD = Trench Drain
 - TMH = Telephone Manhole
 - EMH = Electric Manhole
 - BVV = Bordering Vegetated Wetland
 - N = North
 - E = East
 - PL = Property Line
 - MIN = Minimum
 - MAX = Maximum
 - TBR&R = To Be Removed & Reset
 - TBR = To Be Removed
 - W = Water
 - G = Gas
 - T = Telephone
 - UE = Underground Electric
 - PDMH = Proposed Drainage Manhole
 - PCB = Proposed Catch Basin
 - D = Drain
 - S = Sewer
- GRAN = Granite
 - LTO = Left Turn Only
 - RTO = Right Turn Only
 - TYP = Typical
 - RTE = Route
 - EL = Elevation
 - ELEV = Elevation
 - BLDG = Building
 - PROP = Proposed
 - OHV = Over Head Wire
 - VCP = Vitrified Clay Pipe
 - FFE = Finished Floor Elevation
 - PDMH = Proposed Drain Manhole
 - PSMH = Proposed Sewer Manhole
 - NVF = Now or Formerly
 - MH = Manhole
 - Ac = Acres
 - AC = Acres
 - SB/DH = Stone Bound with Drill Hole
 - CB = Concrete Bound
 - DH = Drill Hole
 - FND = Found
 - FOUND = Foundation
 - IP = Iron Pipe
 - UP = Utility Pole
 - ULP = Utility Light Pole
 - HCP = Handicapped Parking
 - IR = Iron Rod
 - PK = Parker Kaon Nail
 - ST/NL = Stake and Nail
 - S.F. = Square feet
 - DIA = Diameter
 - BWW = Boston Water Works Gate
 - PIV = Position Indicator Valve
 - CATV = Cable Access Television
 - ELEC = Electric
 - LP = Light Pole
 - PVC = Polyvinylchloride
 - BM = Benchmark
 - TBM = Temporary Benchmark
 - R = Radius
 - RAD = Radius
 - L = Length
 - NTS = Not to Scale

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.
3. PERMANENT VEGETATION TO BE SEEDDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF PRELIMINARY GRADING.
5. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E., STEEP SLOPES, DRIVEWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE.
6. THE CONTRACTOR SHALL INSTALL A PAD OF 1-1/2 TO 2 INCH STONE AT ALL CONSTRUCTION DRIVEWAYS IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
7. ANY SOIL HAVING A pH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING pH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION.
8. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER.
9. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED. ANY DEVIATION IN THE METHODS OF RESTORATION WILL REQUIRE THE NECESSARY APPROVALS BY THE TOWN OF EAST HARTFORD.
10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.

LANDSCAPE LEGEND

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
A	37	FORSYTHIA SUSPENS	FORSYTHIA	2' - 3'	B&B	SPACE EVENLY
B	134	JUNIPERUS COMMUNIS	COMMON JUNIPER	24"-36"	B&B	PLANT 48" - 60" OC
C	3	PINUS STROBUS	WHITE PINE	12'-14'	B&B	FULL TO GROUND
D	3	CORNUS FLORIDA	FLOWERING DOGWOOD	7' - 8'	B&B	PIT - 3 X BALL DIA.
E	122	EUNONYMOUS ALATUS	WINGED EUNONYMOUS BURNING BUSH	2'-3'	B&B	SPACE EVENLY
F	114	RHODODENDRON P.J.M.	PJM RHODODENDRON	2'-3'	B&B	SPACE EVENLY
G	20	PINUS NIGRA	AUSTRIAN PINE	12'-14'	B&B	SPACE EVENLY
H	37	TSUGA CANADENSIS	CANADIAN HEMLOCK	3-1/2'-4'	B&B	SPACE EVENLY
J	16	PYRUS COLLERYANA	BRADFORD CALLERY PEAR	3"-3-1/2" CAL.	B&B	SPACE EVENLY
K	30	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEY LOCUST	3"-3-1/2" CAL.	B&B	SPACE EVENLY
L	33	BERBERIS THUNBERGI	JAPANESE BURBERRY	2'-2-1/2'	B&B	SPACE EVENLY
M	49	RHODODENDRON ROSEUM	ROSEHELL AZALEA	1-1/2'-2'	B&B	SPACE EVENLY
N	35	ACER RUBRUM	RED MAPLE	2-1/2"-3" CAL.	B&B	SPACE EVENLY
P	177	JUNIPERUS CHINENSIS PFITZERIANA	PFITZER JUNIPER	2-1/2'-3'	B&B	SPACE EVENLY
	14	EXISTING TREE TO REMAIN				
	13	EXISTING TREE TO BE REMOVED				
		LANDSCAPING BY OTHERS				

LEGEND

- EXISTING
- PROPOSED
- PROPERTY LINE
- EASEMENT LINE
- BORDERING VEGETATED WETLAND LINE
- SEWER LINE
- WATER LINE
- 6"W
- D
- G
- E&T
- ELECTRIC AND TELEPHONE LINE
- EDGE OF BITUMINOUS PAVEMENT CURBING
- 100' BUFFER ZONE LINE
- 150' BUFFER ZONE LINE
- CONTOUR LINE
- BUILDING
- HANDICAP PARKING
- LIGHT POLE
- SPOT GRADE
- STONE WALL
- STOCKADE FENCE
- CHAIN LINK FENCE
- SEWER MANHOLE
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- DRAIN MANHOLE
- CATCH BASIN
- HYDRANT
- YARD HYDRANT
- FLARED END SECTION
- CENTER LINE
- SILT FENCE
- GUARD RAIL
- LIMIT OF WORK BY OTHERS
- 100 YEAR FLOOD ELEVATION

LIGHTING LEGEND

- POLE: #SSS-25-5G-DM49
LUMINAIRES: 4 #KVS3-400-R5(R3)-208-SP12
LAMPS: 4 #LU400
* SEE NOTE 5 IN LIGHT POLE BASE DETAIL FOR REFLECTOR TYPE
- POLE: #SSS-25-5G-T35 WITH T35-320 FITTER
LUMINAIRES: 3 #KVS3-400-R5-208-RP12
LAMPS: 3 #LU400
* SPECIAL- TENON TOP POLE WITH SLIPFITTER ADAPTER FOR 3 FIXTURES @ 120" APART, FIXTURE ARMS ARE FOR ROUND ADAPTER
- POLE: #SSS-25-5G-DM28
LUMINAIRES: 2 #KVS3-400-R5-208-SP12
LAMPS: 2 #LU400
- POLE: #SSS-25-5G-DM19
LUMINAIRES: 1 #KVS3-400-R5-208-SP12
LAMPS: 1 #LU400
- LIGHTING BY OTHERS

NOTE: PROVIDE 1-#10 GREEN GROUND IN ALL CONDUITS

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

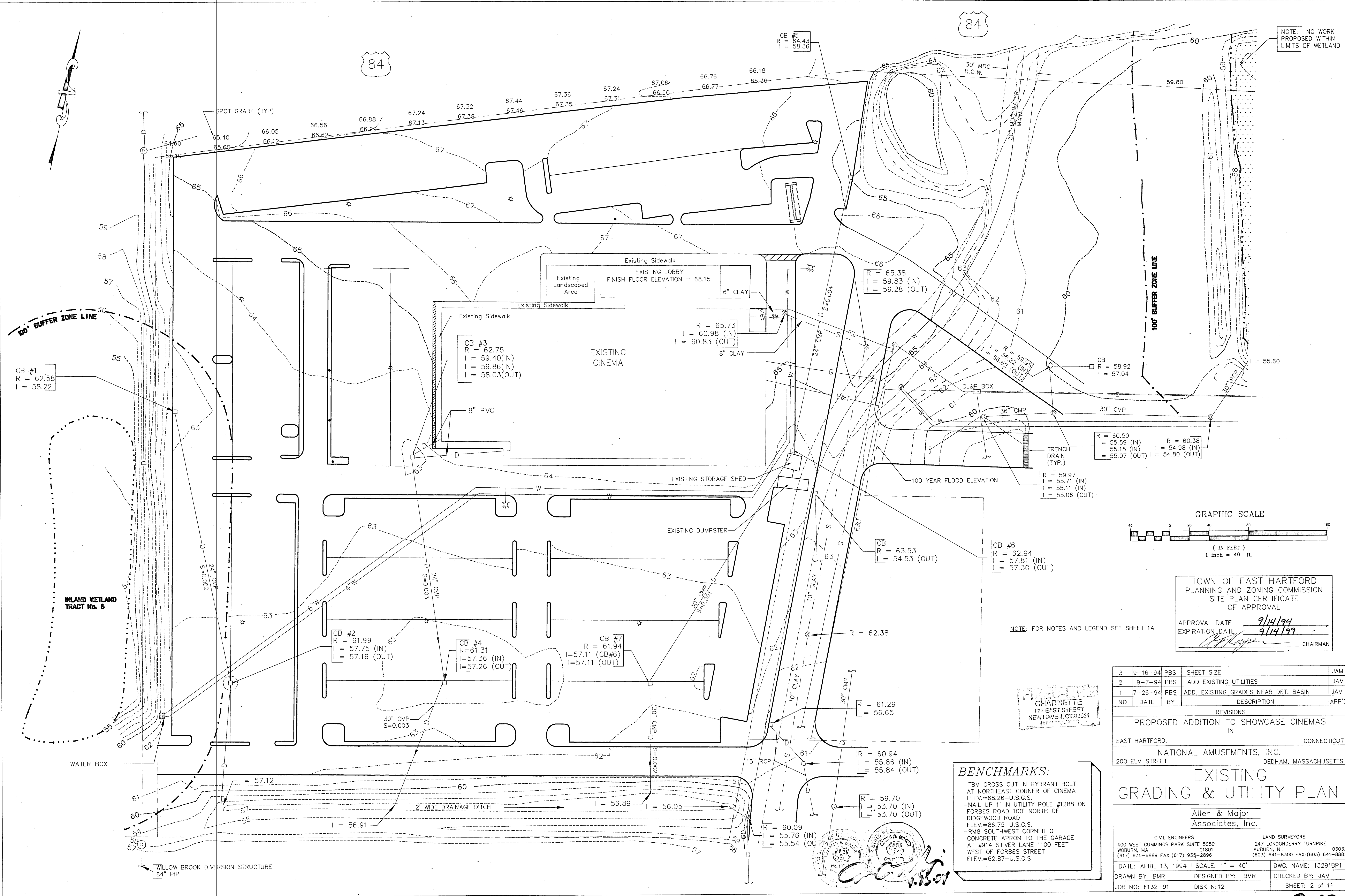
APPROVAL DATE 9/14/94
EXPIRATION DATE 9/14/99

[Signature] CHAIRMAN

NO	DATE	BY	DESCRIPTION	APP'D
REVISIONS				
PROPOSED ADDITION TO SHOWCASE CINEMAS IN				
EAST HARTFORD,			CONNECTICUT	
NATIONAL AMUSEMENTS, INC.				
200 ELM STREET			DEDHAM, MASSACHUSETTS	
ABBREVIATIONS, NOTES AND LEGENDS				
Allen & Major Associates, Inc.				
CIVIL ENGINEERS		LAND SURVEYORS		
400 WEST CUMMINGS PARK SUITE 5050 WOBRURN, MA 01801 (617) 935-6889 FAX: (617) 935-2896		247 LONDONDERRY TURNPIKE AUBURN, NH 03032 (603) 641-8300 FAX: (603) 641-8882		
DATE: SEPT. 16, 1994	SCALE: AS NOTED	DWG. NAME: 13291NDX		
DRAWN BY: BMR	DESIGNED BY: BMR	CHECKED BY: JAM		
JOB NO: F132-91	DISK N: 12	SHEET: 1A of 11		



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NOTE: NO WORK PROPOSED WITHIN LIMITS OF WETLAND

CB #1
R = 62.58
I = 58.22

CB #3
R = 62.75
I = 59.40 (IN)
I = 59.86 (IN)
I = 58.03 (OUT)

CB #2
R = 61.99
I = 57.75 (IN)
I = 57.16 (OUT)

CB #4
R = 61.31
I = 57.36 (IN)
I = 57.26 (OUT)

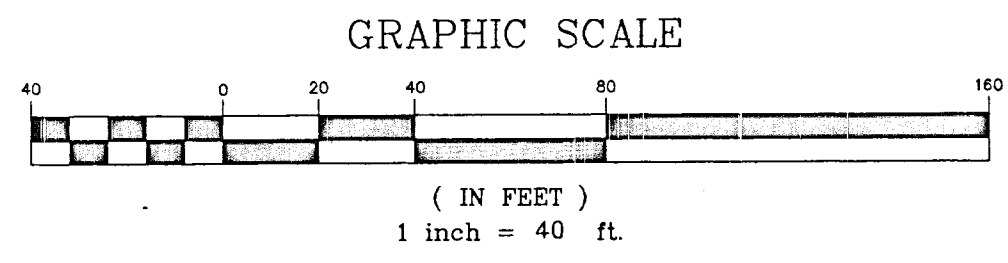
CB #7
R = 61.94
I = 57.11 (CB#6)
I = 57.11 (OUT)

CB
R = 63.53
I = 54.53 (OUT)

CB #6
R = 62.94
I = 57.81 (IN)
I = 57.30 (OUT)

BENCHMARKS:

- TBM CROSS CUT IN HYDRANT BOLT AT NORTHEAST CORNER OF CINEMA ELEV.=68.26-U.S.G.S.
- NAIL UP 1" IN UTILITY POLE #1288 ON FORBES ROAD 100' NORTH OF RIDGEWOOD ROAD ELEV.=86.75-U.S.G.S.
- RM8 SOUTHWEST CORNER OF CONCRETE APRON TO THE GARAGE AT #914 SILVER LANE 1100 FEET WEST OF FORBES STREET ELEV.=62.87-U.S.G.S.



TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL
APPROVAL DATE 9/14/94
EXPIRATION DATE 9/14/99
[Signature] CHAIRMAN

NO	DATE	BY	DESCRIPTION	APP'D
3	9-16-94	PBS	SHEET SIZE	JAM
2	9-7-94	PBS	ADD EXISTING UTILITIES	JAM
1	7-26-94	PBS	ADD. EXISTING GRADES NEAR DET. BASIN	JAM

REVISIONS
PROPOSED ADDITION TO SHOWCASE CINEMAS
IN
EAST HARTFORD, CONNECTICUT
NATIONAL AMUSEMENTS, INC.
200 ELM STREET DEDHAM, MASSACHUSETTS

EXISTING GRADING & UTILITY PLAN

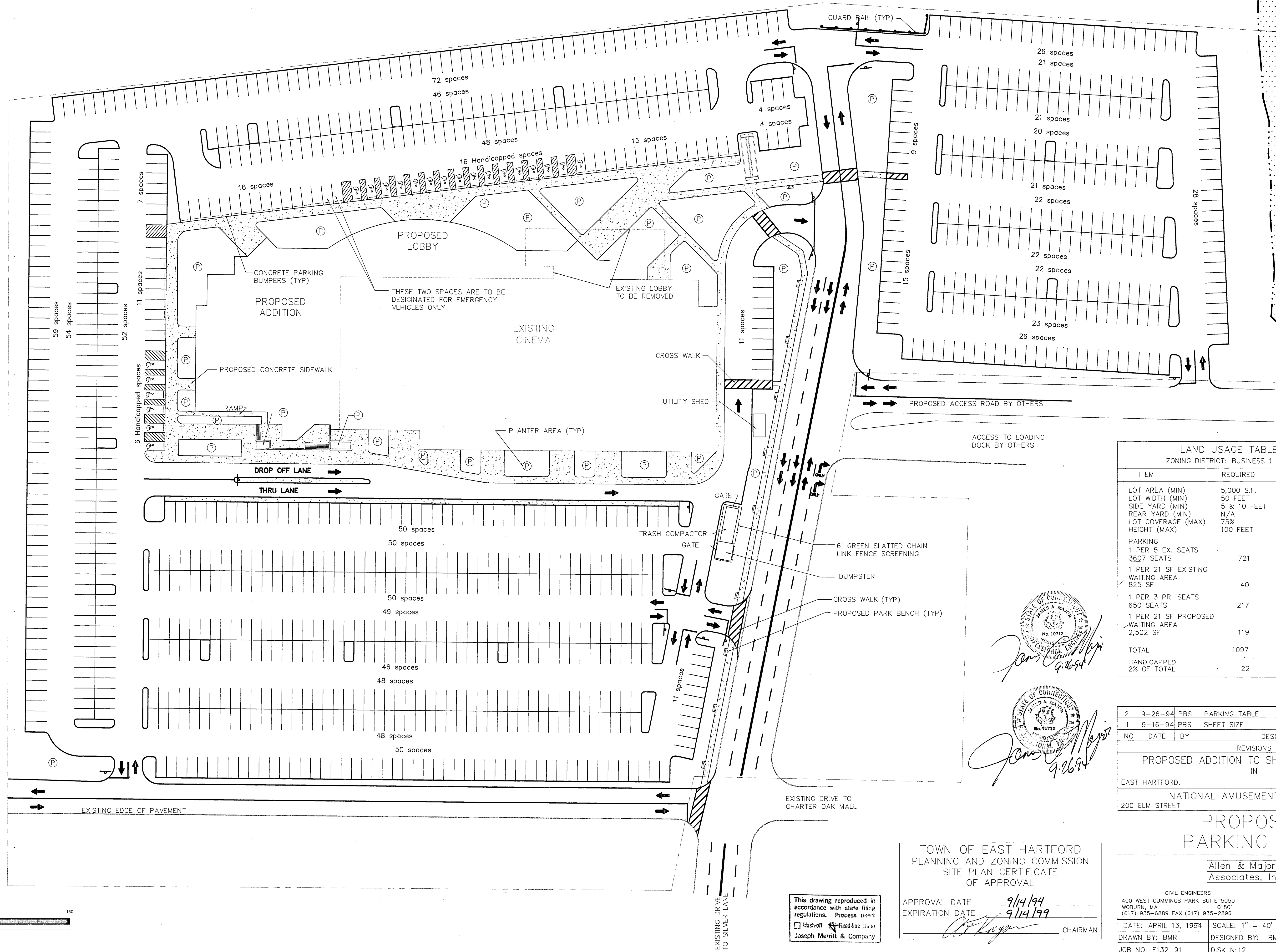
ALLEN & MAJOR Associates, Inc. CIVIL ENGINEERS 400 WEST CUMMINGS PARK SUITE 5050 WOBURN, MA 01801 (617) 935-6889 FAX: (617) 935-2896		LAND SURVEYORS 247 LONDONDERRY TURNPIKE AUBURN, NH 03032 (603) 641-8300 FAX: (603) 641-8882	
DATE: APRIL 13, 1994	SCALE: 1" = 40'	DWG. NAME: 13291BP1	
DRAWN BY: BMR	DESIGNED BY: BMR	CHECKED BY: JAM	
JOB NO: F132-91	DISK NO: 12	SHEET: 2 of 11	

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84

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NOTE: NO WORK PROPOSED WITHIN LIMITS OF WETLAND



LAND USAGE TABLE
ZONING DISTRICT: BUSINESS 1 (B-1) ZONE

ITEM	REQUIRED	PROPOSED
LOT AREA (MIN)	5,000 S.F.	1,116,349 S.F.
LOT WIDTH (MIN)	50 FEET	350 FEET
SIDE YARD (MIN)	5 & 10 FEET	36 FEET
REAR YARD (MIN)	N/A	125 FEET
LOT COVERAGE (MAX)	75%	7.0%
HEIGHT (MAX)	100 FEET	24 FEET
PARKING		
1 PER 5 EX. SEATS		
3607 SEATS	721	
1 PER 21 SF EXISTING WAITING AREA		
825 SF	40	
1 PER 3 PR. SEATS		
650 SEATS	217	
1 PER 21 SF PROPOSED WAITING AREA		
2,502 SF	119	
TOTAL	1097	1099
HANDICAPPED		
2% OF TOTAL	22	22

Professional Engineer Seal: JAMES A. MAJOR, No. 10712, State of Connecticut, Mechanical Engineering, dated 9-26-94.

Professional Engineer Seal: JAMES A. MAJOR, No. 10712, State of Connecticut, Mechanical Engineering, dated 9-26-94.

NO	DATE	BY	DESCRIPTION	APP'D
2	9-26-94	PBS	PARKING TABLE	JAM
1	9-16-94	PBS	SHEET SIZE	JAM

REVISIONS
PROPOSED ADDITION TO SHOWCASE CINEMAS
IN
EAST HARTFORD, CONNECTICUT
NATIONAL AMUSEMENTS, INC.
200 ELM STREET DEDHAM, MASSACHUSETTS

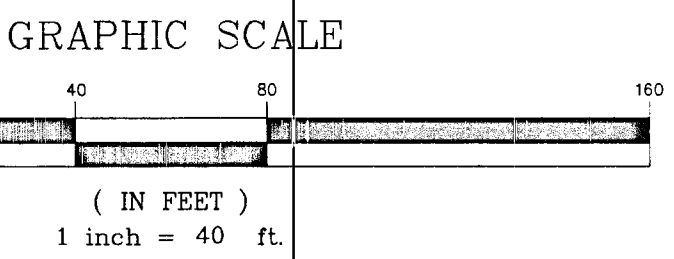
PROPOSED PARKING PLAN

Allen & Major Associates, Inc.
CIVIL ENGINEERS
400 WEST CUMMINGS PARK SUITE 5050 WOBURN, MA 01801 (617) 935-6889 FAX: (617) 935-2896
LAND SURVEYORS
247 LONDONDERRY TURNPIKE WOBURN, NH 03032 (603) 641-8300 FAX: (603) 641-8882

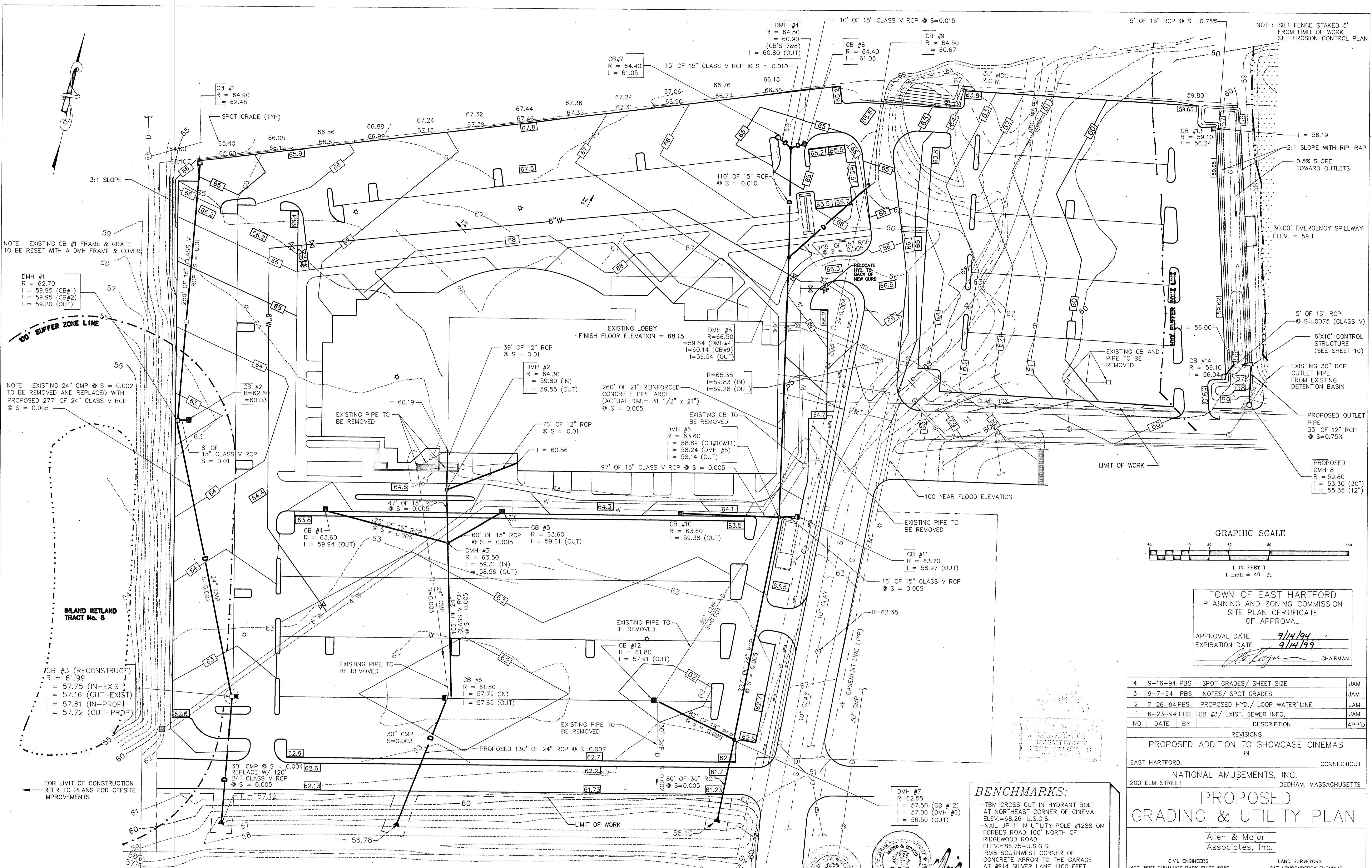
DATE: APRIL 13, 1994 SCALE: 1" = 40' DWG. NAME: 13291NP6
DRAWN BY: BMR DESIGNED BY: BMR CHECKED BY: JAM
JOB NO: F132-91 DISK N:12 SHEET: 3 of 10

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL
APPROVAL DATE: 9/14/94
EXPIRATION DATE: 9/14/99
CHAIRMAN

This drawing reproduced in accordance with state filing regulations. Process used: Wash-off Fixed-line plotter Joseph Merritt & Company



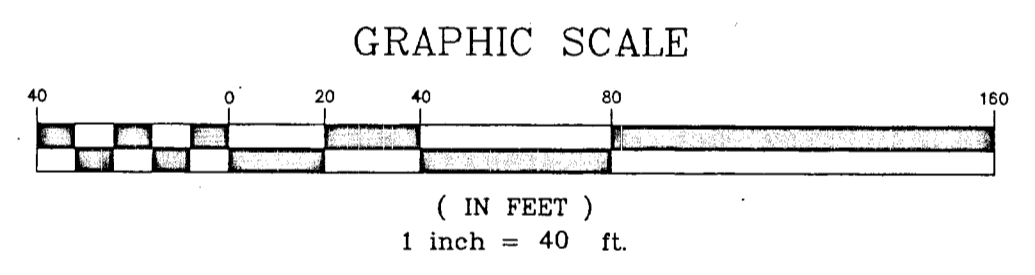
243



NOTE: EXISTING CB #1 FRAME & GRATE TO BE RESET WITH A DMH FRAME & COVER

NOTE: EXISTING 24" CMP @ S = 0.002 TO BE REMOVED AND REPLACED WITH PROPOSED 27" OF 24" CLASS V RCP @ S = 0.005

NOTE: SILT FENCE STAKED 5' FROM LIMIT OF WORK SEE EROSION CONTROL PLAN



TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

APPROVAL DATE 9/14/94
EXPIRATION DATE 9/14/99

[Signature] CHAIRMAN

NO	DATE	BY	DESCRIPTION	APP'D
4	9-16-94	PBS	SPOT GRADES/ SHEET SIZE	JAM
3	9-7-94	PBS	NOTES/ SPOT GRADES	JAM
2	7-26-94	PBS	PROPOSED HYD./ LOOP WATER LINE	JAM
1	6-23-94	PBS	CB #3/ EXIST. SEWER INFO.	JAM

REVISIONS
PROPOSED ADDITION TO SHOWCASE CINEMAS
IN
EAST HARTFORD, CONNECTICUT

NATIONAL AMUSEMENTS, INC.
200 ELM STREET DEDHAM, MASSACHUSETTS

PROPOSED GRADING & UTILITY PLAN

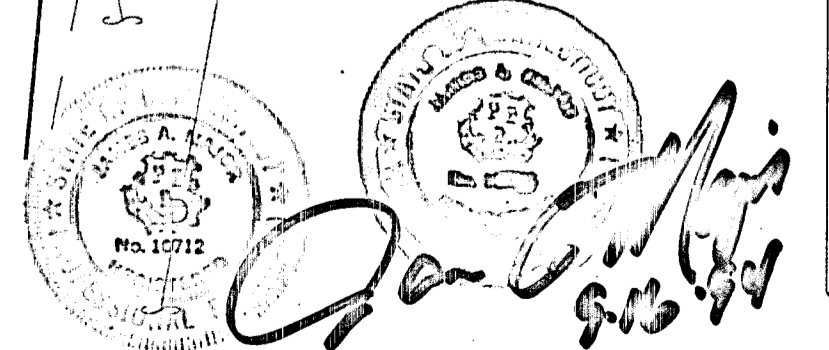
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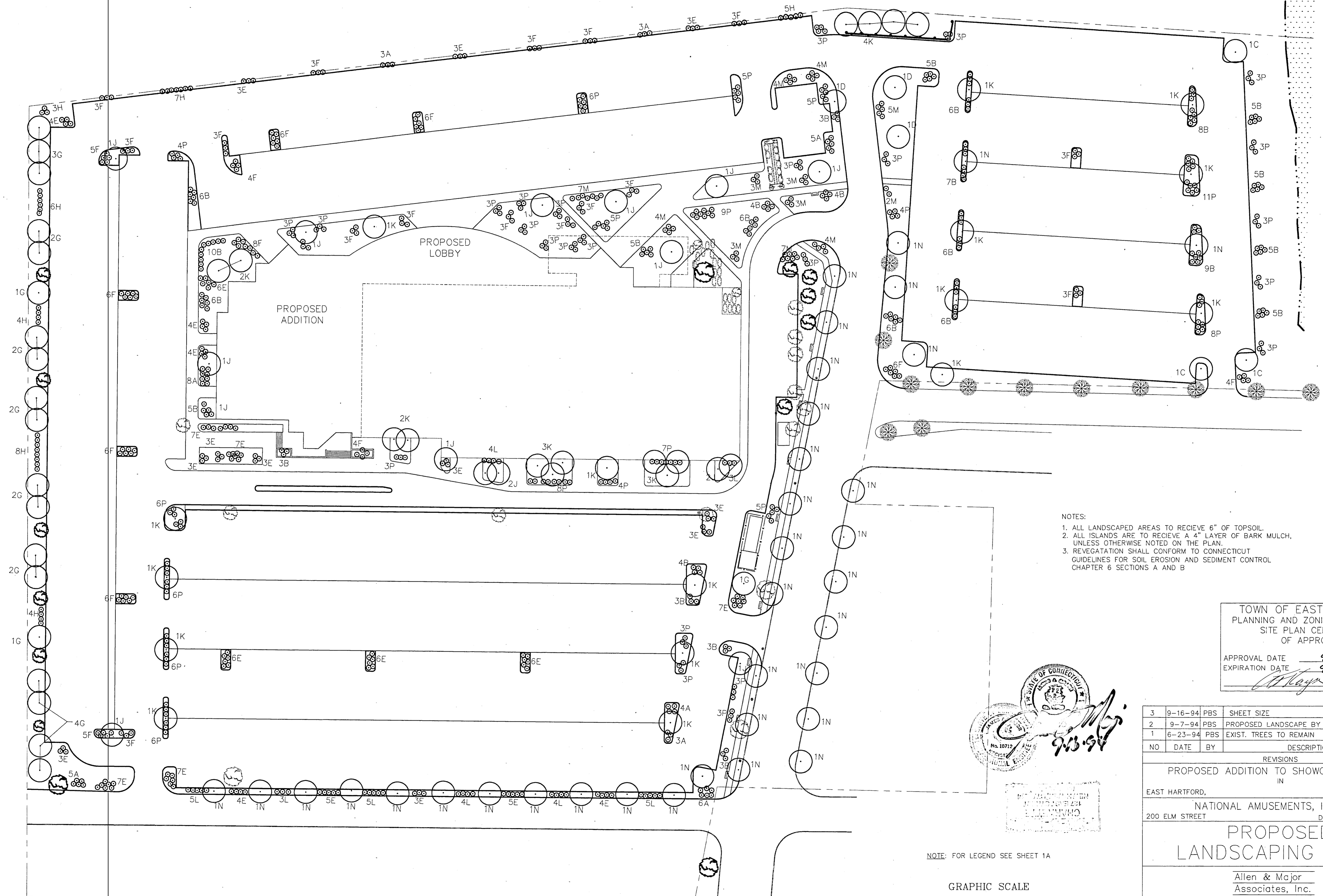
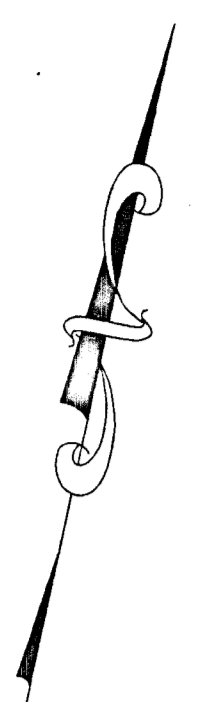
DATE: APRIL 13, 1994 SCALE: 1" = 40' DWG. NAME: 13291GP1
DRAWN BY: BMR DESIGNED BY: BMR CHECKED BY: JAM
JOB NO: F132-91 DISK N:12 SHEET: 4 of 11

BENCHMARKS:
-TBM CROSS CUT IN HYDRANT BOLT AT NORTHEAST CORNER OF CINEMA ELEV.=68.26-U.S.G.S.
-NAIL UP 1" IN UTILITY POLE #1288 ON FORBES ROAD 100' NORTH OF RIDGEWOOD ROAD ELEV.=86.75-U.S.G.S.
-RMB SOUTHWEST CORNER OF CONCRETE APRON TO THE GARAGE AT #914 SILVER LANE 1100 FEET WEST OF FORBES STREET ELEV.=62.87-U.S.G.S.

NOTE: INSTALL NEW DOUBLE CATCH BASIN W/F.RAME & GRATE ON ALL EXISTING CB'S ON-SITE



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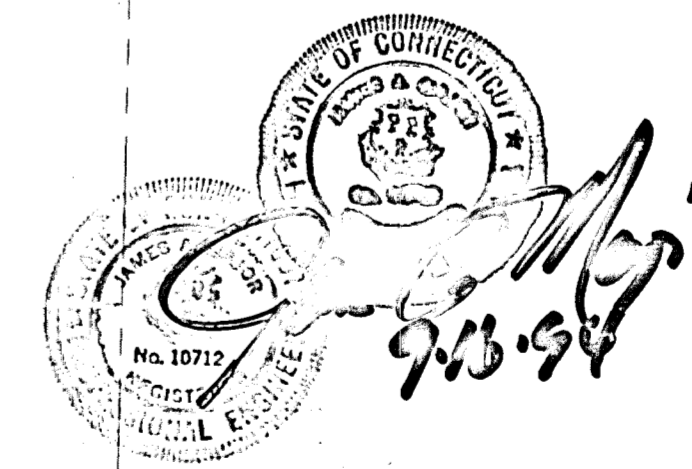


- NOTES:
1. ALL LANDSCAPED AREAS TO RECEIVE 6" OF TOPSOIL.
 2. ALL ISLANDS ARE TO RECEIVE A 4" LAYER OF BARK MULCH, UNLESS OTHERWISE NOTED ON THE PLAN.
 3. REVEGETATION SHALL CONFORM TO CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL CHAPTER 6 SECTIONS A AND B

TOWN OF EAST HARTFORD
 PLANNING AND ZONING COMMISSION
 SITE PLAN CERTIFICATE
 OF APPROVAL

APPROVAL DATE 9/14/94
 EXPIRATION DATE 9/14/99

[Signature] CHAIRMAN



NO	DATE	BY	DESCRIPTION	APP'D
3	9-16-94	PBS	SHEET SIZE	JAM
2	9-7-94	PBS	PROPOSED LANDSCAPE BY OTHERS	JAM
1	6-23-94	PBS	EXIST. TREES TO REMAIN	JAM

REVISIONS

PROPOSED ADDITION TO SHOWCASE CINEMAS
 IN
 EAST HARTFORD, CONNECTICUT

NATIONAL AMUSEMENTS, INC.
 200 ELM STREET DEDHAM, MASSACHUSETTS

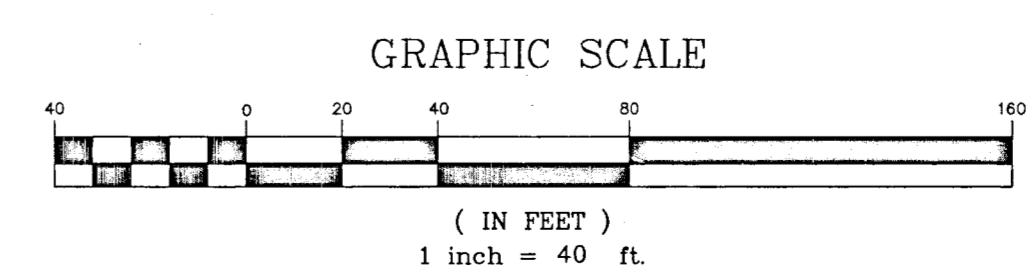
PROPOSED LANDSCAPING PLAN

Allen & Major
 Associates, Inc.

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 400 WEST CUMMINGS PARK SUITE 5050 247 LONDONDERRY TURNPIKE
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 (617) 935-6889 FAX: (617) 935-2896 (603) 641-8300 FAX: (603) 641-8882

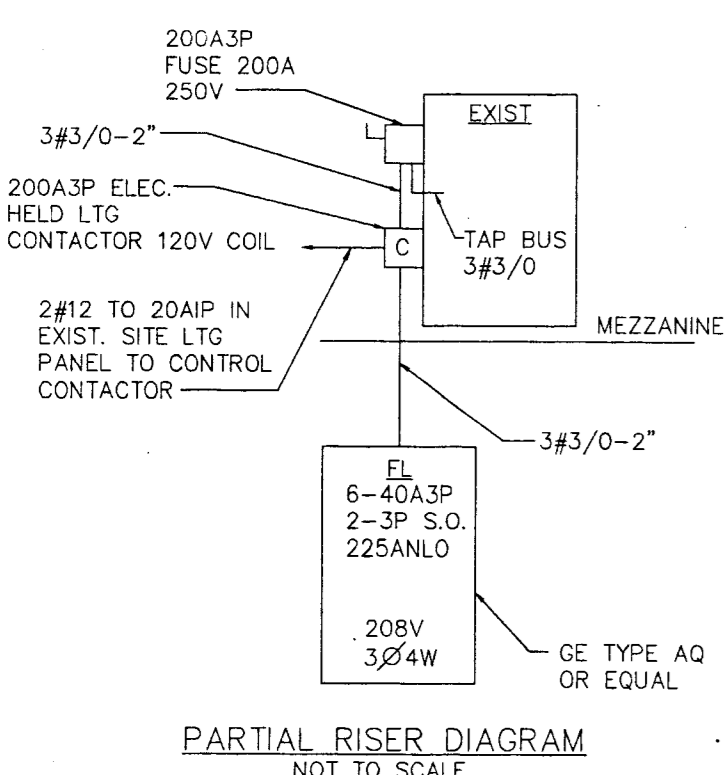
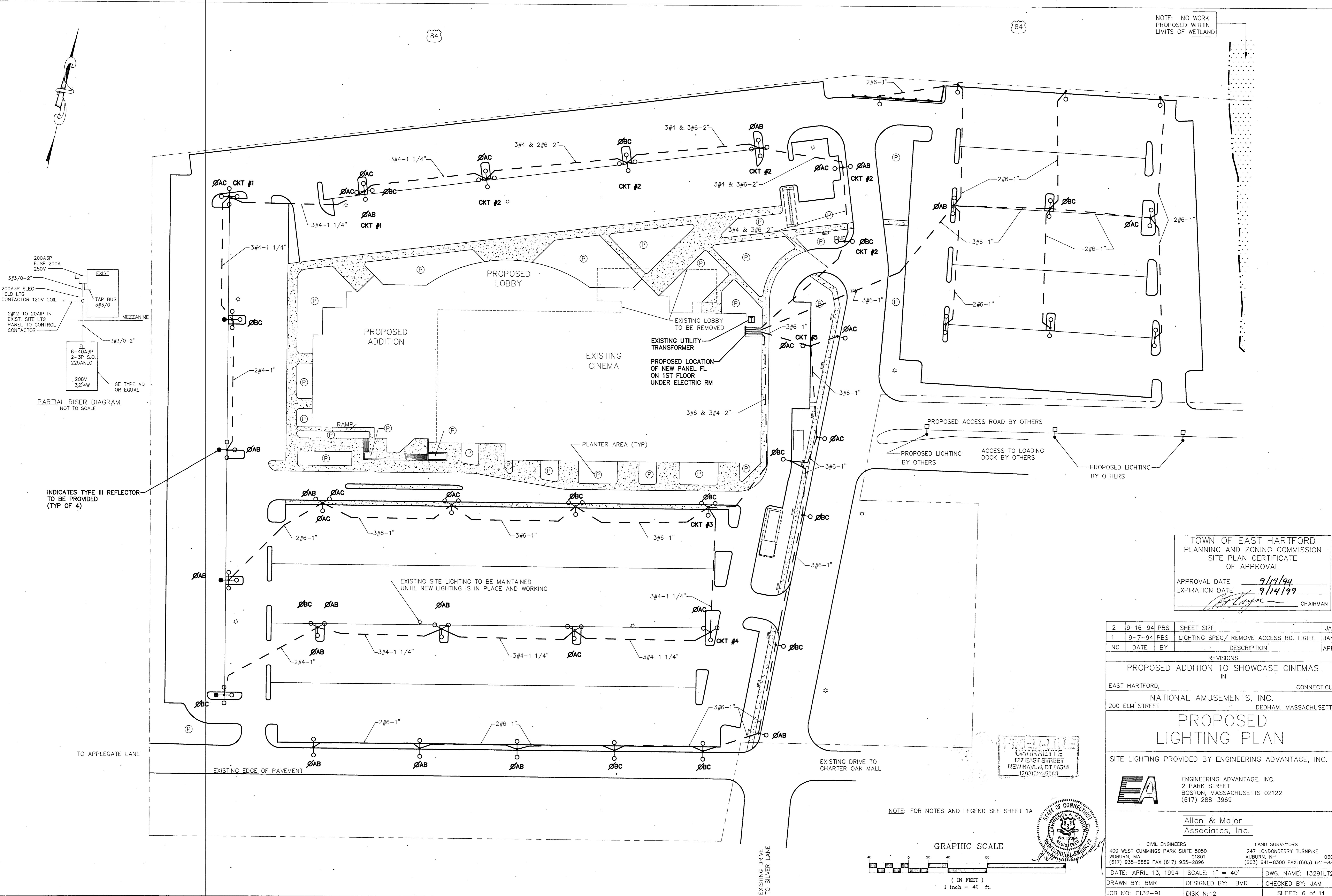
DATE: APRIL 13, 1994 SCALE: 1" = 40' DWG. NAME: 13291LP6
 DRAWN BY: BMR DESIGNED BY: BMR CHECKED BY: JAM
 JOB NO: F132-91 DISK N:12 SHEET: 5 of 11

NOTE: FOR LEGEND SEE SHEET 1A



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NOTE: NO WORK PROPOSED WITHIN LIMITS OF WETLAND




INDICATES TYPE III REFLECTOR TO BE PROVIDED (TYP OF 4)

TOWN OF EAST HARTFORD
 PLANNING AND ZONING COMMISSION
 SITE PLAN CERTIFICATE
 OF APPROVAL
 APPROVAL DATE 9/17/94
 EXPIRATION DATE 9/14/99
 _____ CHAIRMAN

2	9-16-94	PBS	SHEET SIZE	JAM
1	9-7-94	PBS	LIGHTING SPEC/ REMOVE ACCESS RD. LIGHT.	JAM
NO	DATE	BY	DESCRIPTION	APP'D

REVISIONS
 PROPOSED ADDITION TO SHOWCASE CINEMAS
 IN
 EAST HARTFORD, CONNECTICUT
 NATIONAL AMUSEMENTS, INC.
 200 ELM STREET DEDHAM, MASSACHUSETTS

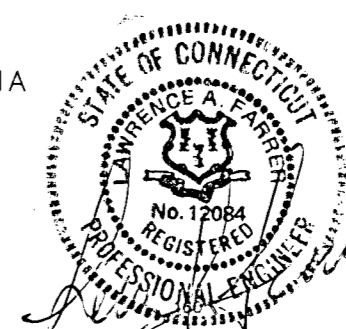
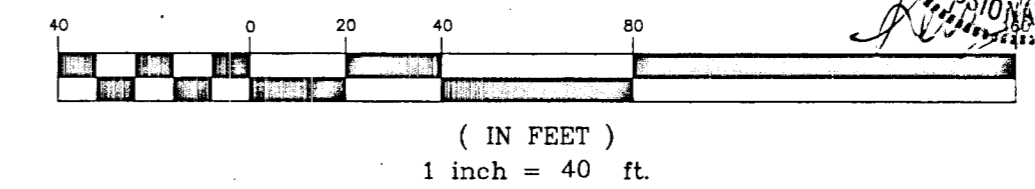
PROPOSED LIGHTING PLAN

SITE LIGHTING PROVIDED BY ENGINEERING ADVANTAGE, INC.
 ENGINEERING ADVANTAGE, INC.
 2 PARK STREET
 BOSTON, MASSACHUSETTS 02122
 (617) 288-3969

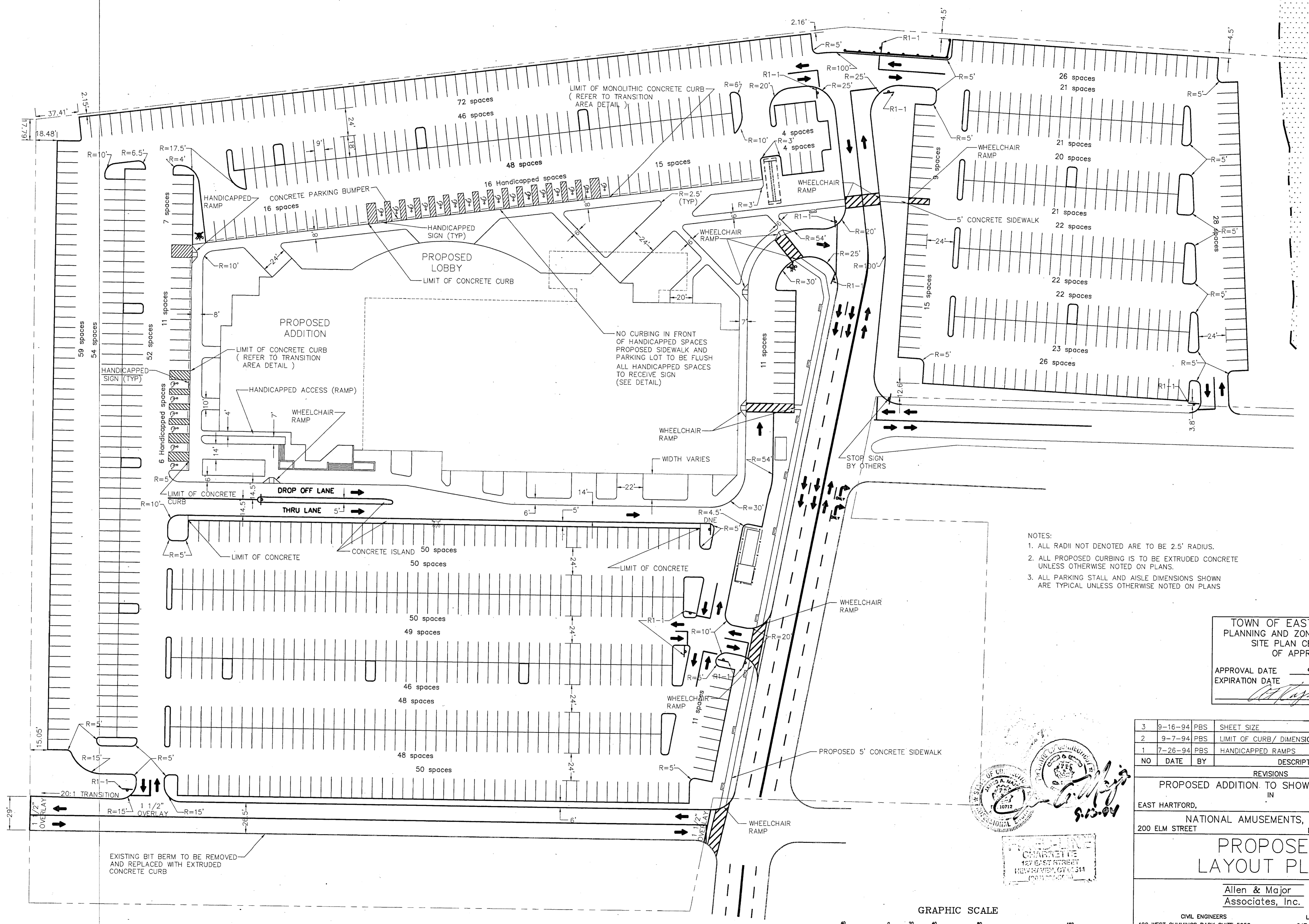
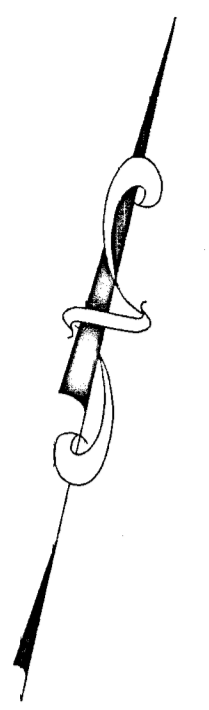
Allen & Major Associates, Inc.
 CIVIL ENGINEERS 400 WEST CUMMINGS PARK SUITE 5050 WOBURN, MA 01801 (617) 935-6889 FAX: (617) 935-2896
 LAND SURVEYORS 247 LONDONDERRY TURNPIKE AUBURN, NH 03032 (603) 641-8300 FAX: (603) 641-8882
 DATE: APRIL 13, 1994 SCALE: 1" = 40' DWG. NAME: 13291LT2
 DRAWN BY: BMR DESIGNED BY: BMR CHECKED BY: JAM
 JOB NO: F132-91 DISK N:12 SHEET: 6 of 11

NOTE: FOR NOTES AND LEGEND SEE SHEET 1A

GRAPHIC SCALE



293



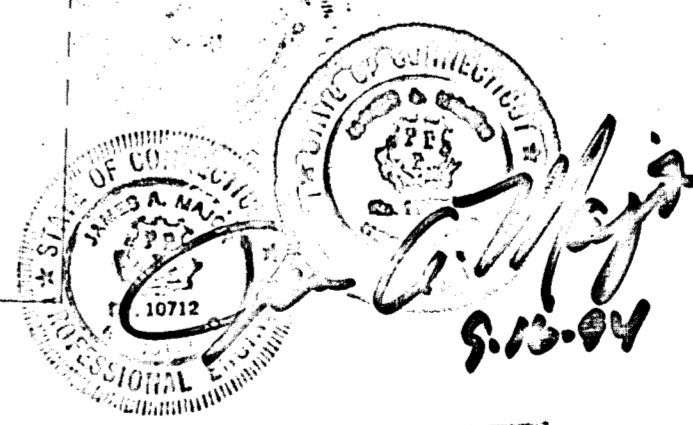
- NOTES:
1. ALL RADII NOT DENOTED ARE TO BE 2.5' RADIUS.
 2. ALL PROPOSED CURBING IS TO BE EXTRUDED CONCRETE UNLESS OTHERWISE NOTED ON PLANS.
 3. ALL PARKING STALL AND AISLE DIMENSIONS SHOWN ARE TYPICAL UNLESS OTHERWISE NOTED ON PLANS.

TOWN OF EAST HARTFORD
 PLANNING AND ZONING COMMISSION
 SITE PLAN CERTIFICATE
 OF APPROVAL

APPROVAL DATE 9/14/99
 EXPIRATION DATE 9/14/99

Charlette CHAIRMAN

3	9-16-94	PBS	SHEET SIZE	JAM
2	9-7-94	PBS	LIMIT OF CURB/ DIMENSIONS	JAM
1	7-26-94	PBS	HANDICAPPED RAMPS	JAM
NO	DATE	BY	DESCRIPTION	APP'D

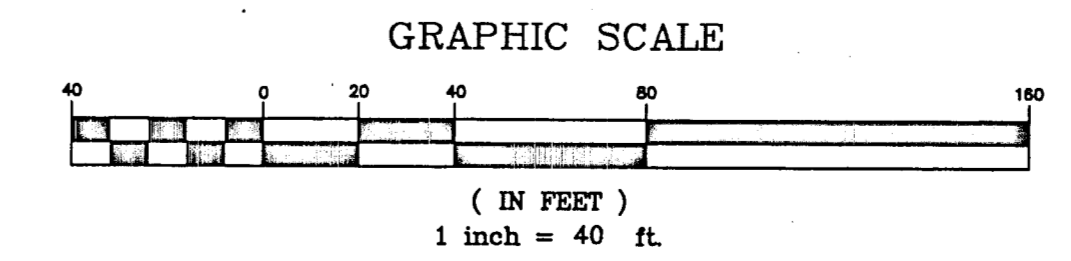


PROPOSED ADDITION TO SHOWCASE CINEMAS
 IN
 EAST HARTFORD, CONNECTICUT
 NATIONAL AMUSEMENTS, INC.
 200 ELM STREET DEDHAM, MASSACHUSETTS

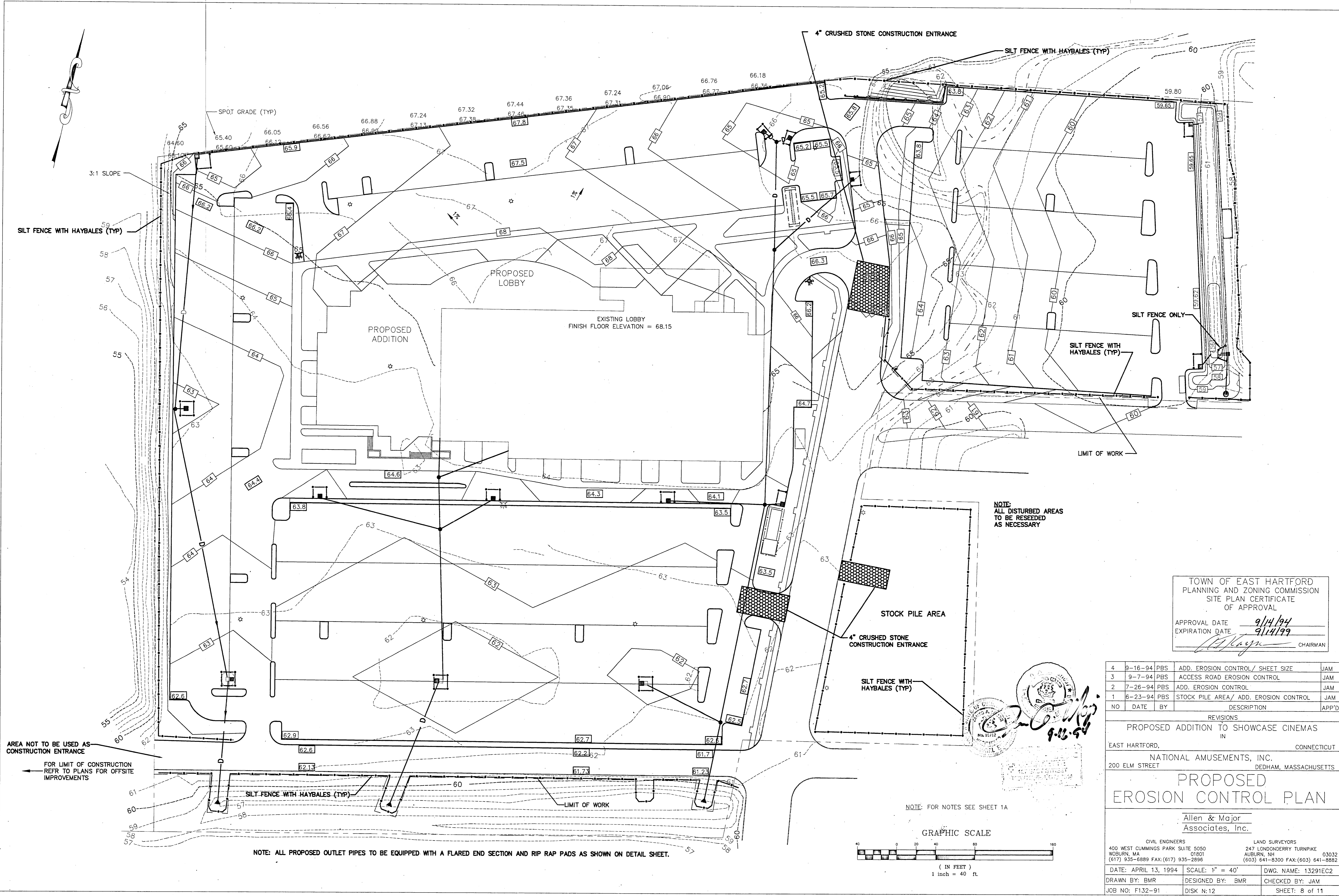
PROPOSED LAYOUT PLAN

Allen & Major
 Associates, Inc.

CIVIL ENGINEERS		LAND SURVEYORS	
400 WEST CUMMINGS PARK SUITE 5050		247 LONDONDERRY TURNPIKE	
WOBRUN, MA 01801		AUBURN, NH 03032	
(617) 835-6889 FAX: (617) 935-2898		(603) 641-8300 FAX: (603) 641-8882	
DATE: APRIL 13, 1994	SCALE: 1" = 40'	DWG. NAME: 13291L03	
DRAWN BY: BMR	DESIGNED BY: BMR	CHECKED BY: JAM	
JOB NO: F132-91	DISK N:12	SHEET: 7 of 11	



243



TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

APPROVAL DATE 9/14/94
EXPIRATION DATE 9/14/99

[Signature] CHAIRMAN

NO	DATE	BY	DESCRIPTION	APP'D
4	9-16-94	PBS	ADD. EROSION CONTROL/ SHEET SIZE	JAM
3	9-7-94	PBS	ACCESS ROAD EROSION CONTROL	JAM
2	7-26-94	PBS	ADD. EROSION CONTROL	JAM
1	6-23-94	PBS	STOCK PILE AREA/ ADD. EROSION CONTROL	JAM

REVISIONS

PROPOSED ADDITION TO SHOWCASE CINEMAS
IN
EAST HARTFORD, CONNECTICUT

NATIONAL AMUSEMENTS, INC.
200 ELM STREET DEDHAM, MASSACHUSETTS

**PROPOSED
EROSION CONTROL PLAN**

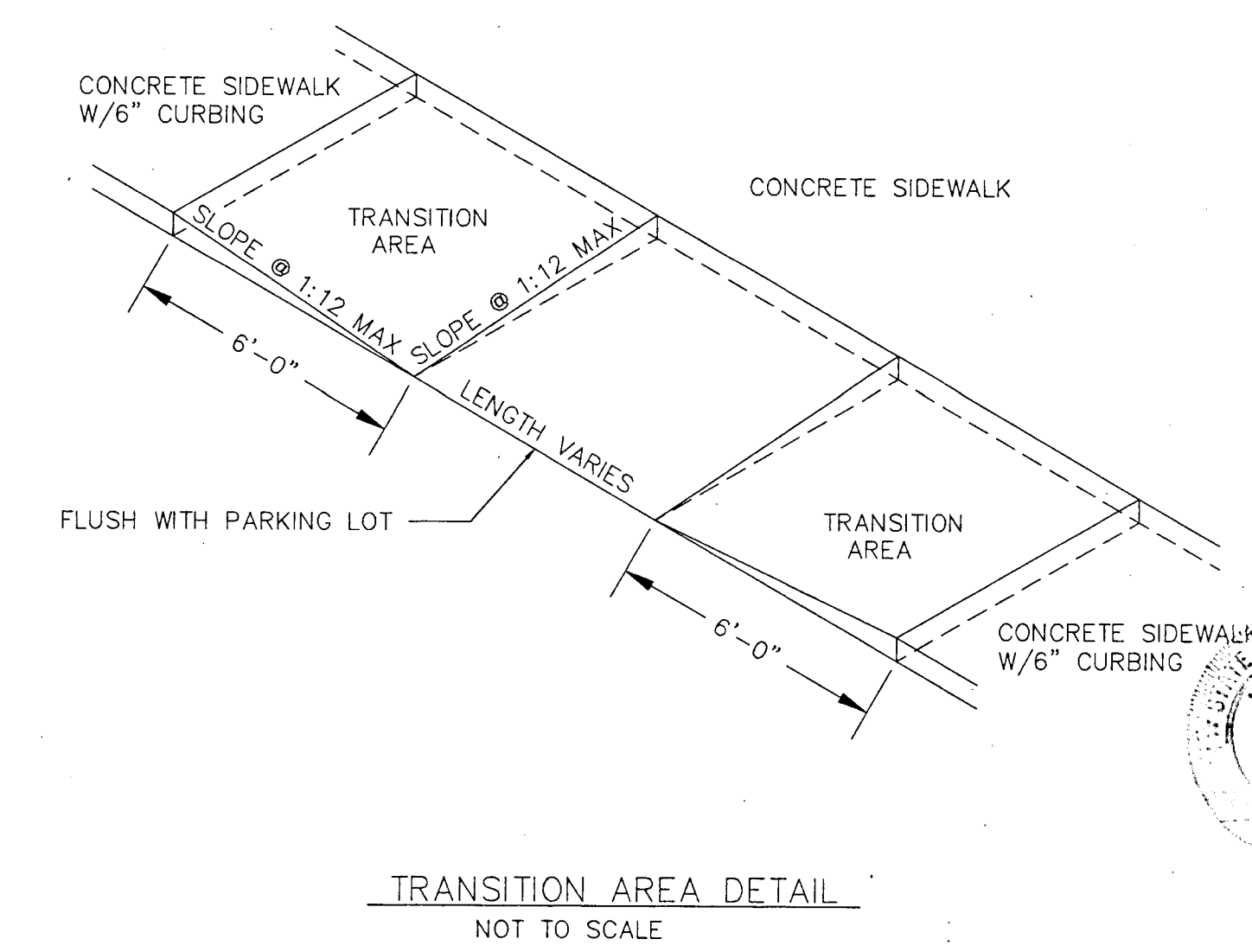
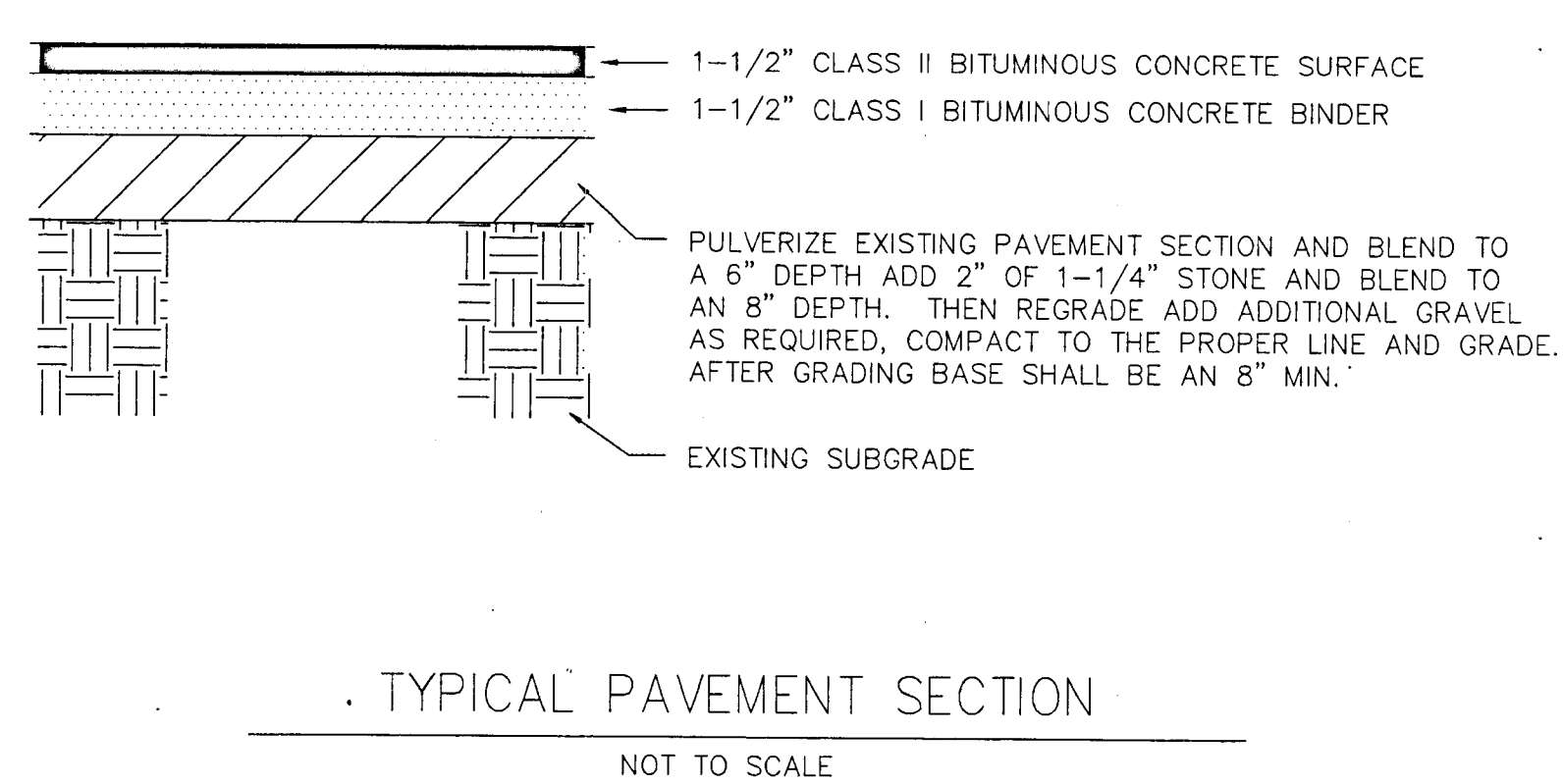
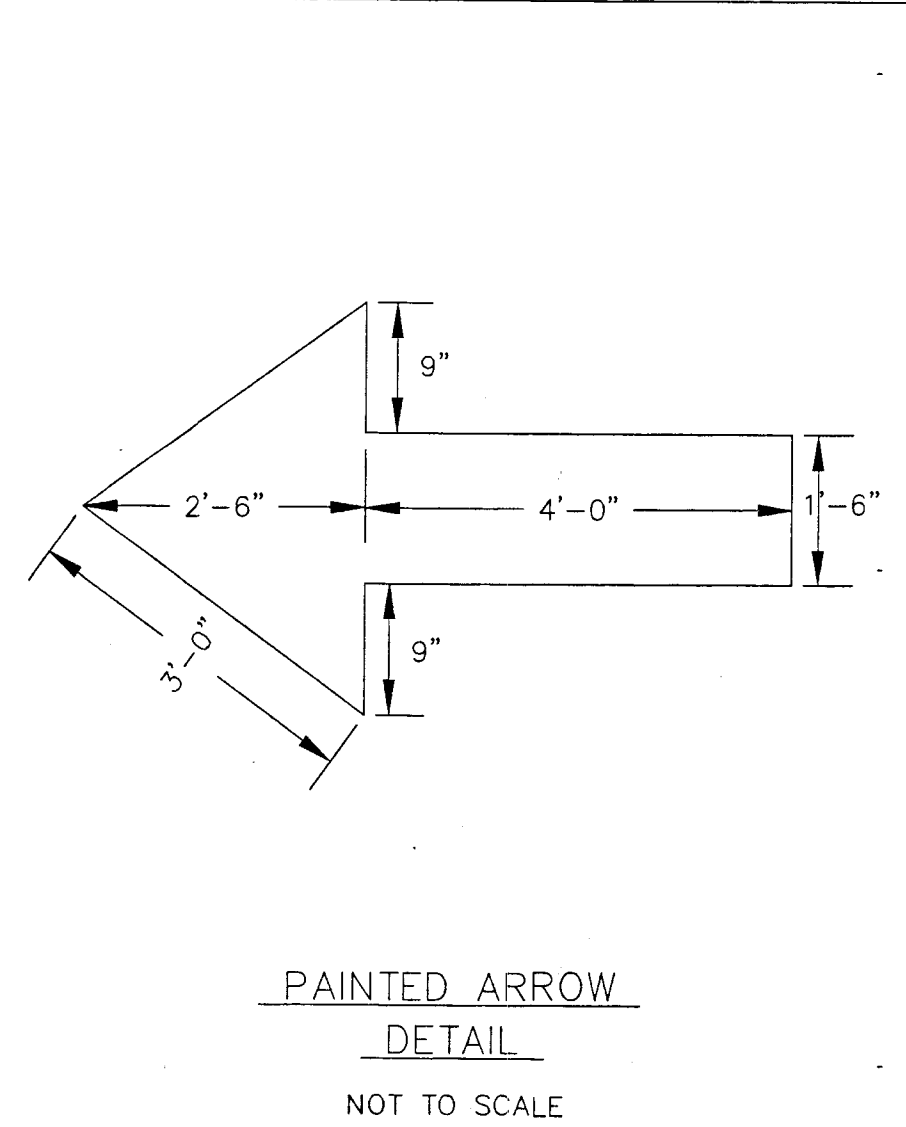
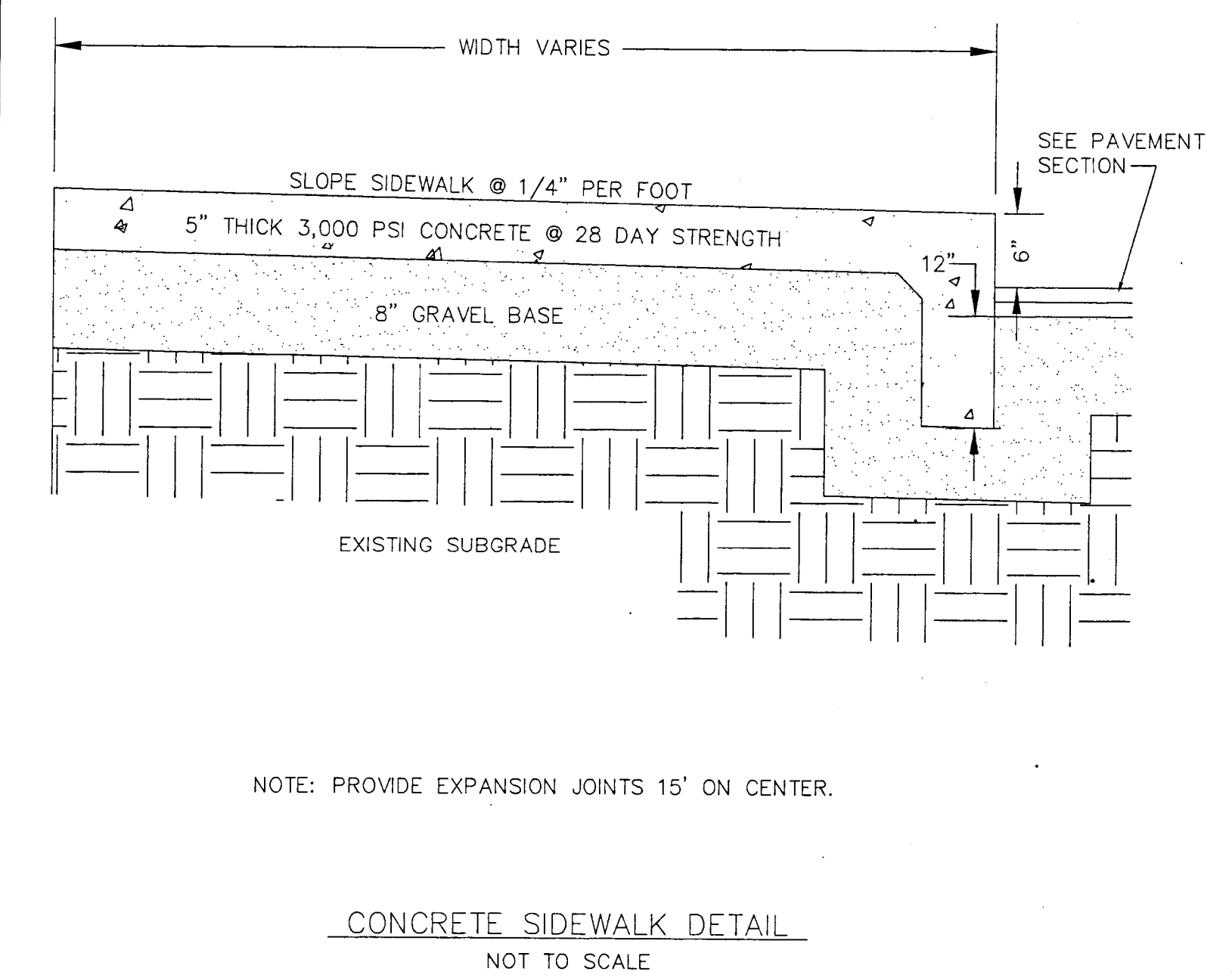
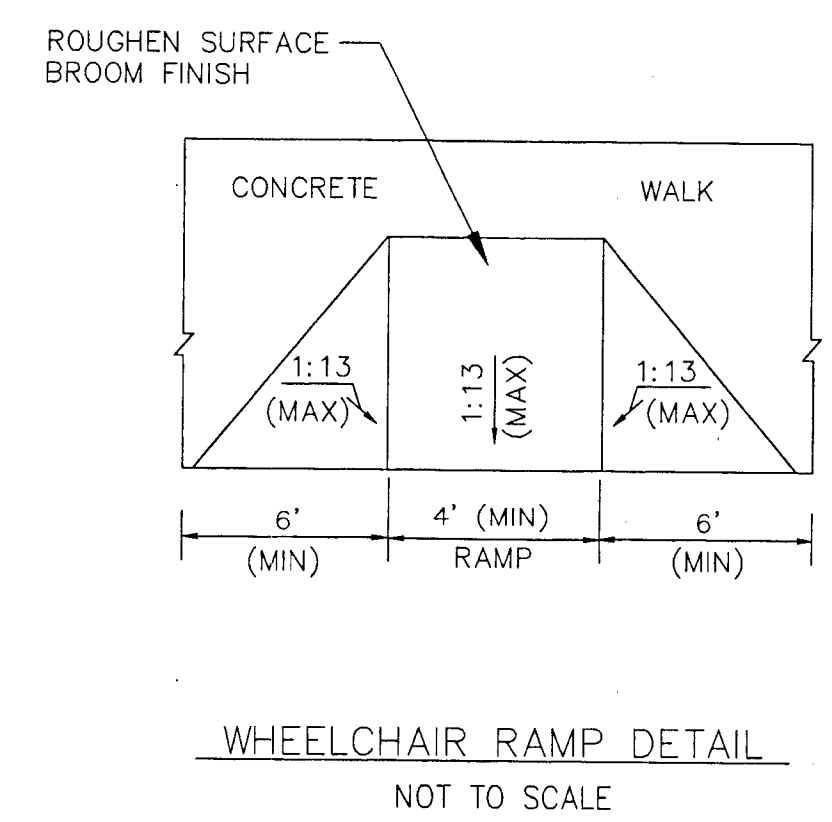
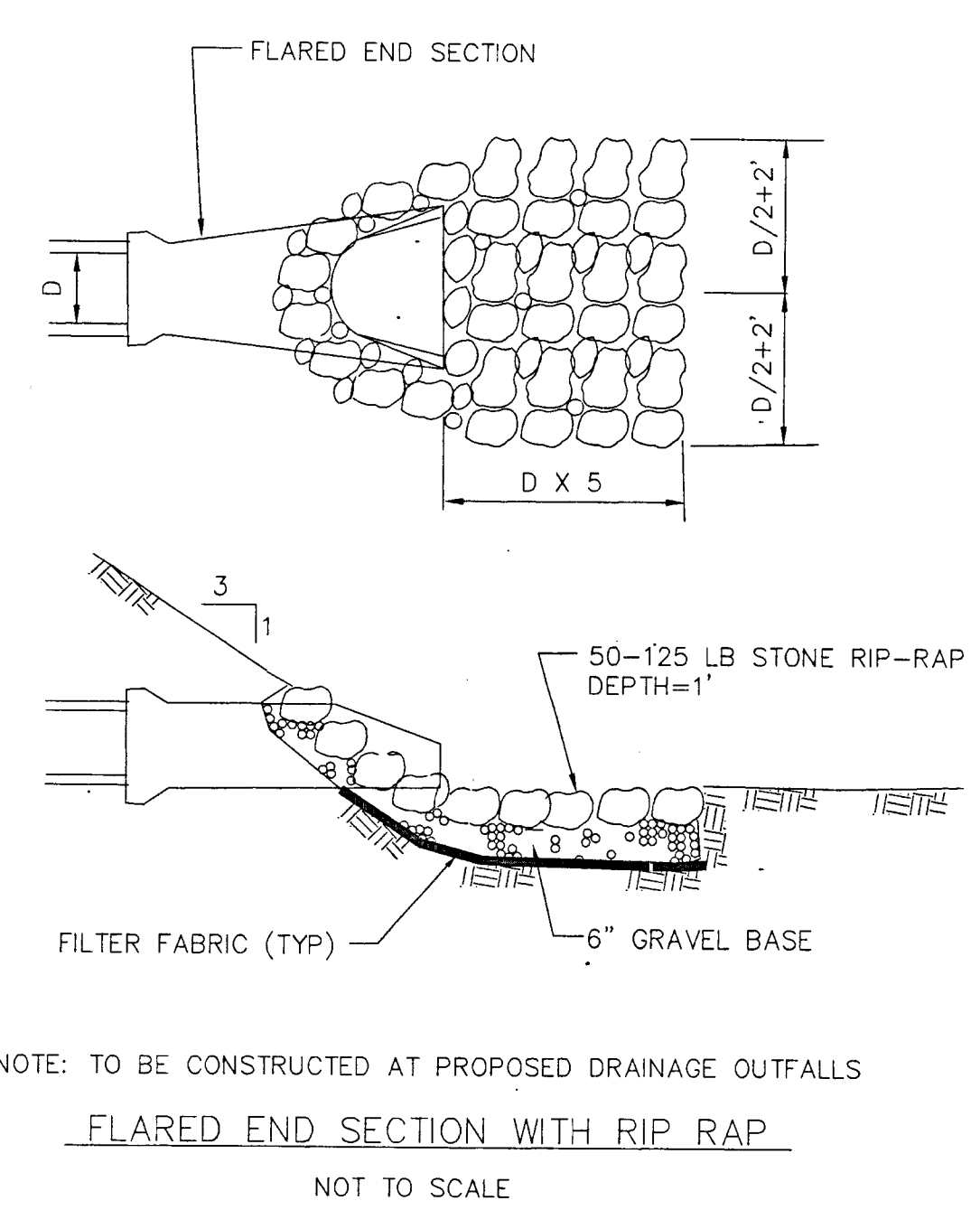
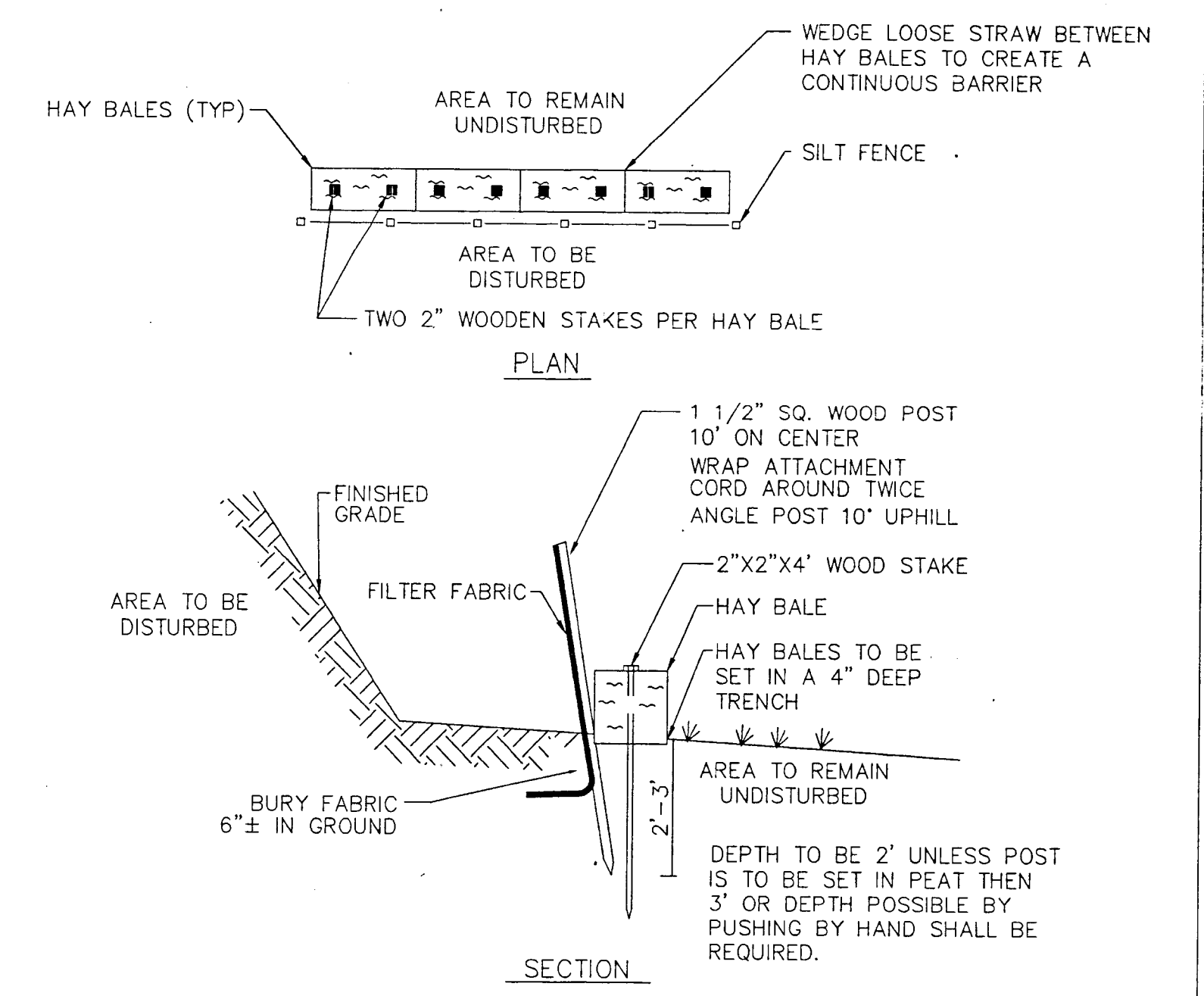
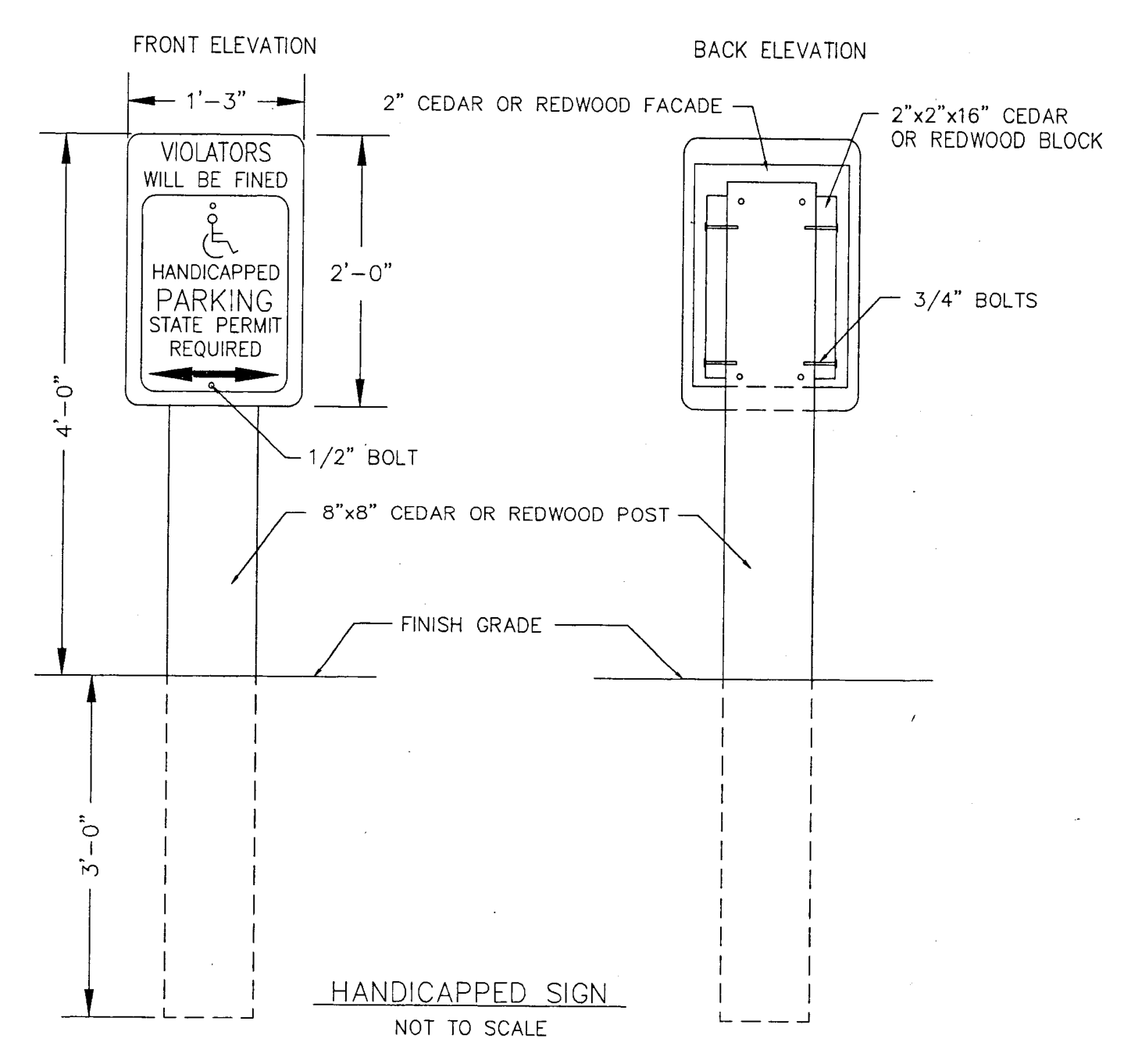
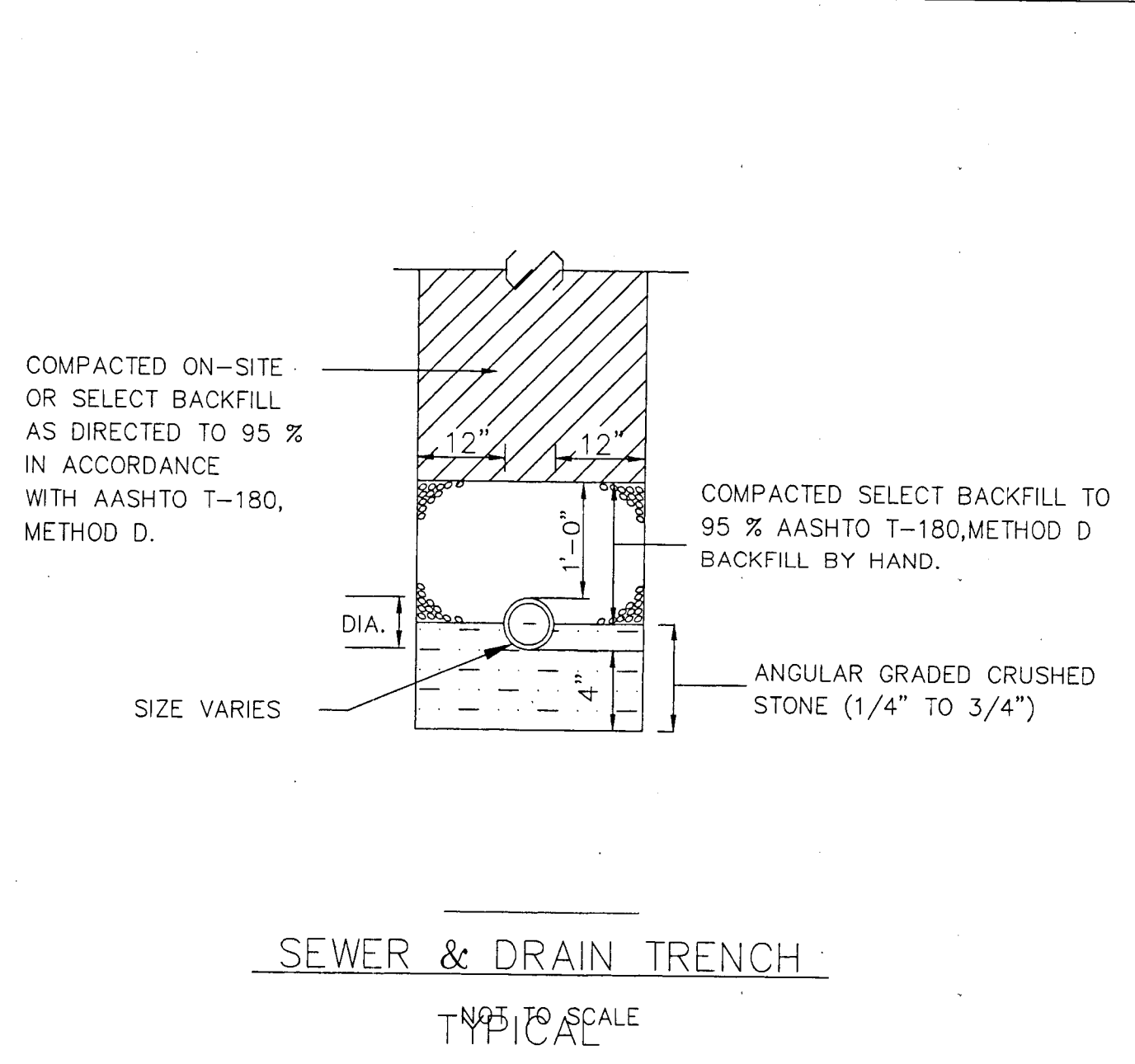
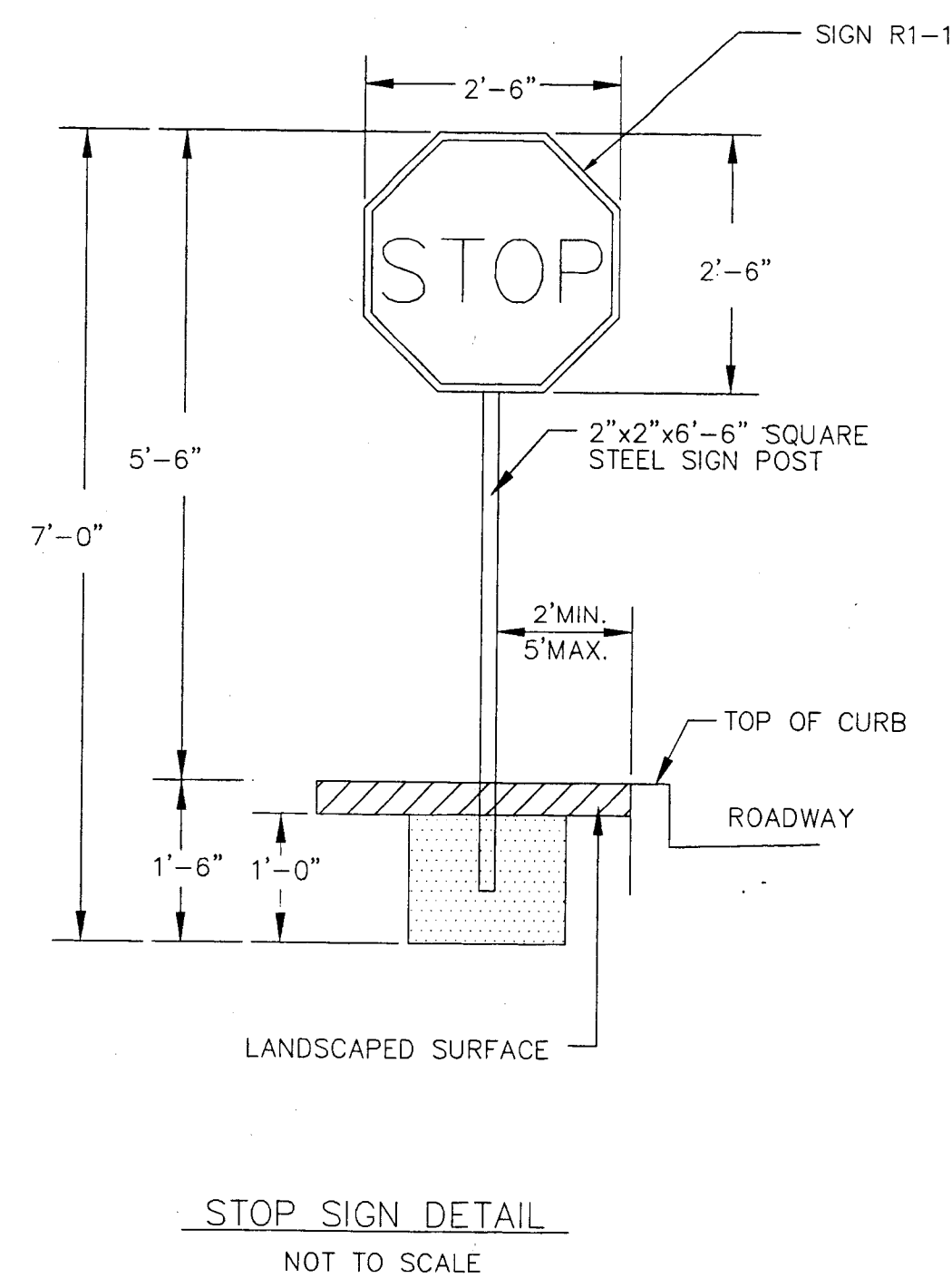
Allen & Major
Associates, Inc.

CIVIL ENGINEERS
400 WEST CUMMINGS PARK SUITE 5050
WOBRURN, MA 01801
(617) 935-6889 FAX: (617) 935-2896

LAND SURVEYORS
247 LONDONDERRY TURNPIKE
AUBURN, NH 03032
(603) 641-8300 FAX: (603) 641-8882

DATE: APRIL 13, 1994 SCALE: 1" = 40' DWG. NAME: 13291EC2
DRAWN BY: BMR DESIGNED BY: BMR CHECKED BY: JAM
JOB NO: F132-91 DISK N:12 SHEET: 8 of 11

2093



TOWN OF EAST HARTFORD
 PLANNING AND ZONING COMMISSION
 SITE PLAN CERTIFICATE
 OF APPROVAL
 APPROVAL DATE 9/14/94
 EXPIRATION DATE 9/14/99
 CHAIRMAN

NO	DATE	BY	DESCRIPTION	APP'D
4	9-16-94	PBS	SHEET SIZE	JAM
3	9-7-94	PBS	CONC. CURB DETAIL	JAM
2	7-26-94	PBS	PAVEMENT / RIP RAP DETAIL	JAM
1	6-23-94	PBS	PAVEMENT / SIDEWALK DETAIL	JAM

PROPOSED ADDITION TO SHOWCASE CINEMAS
 IN
 EAST HARTFORD, CONNECTICUT
 NATIONAL AMUSEMENTS, INC.
 200 ELM STREET DEDHAM, MASSACHUSETTS

DETAIL SHEETS

Allen & Major
 Associates, Inc.

DATE	SCALE	DWG. NAME
APRIL 13, 1994	AS NOTED	13291D
DRAWN BY: BMR	DESIGNED BY: BMR	CHECKED BY: JAM
JOB NO: F132-91	DISK N:12	SHEET: 9 of 11

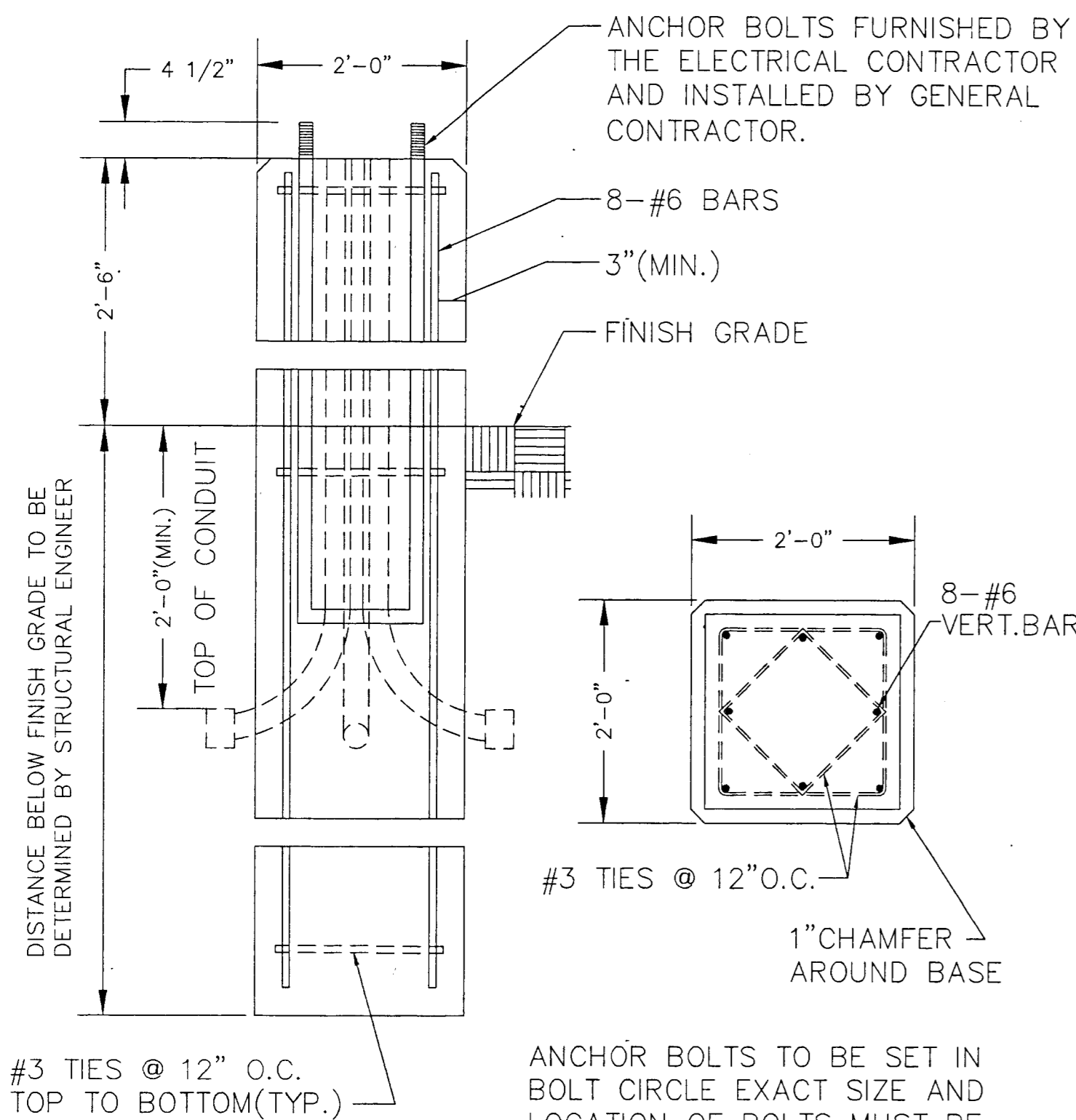
LIGHTING SPECIFICATIONS

POLES: 25'-0" SQUARE STEEL
 LITHONIA #SSS-25-5G-DM49
 LITHONIA #SSS-25-5G-T35 W/ T35-320 FITTER
 LITHONIA #SSS-25-5G-DM28
 LITHONIA #SSS-25-5G-DM19

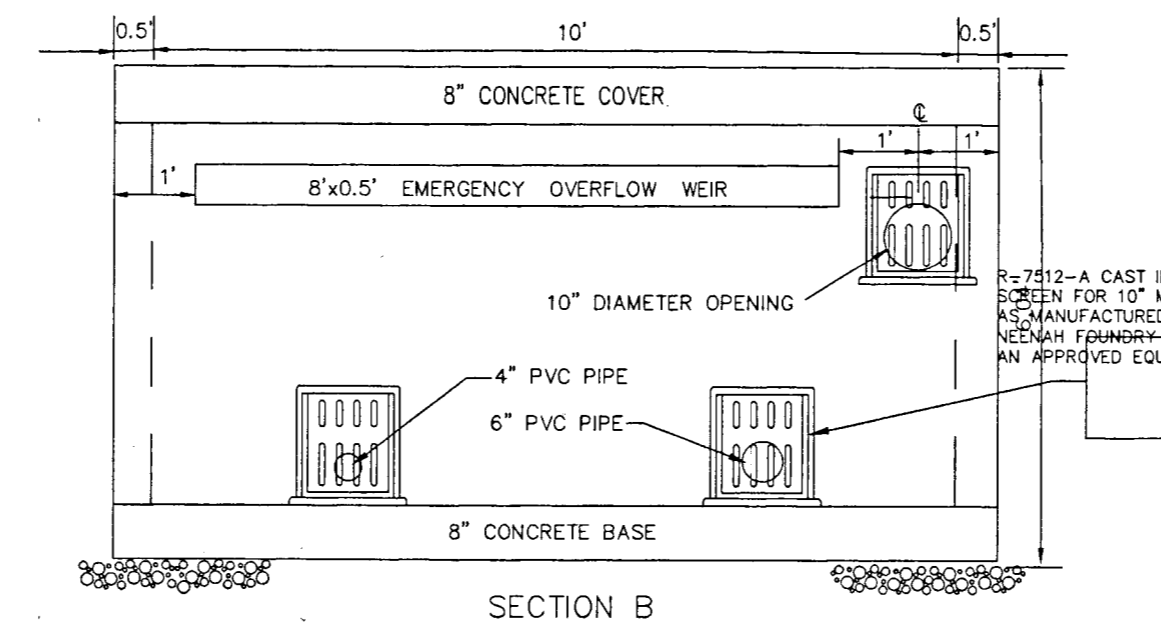
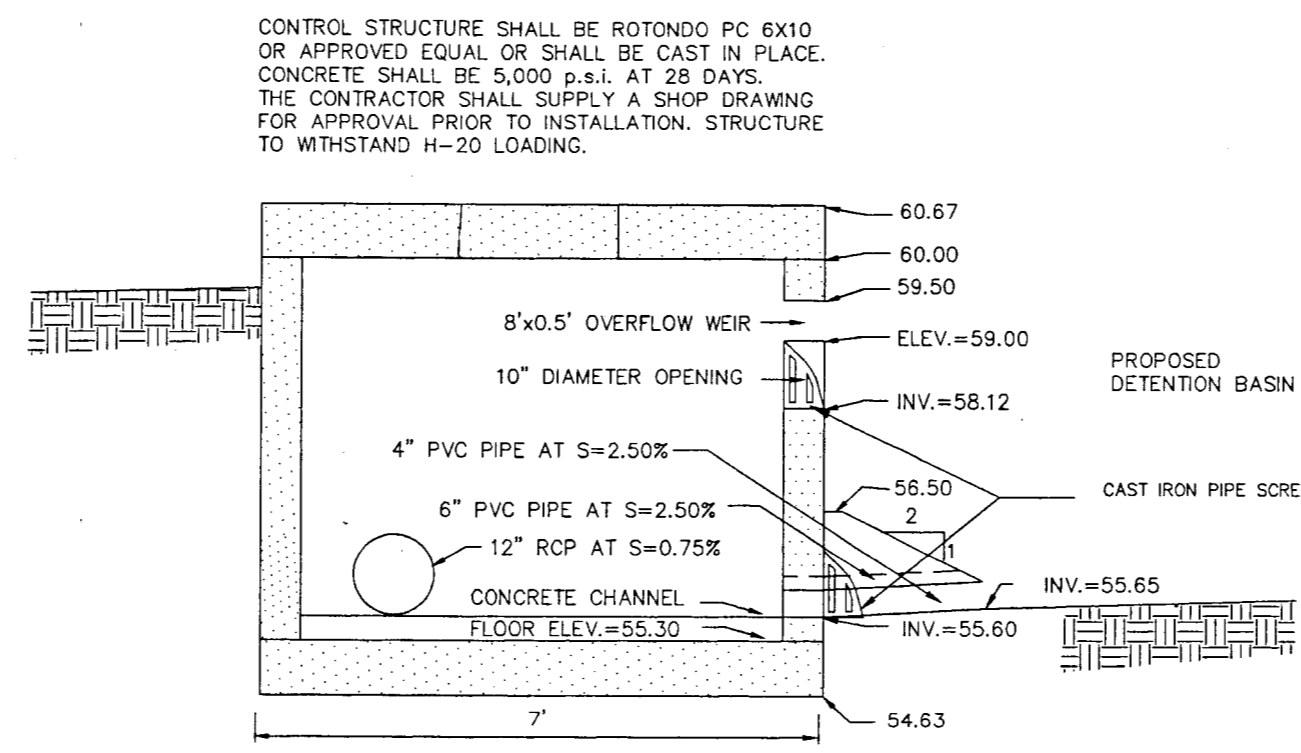
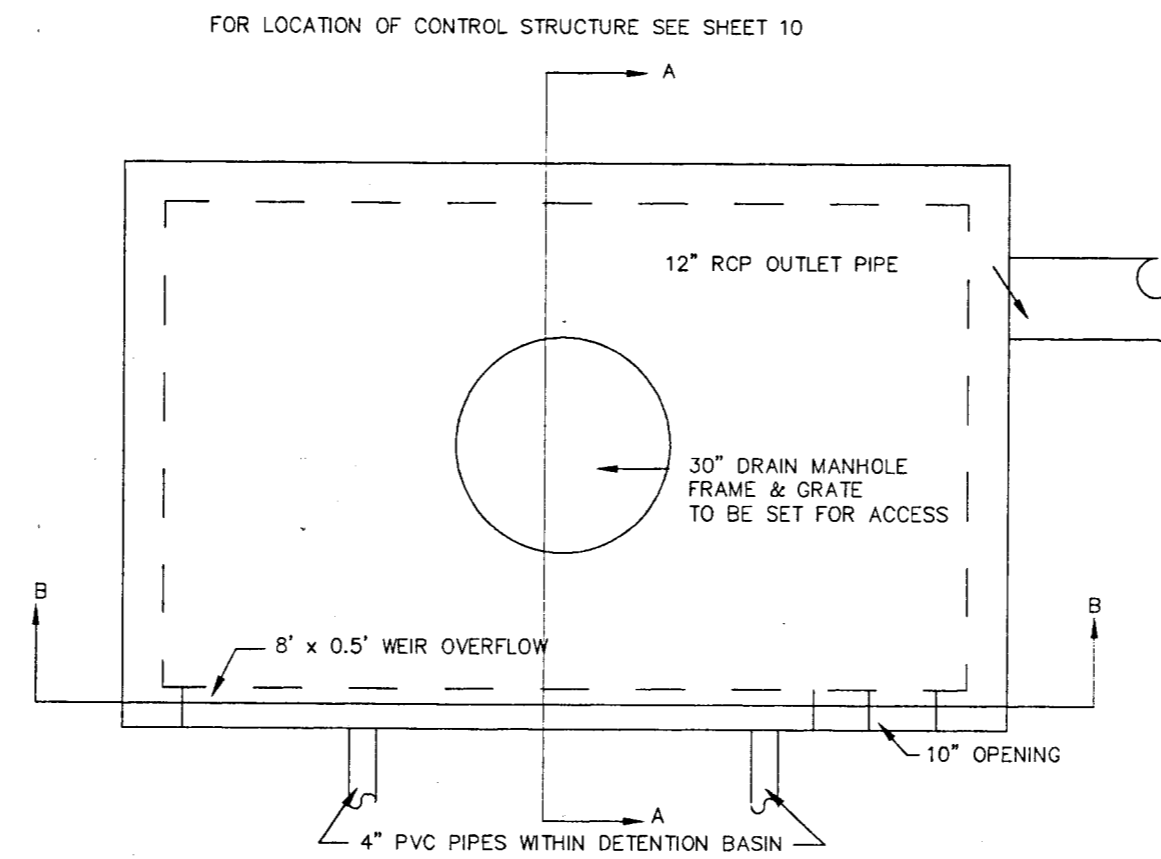
LUMINAIRES: LITHONIA #KVS3-400-R5(R3)-208-SP12
 LITHONIA #KVS3-400-R5-208-RP12
 LITHONIA #KVS3-400-R5-208-SP12

- NOTES:
1. ALL CATALOG NUMBERS ARE "LITHONIA LIGHTING"
 2. ALL POLES, LUMINAIRES AND BRACKETS SHALL BE DARK BROWN IN COLOR
 3. ALL BALLASTS SHALL BE 208 VOLTS
 4. PROVIDE FULL ANCHOR BASE COVER FOR ALL POLES COLOR TO MATCH POLES #BC7P
 5. LUMINAIRES SHOWN SOLID SHALL HAVE TYPE III REFLECTORS ALL OTHERS SHALL BE TYPE V

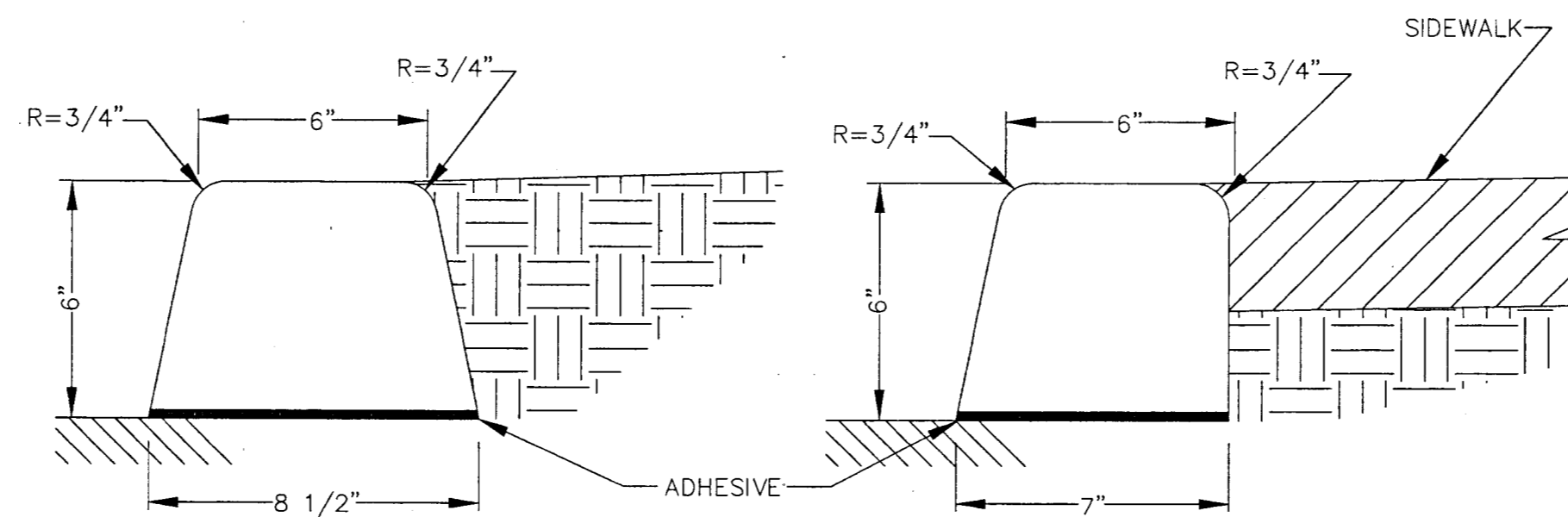
- WIRING:
1. ALL WIRING SHALL BE COPPER TYPE THWN
 2. ALL WIRING SHALL BE INSTALLED IN SCHEDULE 40 PVC - MINIMUM 24" BELOW GRADE.
 3. GROUND ALL POLES W/1 #6 BARE COPPER & 3/4" x 8'-0" GROUND ROD.
 4. ALL WIRING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
 5. TERMINATE ALL WIRING IN A TROUGH IN THE ELECTRIC ROOM FOR CONNECTION BY BUILDING ELECTRICAL CONTRACTOR.
 6. THE ENGINEER SHALL DETERMINE THE DIRECTIONS OF ALL LUMINAIRES IN THE FIELD.



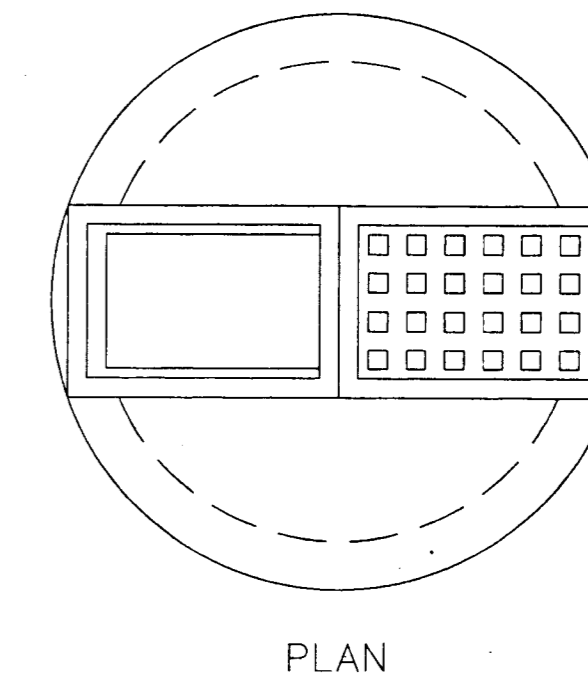
LIGHT POLE BASE
 NOT TO SCALE.



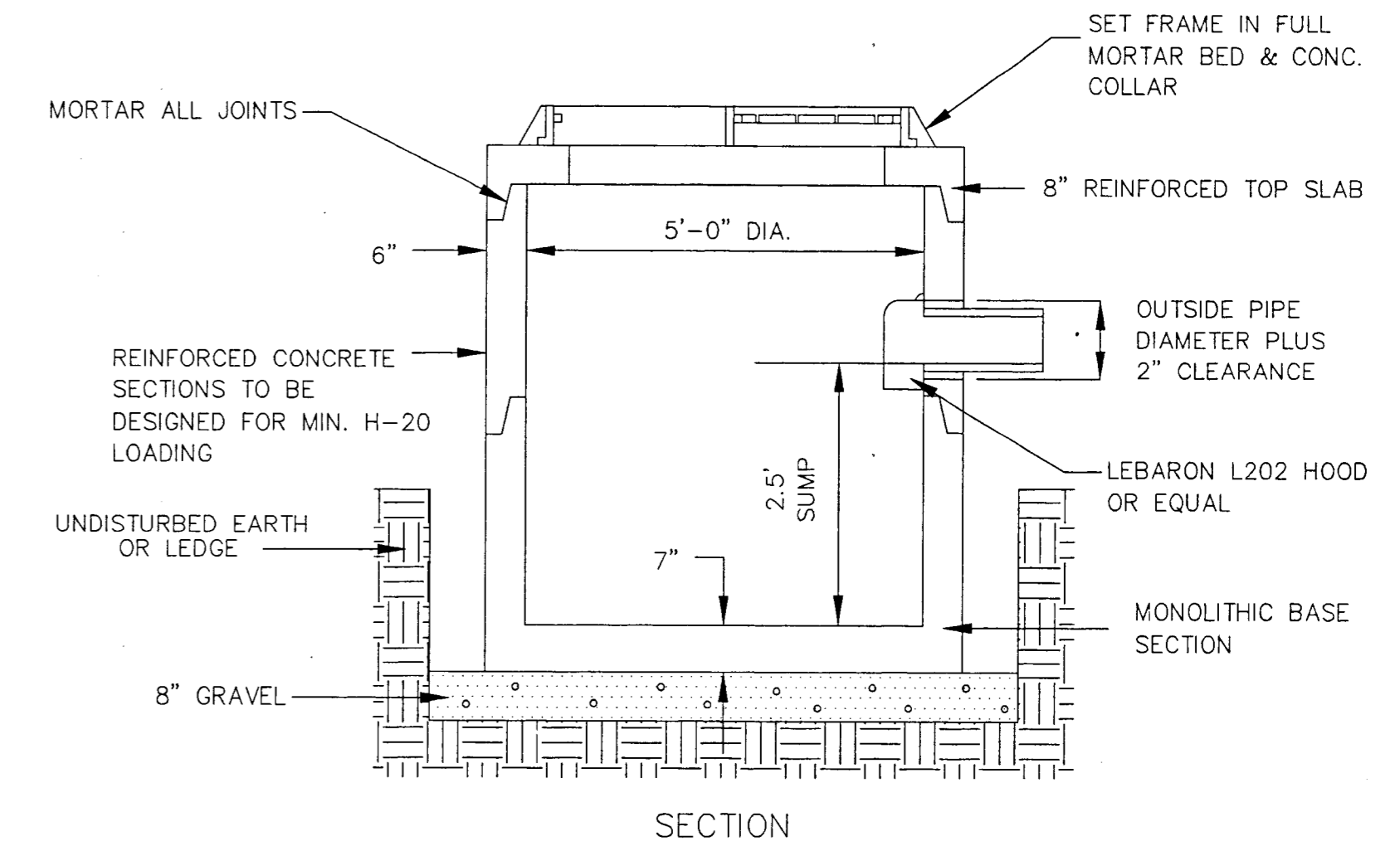
CONTROL STRUCTURE DETAIL
 NOT TO SCALE



EXTRUDED CONCRETE CURB DETAILS
 NOT TO SCALE



LEBARON L24SGI GRATE AND LV2448-2 FRAME



DOUBLE GRATE CATCH BASIN
 NOT TO SCALE

TOWN OF EAST HARTFORD
 PLANNING AND ZONING COMMISSION
 SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE 9/14/94
 EXPIRATION DATE 9/14/99

[Signature] CHAIRMAN

NO	DATE	BY	DESCRIPTION	APP'D
4	9-16-94	PBS	SHEET SIZE	JAM
3	9-7-94	PBS	CONC. CURB DETAIL	JAM
2	7-26-94	PBS	PAVEMENT / RIP RAP DETAIL	JAM
1	6-23-94	PBS	PAVEMENT / SIDEWALK DETAIL	JAM

REVISIONS

PROPOSED ADDITION TO SHOWCASE CINEMAS
 IN .

EAST HARTFORD, CONNECTICUT

NATIONAL AMUSEMENTS, INC.
 200 ELM STREET DEDHAM, MASSACHUSETTS

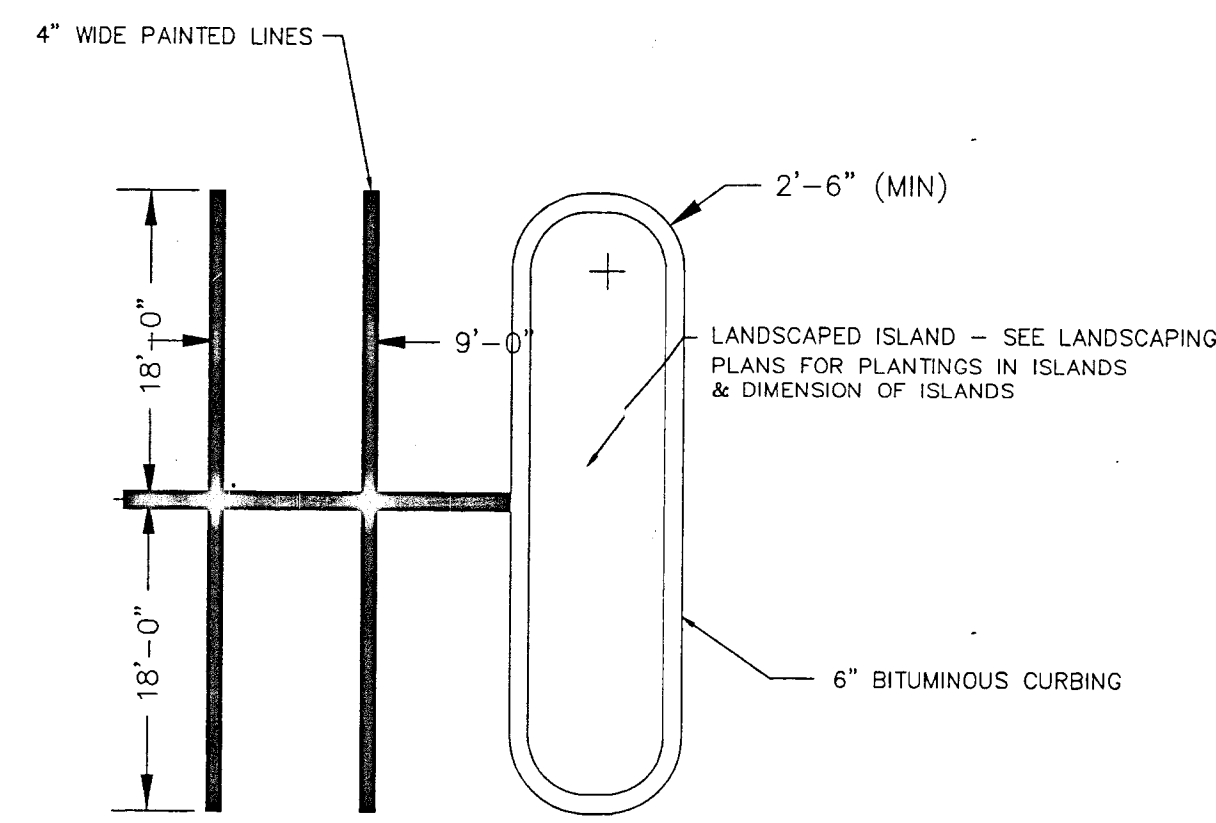
DETAIL SHEETS

Allen & Major
 Associates, Inc.

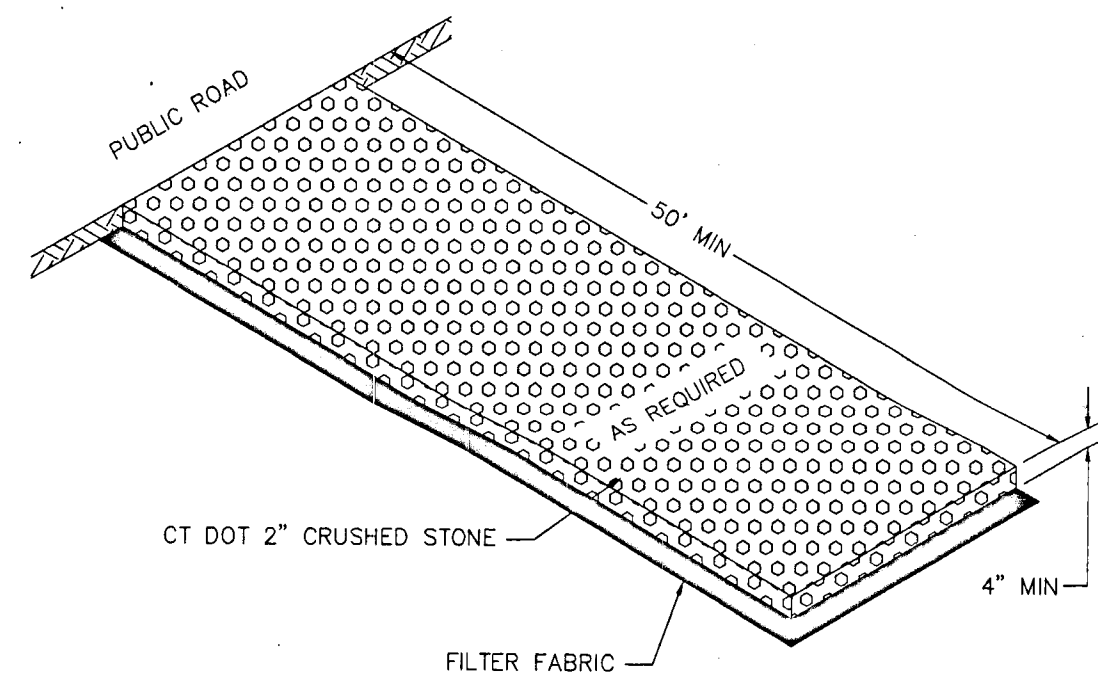
CIVIL ENGINEERS LAND SURVEYORS
 400 WEST CUMMINGS PARK SUITE 5050 247 LONDONDERRY TURNPIKE
 WOBURN, MA 01801 AUBURN, NH 03032
 (617) 935-6889 FAX: (617) 935-2896 (603) 641-8300 FAX: (603) 641-8882

DATE: APRIL 13, 1994	SCALE: AS NOTED	DWG. NAME: 13291D2
DRAWN BY: BMR	DESIGNED BY: BMR	CHECKED BY: JAM
JOB NO: F132-91	DISK N: 12	SHEET: 10 of 11

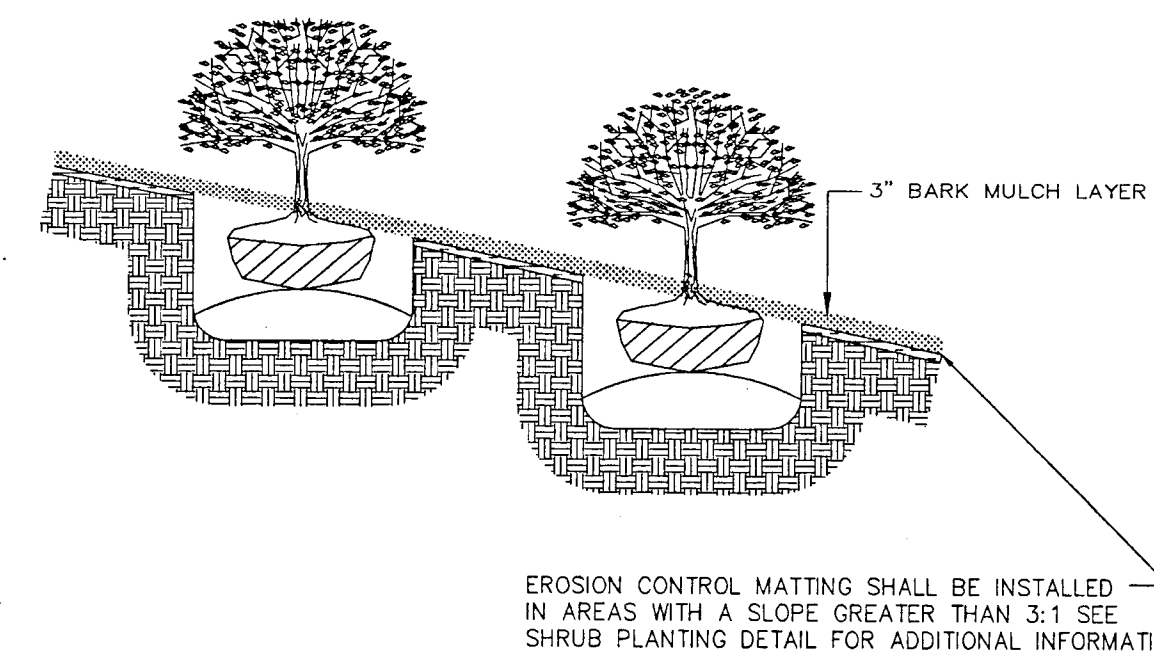
2043



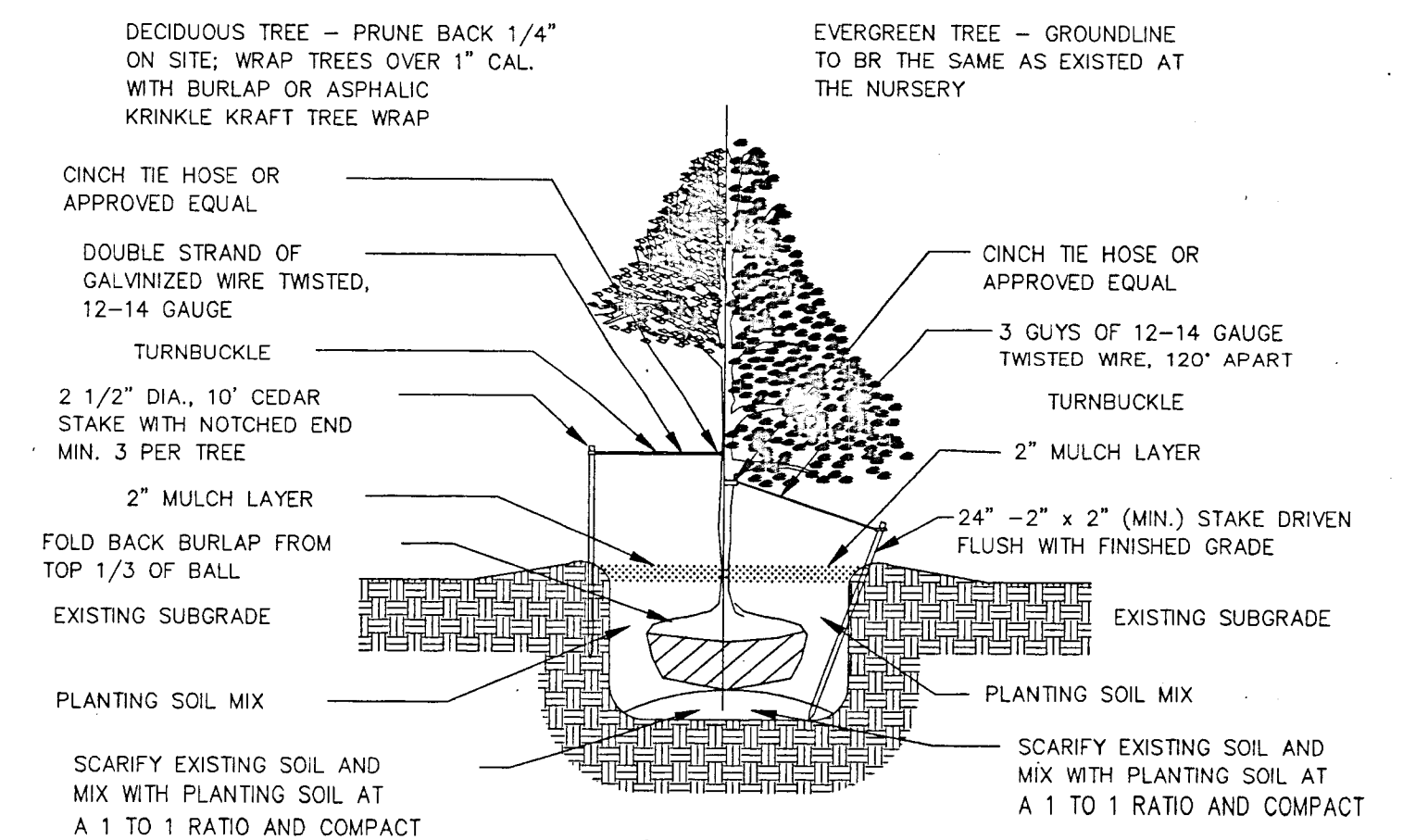
90° BAY PARKING WITH
LANDSCAPED ISLAND DETAIL
NOT TO SCALE



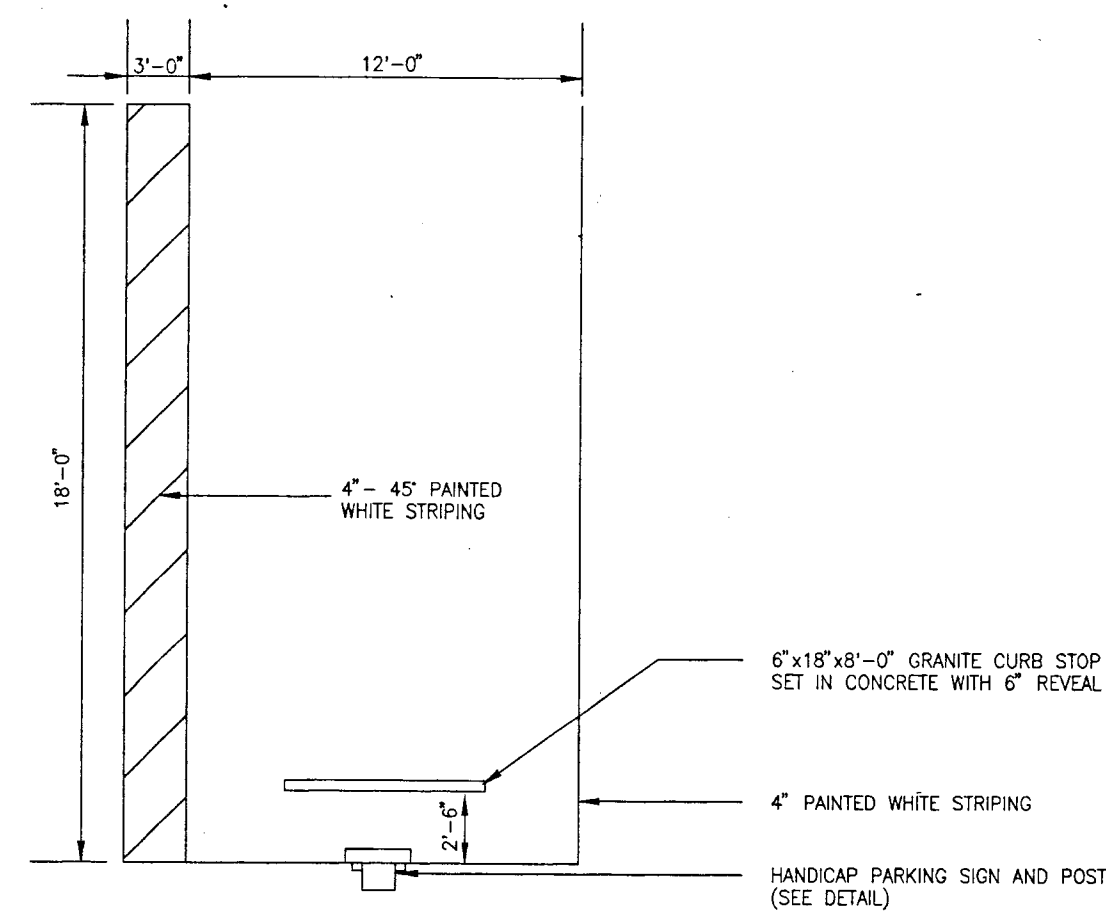
CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



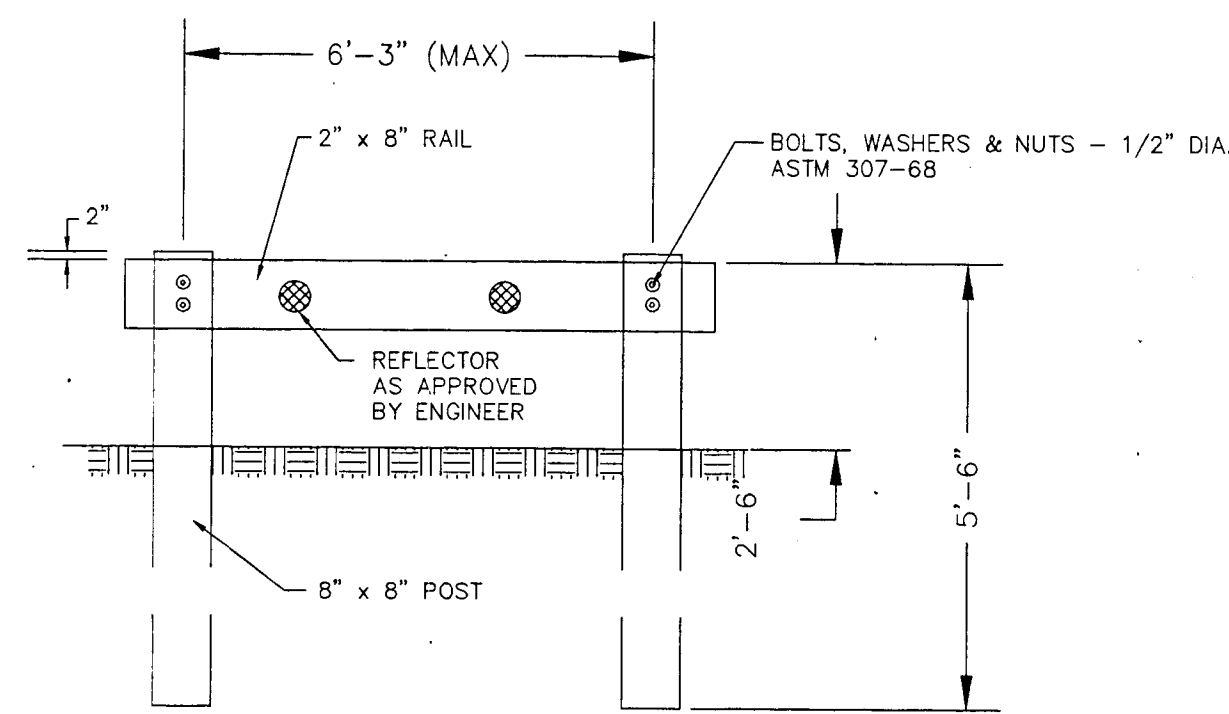
SHRUB PLANTING & EROSION
CONTROL MATTING DETAIL
NOT TO SCALE



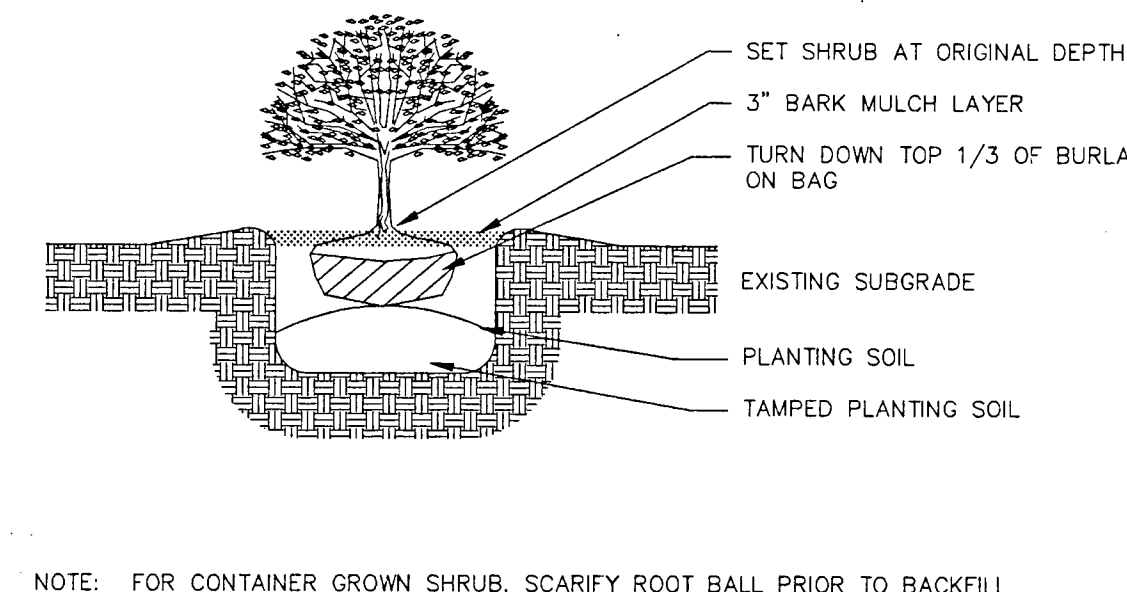
DECIDUOUS AND EVERGREEN
TREE PLANTING DETAIL
NOT TO SCALE



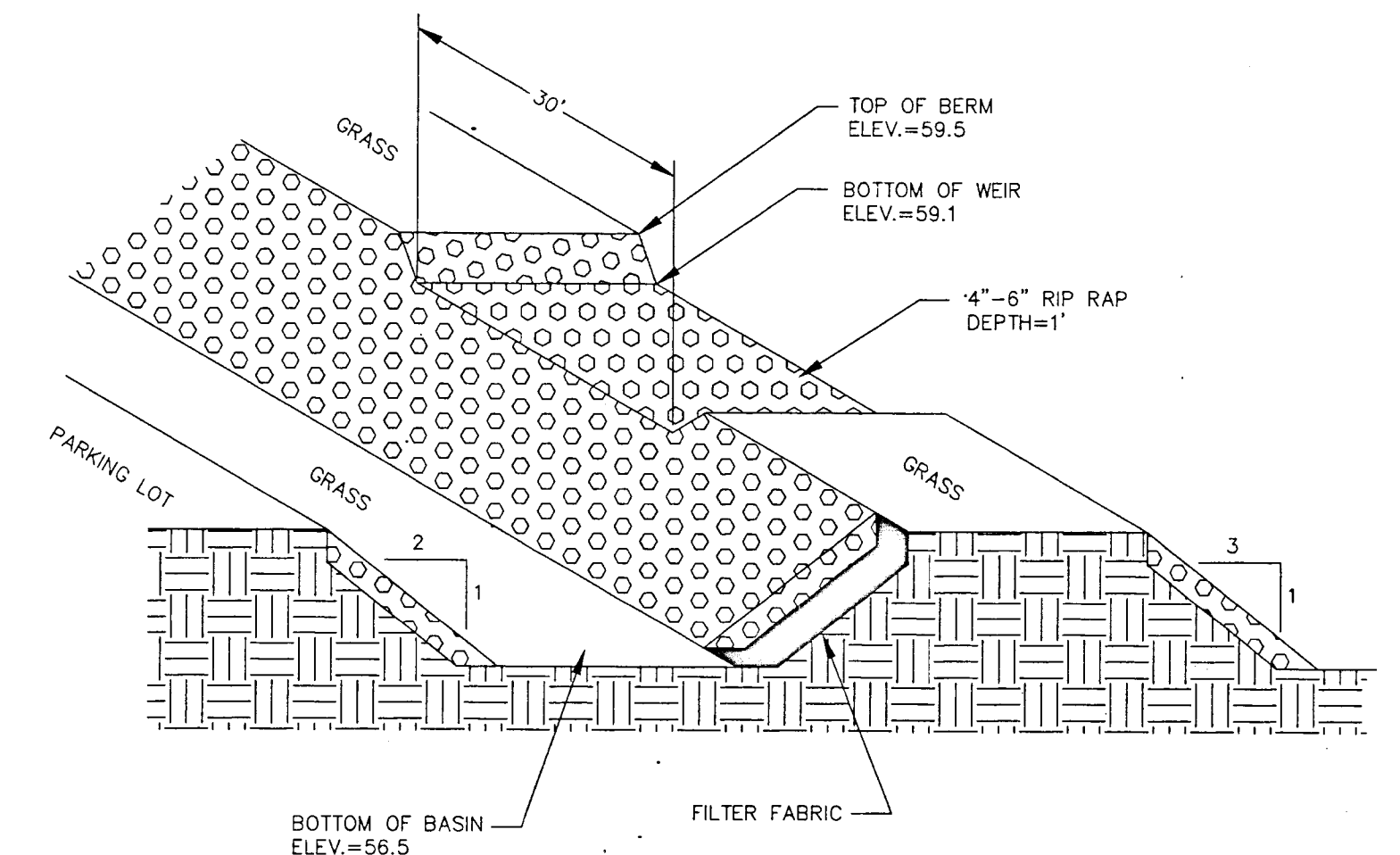
HANDICAP PARKING STALL DETAIL
NOT TO SCALE



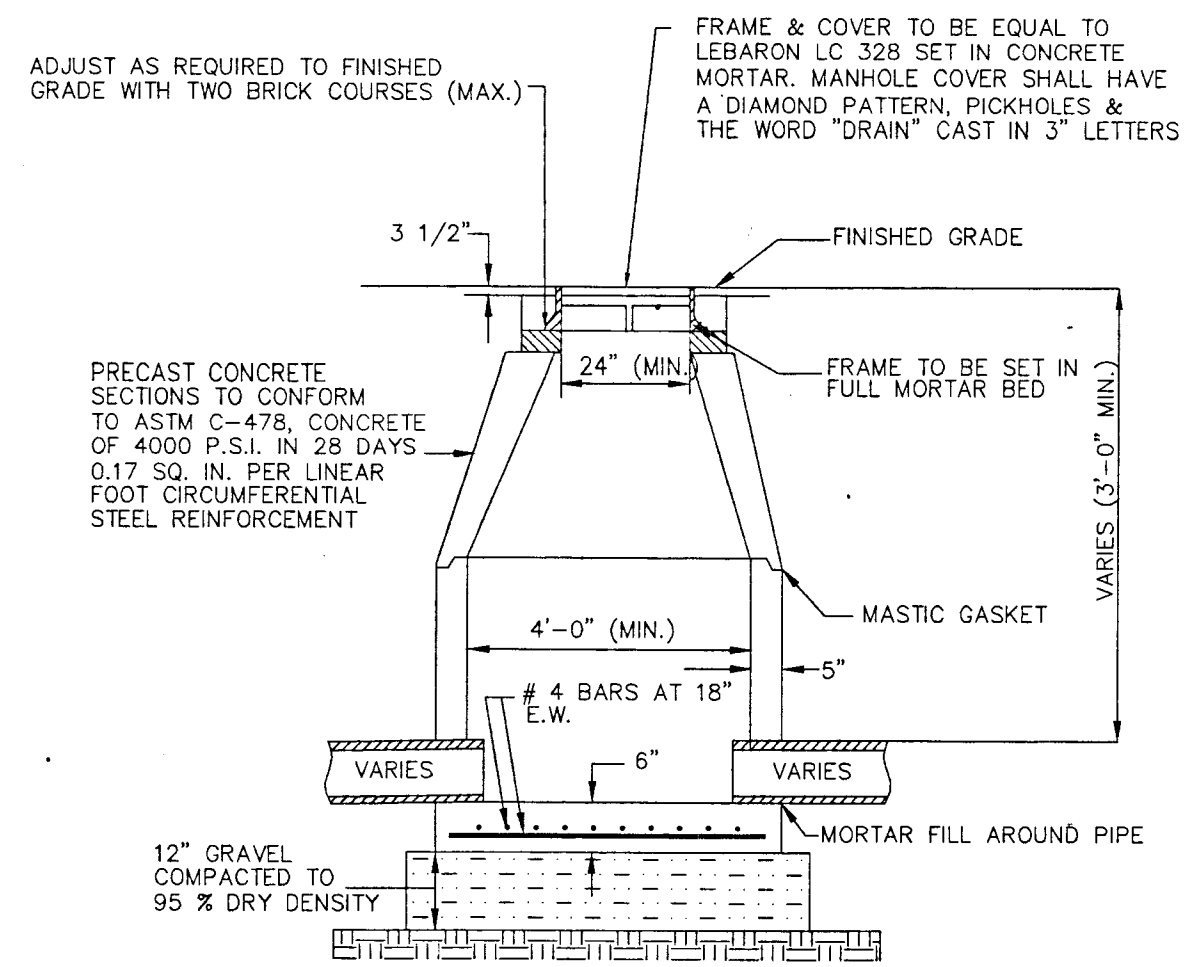
SINGLE GUARDRAIL &
WOOD POST DETAIL
NOT TO SCALE



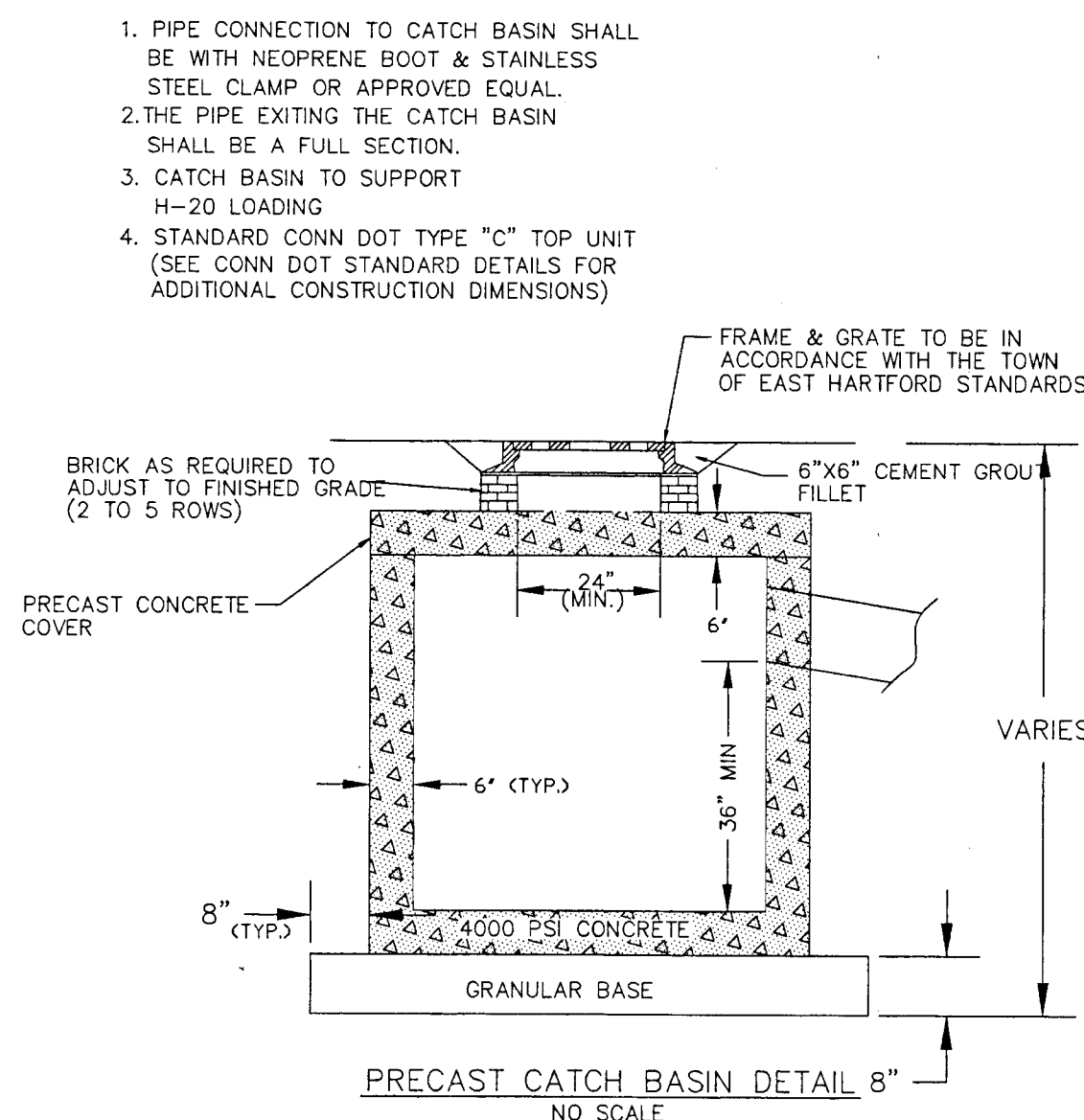
SHRUB PLANTING DETAIL
NOT TO SCALE



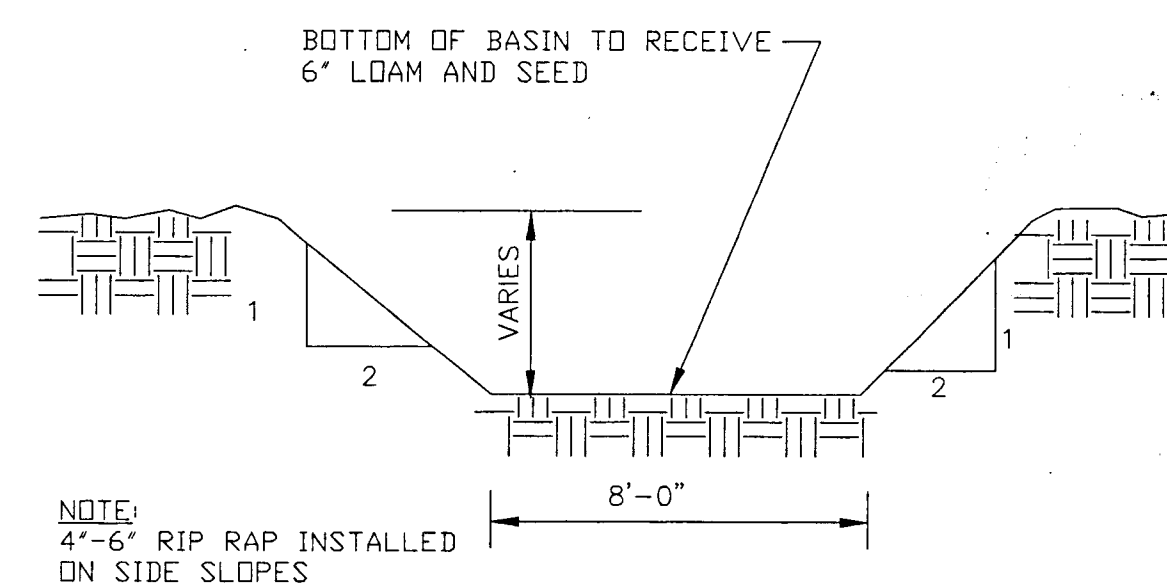
EMERGENCY SPILLWAY DETAIL
NOT TO SCALE



STANDARD DRAIN MANHOLE DETAIL
NOT TO SCALE



PRECAST CATCH BASIN DETAIL 8"
NO SCALE



DETENTION BASIN DETAIL
NOT TO SCALE

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

APPROVAL DATE 9/14/94
EXPIRATION DATE 9/14/99
CHAIRMAN

NO	DATE	BY	DESCRIPTION	JAM	APP'D
1	9-16-94	PBS	SHEET SIZE (ADDITIONAL SHEET)		

REVISIONS

PROPOSED ADDITION TO SHOWCASE CINEMAS
IN
EAST HARTFORD, CONNECTICUT
NATIONAL AMUSEMENTS, INC.
200 ELM STREET DEDHAM, MASSACHUSETTS

DETAIL SHEET

Allen & Major
Associates, Inc.

CIVIL ENGINEERS LAND SURVEYORS
400 WEST CUMMINGS PARK SUITE 5050 247 LONDONDERRY TURNPIKE
WOBURN, MA 01801 AUBURN, NH 03032
(617) 935-6889 FAX: (617) 935-2896 (603) 641-8300 FAX: (603) 641-8882

DATE: SEPT. 16, 1994	SCALE: AS NOTED	DWG. NAME: 13291D3
DRAWN BY: BMR	DESIGNED BY: BMR	CHECKED BY: JAM
JOB NO: F132-91	DISK N: 12	SHEET: 11 of 11

203

December 31, 1990

National Amusements, Inc.
200 Elm Street
Dedham, MA 02026

RE: Inlands Wetlands - Environment Commission Approval
Gentlemen:

This letter is to certify that the Inland Wetlands - Environment Commission of the Town of East Hartford, in session December 27, 1990:

Voted: To approve the application of National Amusements, Inc. to conduct a regulated activity, within the 200 Foot buffer zone, in conjunction with the construction of a parking lot, located at the Showcase Cinema site, Charter Oak Mall, Silver Lane, with the following conditions:

- This permit is non-transferable.
- All work in the Inland Wetlands buffer zone must be started within 12 months and completed within 18 months from the approval date.
- Proper erosion controls are to be maintained at all times.
- The use of salt, for the purpose of ice control, is prohibited.
- Daily inspection and maintenance of the detention pond is to be made for the purpose of removing all foreign material.
- Provide information on the location of the wetlands including map units which were discussed in the soil report.
- Provide rights to go enter on the adjacent property for work.
- Provide additional information on the detention pond:
 - Clearly label all details
 - Provide additional information on the emergency spillway.
 - Revise detention pond outlet structure:
 - Check outlet versus elevation and flows within the 30 inch RCP.
 - Provide trash rack for the outlet.
- Provide information as to type of vegetative treatment for the 2:1 slopes.
- Provide rights to use the stormwater drainage system
- Provide additional information on the 'Technical Release 20 Analysis'.
- Approval is granted as per plans entitled 'Site plan for Showcase Cinemas in East Hartford, CT, owner/applicant National Amusements, Inc., prepared by Allen, Demarjian & Major, Engineers & Surveyors, Woburn, MA, plans dated October 24, 1990, Scale 1 inch = 40 Feet, sheets 1 thru 11.'
- Additional comments may be generated pending final review of the plans by the State of Conn DEP. A new application may be required to address these comments.

Sincerely,

Michael Mancini, P.E.
Designated Agent for the
Inland Wetlands - Environment
Commission

MM/VK

cc: Michael Dayton, Town Planner

SLOPE STABILIZATION

- Upon completion of grading the slopes in the proposed detention basin, the following steps will be followed to stabilize the soil and to establish permanent vegetative cover.
- Apply limestone and fertilizer according to recommendations of the Engineer of if timing is critical fertilizer may be applied at the rate of 75 pounds per 1,000 square feet using 10-10-10 or equivalent. In addition, 200 pounds of 38-0-0 per acre or equivalent of slow release nitrogen may be used for top dressing. Apply ground limestone (equivalent to 50% calcium plus magnesium oxide) at the rate of three (3) tons per acre or 135 pounds per 1,000 square feet.
- Work lime and fertilizer into the soil as nearly as practical to a depth of four (4) inches with a disc, spring tooth harrow or other suitable equipment.
- Remove any surface stones two (2) inches or larger in any dimension. Also, remove any other unsuitable material from the surface of the seed bed.
- Seeding dates: the recommended dates for seeding are April 15 through June 15 or August 15 through September 15. If the slope should not be seeded at this time, temporary mulching measures shall be implemented until the next appropriate seeding period.
- Seeding mixture:

2:1 Slopes	
Type	Application Rate
Reed Canary Grass	0.45 pounds per 1,000 square feet
Redtop	0.10 pounds per 1,000 square feet
3:1 Slopes to 5:1 Slopes	
Type	Application Rate
Creeping Red Fescue	0.45 pounds per 1,000 square feet
Redtop	0.05 pounds per 1,000 square feet
Tall Fescue or Smooth Brome Grass	0.45 pounds per 1,000 square feet
- Apply seed uniformly with cyclone seeder or equivalent. Normal seeding depth is from 1/4 to 1/2 inch.
- The seed bed shall be firmed following seeding operations with a roller or light drag.
- Apply temporary mulching procedures to protect the soil from erosion until the permanent vegetative cover is established.
- Erosion control measures are to be maintained at all times during construction.

CONSTRUCTION NOTES

- The existing pavement to be removed shall be disposed of in a proper manner. The pavement in the existing parking area shall be cut to the limit of new paving to provide a clean surface for butting the proposed pavement. All material excavated shall be stockpiled and surrounded with hay bales in the staging area.
- The proposed detention basin shall be constructed in an orderly fashion and shall be expedited to minimize time required for unstable conditions. The detention basin shall be constructed during a dry period. The contractor shall dig two (2) test pits upon commencement of construction to confirm high ground water. The engineer shall be contacted to schedule the test.
- Rip-rap shall extend up the sides of the ditch and basin to a height equal to maximum depth of flow or to a point where vegetation can be established to adequately protect the ditch. Engineer to verify in field.
- Where rip-rap is used for slope protection, the rip-rap shall be keyed into the bottom of the slope to a minimum depth equal to 1.5 times the maximum size stone and shall extend into the bottom of the slope the same distance.

GENERAL NOTES

Total lot area = 25.6 acres ±, 1,116,349 square feet ±.

Site identified as Lot 107 on the Town of East Hartford Board of Assessor's Map Number 46.

Topographic information and existing site features obtained from an actual field survey performed by Allen & Major Associates, Inc., 400 West Cummings Park, Suite 5050, Woburn, Massachusetts, between June 1989 and August 1990.

Floodplain information obtained from the Flood Insurance Rate Map (FIRM) Community Panel No. 090026 0002 B, revised October 23, 1981. Site is within Zone A1, Area of Flooding during a 100-year storm event. 100-year flood elevation = 64.

The locations and elevations of all existing utilities shall be considered approximate and must be verified by the contractor prior to any construction. The contractor shall verify the locations of any crossings of proposed utilities and existing utilities. The general contractor shall contact the respective utility companies relative to the location and elevation of these lines. Any discrepancies in the location or elevation of any utilities shown or encountered during construction shall be reported to Allen & Major Associates, Inc., 400 West Cummings Park, Suite 5050, Woburn, Massachusetts 01801; (617) 935-6889.

Excavation shall not occur in the State of Connecticut except in an emergency without 48 hours notice, exclusive of Saturdays, Sundays, and legal holidays, to natural gas pipeline companies, public utility companies, cable television companies, and municipal utility departments that supply gas, electricity, telephone, or cable television service in or to the city or town where the excavation is to be made. The contractor shall call 'Call Before You Dig' at 1-800-922-4455 in order to comply with the above.

Contractor shall notify all appropriate agencies and utility companies, in writing, 48 hours prior to any construction within 10 feet of a utility line.

Construction shall not interfere with or interrupt utilities which are to remain in operation.

All utility connections are subject to the approval of, and granting of permits by, the Town of East Hartford. It shall be the responsibility of the general site contractor to see that all permits and approvals are obtained.

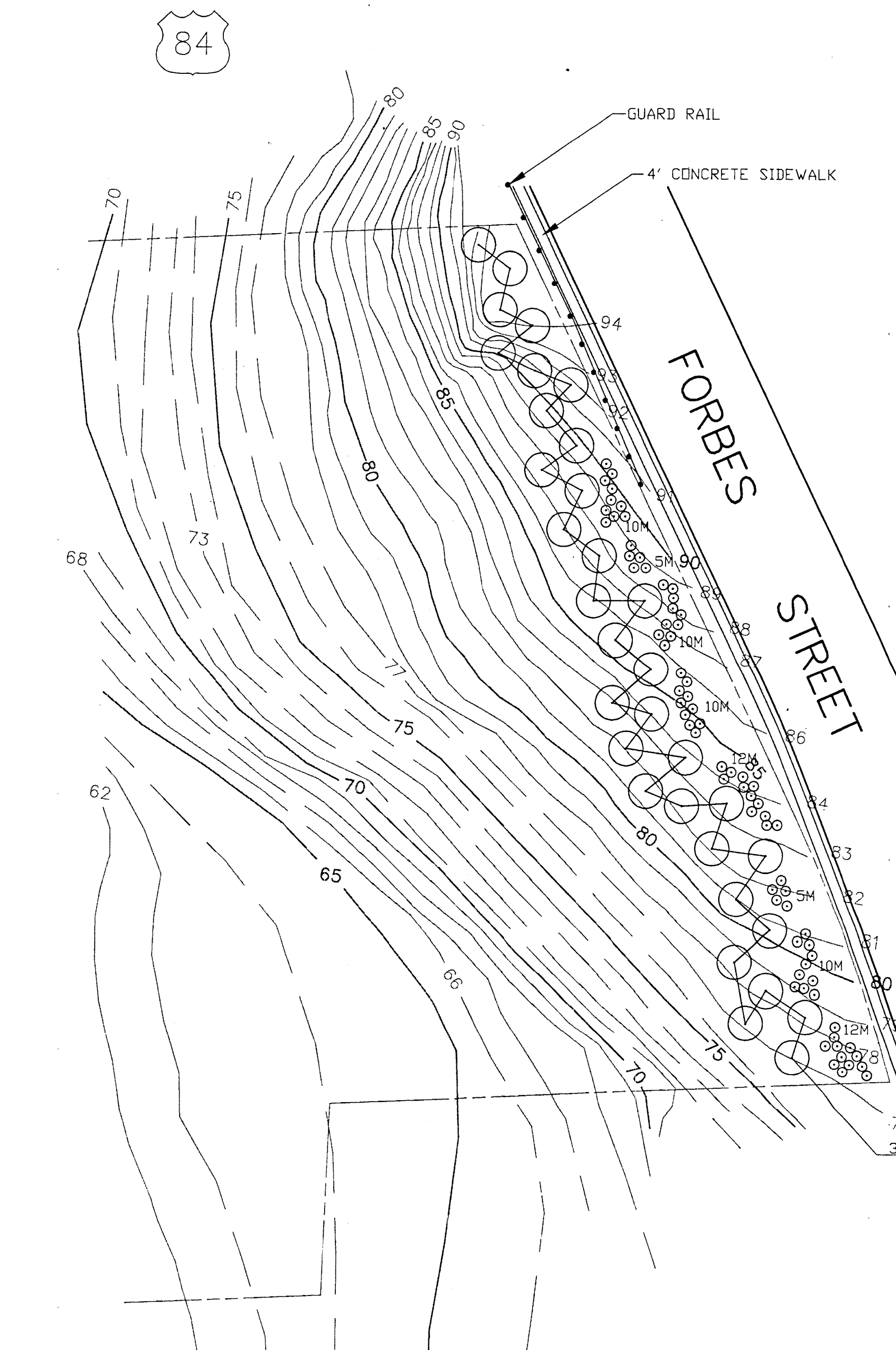
Before starting construction, the contractor shall be solely responsible for making all necessary arrangements and for performing any necessary work involved in connection with the discontinuance or jurisdiction of the utility companies, such as electricity, telephone, water and any system or systems which will be affected by the work to be performed under the contract.

The contractor shall comply with all applicable federal, state, and local safety codes and regulations in the construction of all improvements.

The contractor shall take adequate precautions to protect all walks, streets, pavements, trees and plantings, on or off the premises, and shall repair or replace or otherwise make good as directed by the engineer or owner's designated representative, any such or other damage so caused.

The contractor shall remove from the project site all stumps, rubbish and debris found thereon. Storage of such materials on the project site will not be permitted. The contractor shall leave the project site in safe, clean and level condition upon completion of the site clearance work.

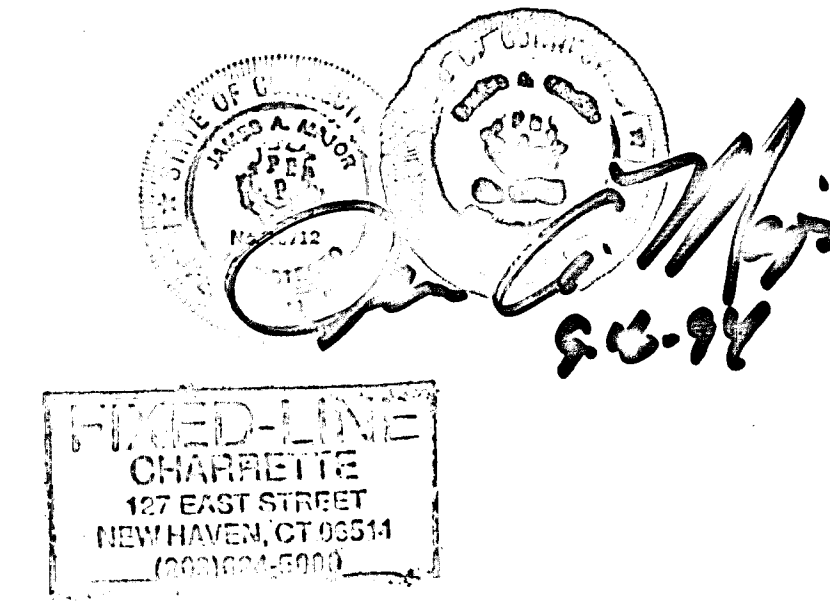
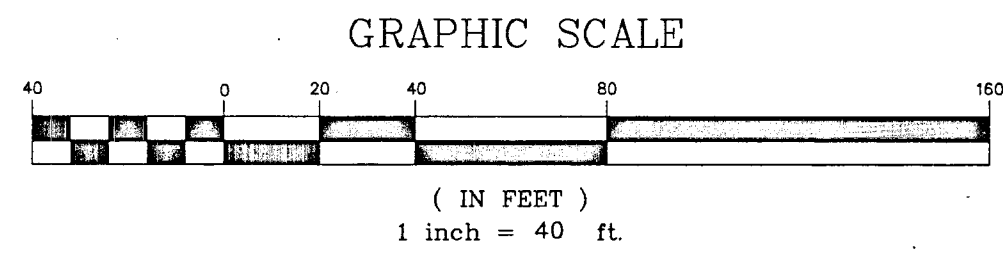
The contractor shall verify all benchmarks and all topographical information prior to commencement of construction and if the contractor discovers any discrepancies, the engineer shall be notified immediately.



KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
C	33	PINUS STROBUS	WHITE PINE	12'-14'	B&B	FULL TO GROUND
M	74	RHODODENDRON ROSEUM	ROSEHELL AZALEA	1-1/2'-2'	B&B	SPACE EVENLY

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

APPROVAL DATE 9/14/94
EXPIRATION DATE 9/14/99
[Signature] CHAIRMAN



2	9-16-94	PBS	SHEET SIZE	JAM
1	6-23-94	PBS	PLANT KEY	JAM
NO	DATE	BY	DESCRIPTION	APP'D

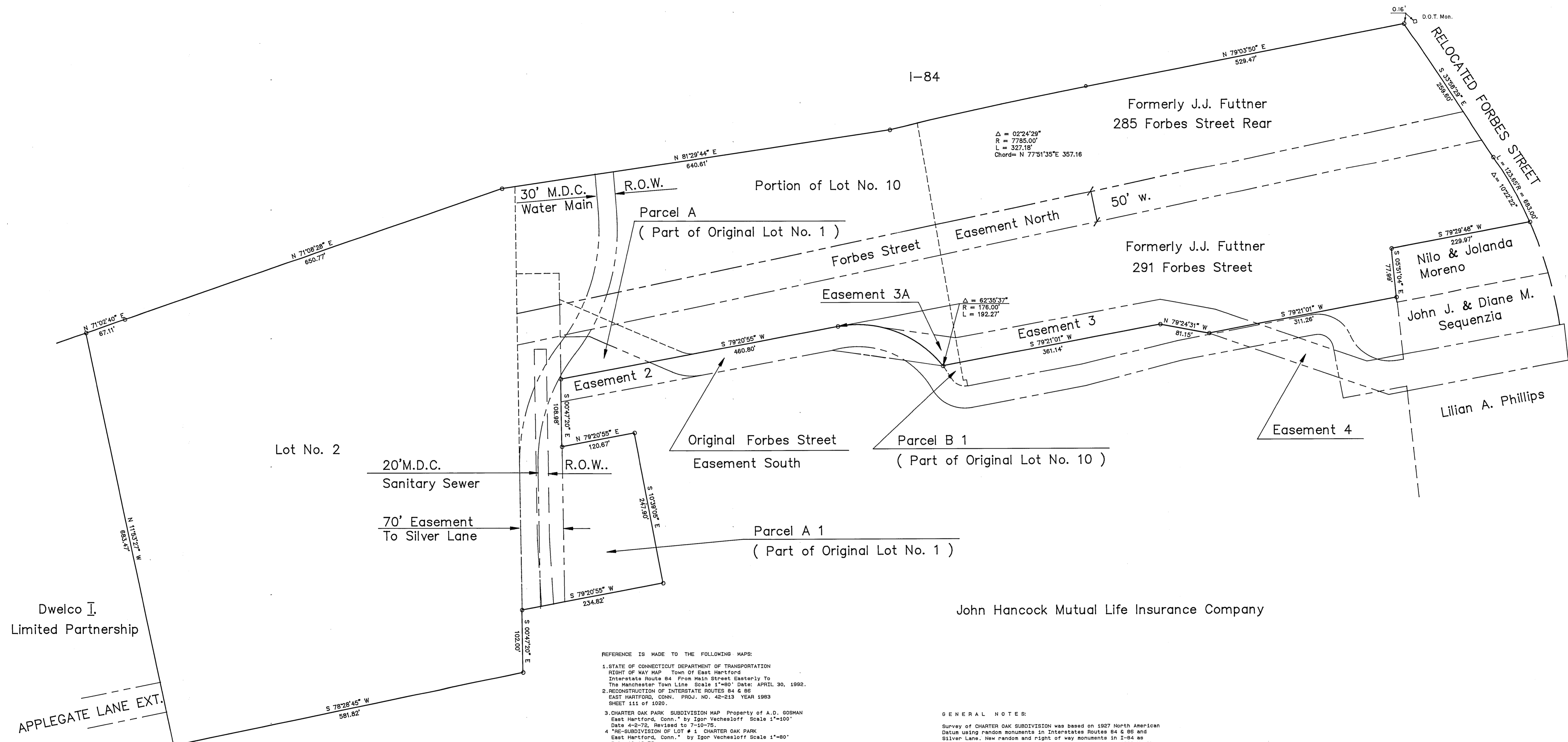
REVISIONS
PROPOSED ADDITION TO SHOWCASE CINEMAS
IN
EAST HARTFORD, CONNECTICUT
NATIONAL AMUSEMENTS, INC.
200 ELM STREET, DEDHAM, MASSACHUSETTS

PROPOSED LANDSCAPE PLAN
FOR
FORBES STREET

Allen & Major
Associates, Inc.
CIVIL ENGINEERS
400 WEST CUMMINGS PARK SUITE 5050
WOBRUN, MA 01801
(617) 935-6889 FAX: (617) 935-2896
LAND SURVEYORS
247 LONDONDERRY TURNPIKE
AUBURN, NH 03032
(603) 641-8300 FAX: (603) 641-8882
DATE: APRIL 13, 1994 SCALE: 1" = 40'
DRAWN BY: BMR DESIGNED BY: BMR CHECKED BY: JAM
JOB NO: F132-91 DISK N: 12 SHEET: 1 OF 1

203

Area = 1 116 649 s.f.
(25.6347 acr.)



Dwelco I,
Limited Partnership

APPLEGATE LANE EXT.

Lot No. 2

20' M.D.C.
Sanitary Sewer

70' Easement
To Silver Lane

Fenton Futtner et al n/f

REFERENCE IS MADE TO THE FOLLOWING MAPS:

- STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP Town of East Hartford Interstate Route 84 From Main Street Easterly To The Manchester Town Line Scale 1"=80' Date: APRIL 30, 1992.
- RECONSTRUCTION OF INTERSTATE ROUTES 84 & 86 EAST HARTFORD, CONN. PROJ. NO. 42-213 YEAR 1983 SHEET 111 of 1020.
- CHARTER OAK PARK SUBDIVISION MAP Property of A.D. GOSMAN East Hartford, Conn. by Igor Vechesloff Scale 1"=100' Date 4-2-72, Revised to 7-10-75.
- "RE-SUBDIVISION OF LOT # 1 CHARTER OAK PARK East Hartford, Conn." by Igor Vechesloff Scale 1"=80' Date 10-12-76.
- Map Showing Easements Relating to CHARTER OAK PARK SHOPPING CENTER, East Hartford, Conn. by Igor Vechesloff Scale 1"=80' Date 1-20-76.
- EXHIBIT PLAN SHOWING TRANSFER OF LAND AND EASEMENTS CHARTER OAK MALL, PREPARED FOR JOHN HANCOCK MUTUAL LIFE INSURANCE COMPANY SILVER LANE AND FORBES STREET EAST HARTFORD, CONNECTICUT by Greiner, Inc. Scale 1"=40' Date January, 1993.

The SITE is subject to the following Easements:
The Metropolitan District Sanitary Sewer (V.496; P.262) and Water Main (V.492; P.36) Easements;
The Hartford Electric Light Company Easement (V.804; P.59) and Electric Distribution System Easement (V.560; P.299 & V.580; P.325);
Drainage Rights between J.J. & M. Futtner and The State of Connecticut (V.146; P.227);
Forbes Street Marquee Easement (V.492; P.175 & V.846; P.103);
Terms, Provisions, and Agreements between A.D. Gosman and National Amusements, Inc. (V.482; P.20; V.492; P.168; V.492; P.189);
Terms and Provisions between National Amusements, Inc. and ARGOS Associates (V.646; P.28; V.646; P.80);
Terms and Provisions between The State of Connecticut and ARGOS Associates (V.690; P.148);
A Declaration of Easements by ARGOS Associates (V.646; P.173);
Restrictions set forth in a deed from N.H. Goldstein to National Amusements (V.898; P.245);
Traffic Report by The State of Connecticut (V.1336; P.43).

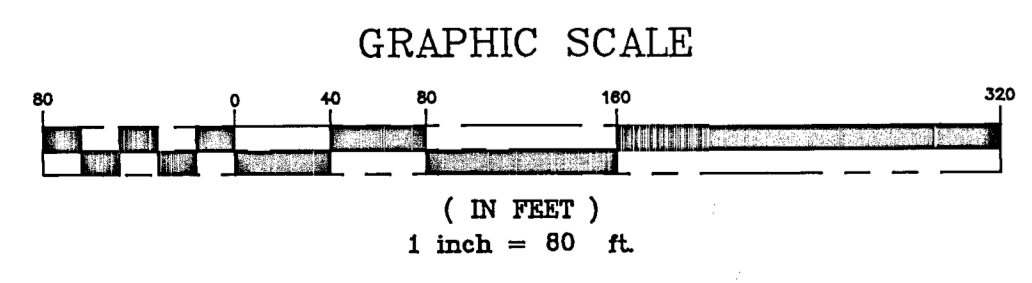
GENERAL NOTES:

Survey of CHARTER OAK SUBDIVISION was based on 1927 North American Datum using random monuments in Interstates Routes 84 & 86 and Silver Lane. New random and right of way monuments in I-84 as shown on D.O.T. map dated April 30, 1992 are based on 1983 North American Datum. To find relationship between 1927 Datum and 1983 Datum following monuments were used in the recent 1994 survey by Igor Vechesloff:
Stations 6412 & 6413 (Silver Lane); A 4342 & A 4343 (I-84) based on N.A.D.83 and Control Points 210 & 211 (Silver Lane) and Control Points "A" & "B" (Forbes Street) based on N.A.D.27.

I HEREBY DECLARE THAT THIS MAP IS SUBSTANTIALLY CORRECT. THIS MAP AND SURVEY WERE PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS "A-2" SURVEY AS DEFINED IN THE "RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 24, 1992 AND EFFECTIVE JANUARY 1, 1993.

Surveyor's Signature: *Igor Vechesloff* Date: 9-12-1994 Licence Number: 3756

- LEGEND :
- Property Line
 - - - Original Lot Line
 - - - Easement Line

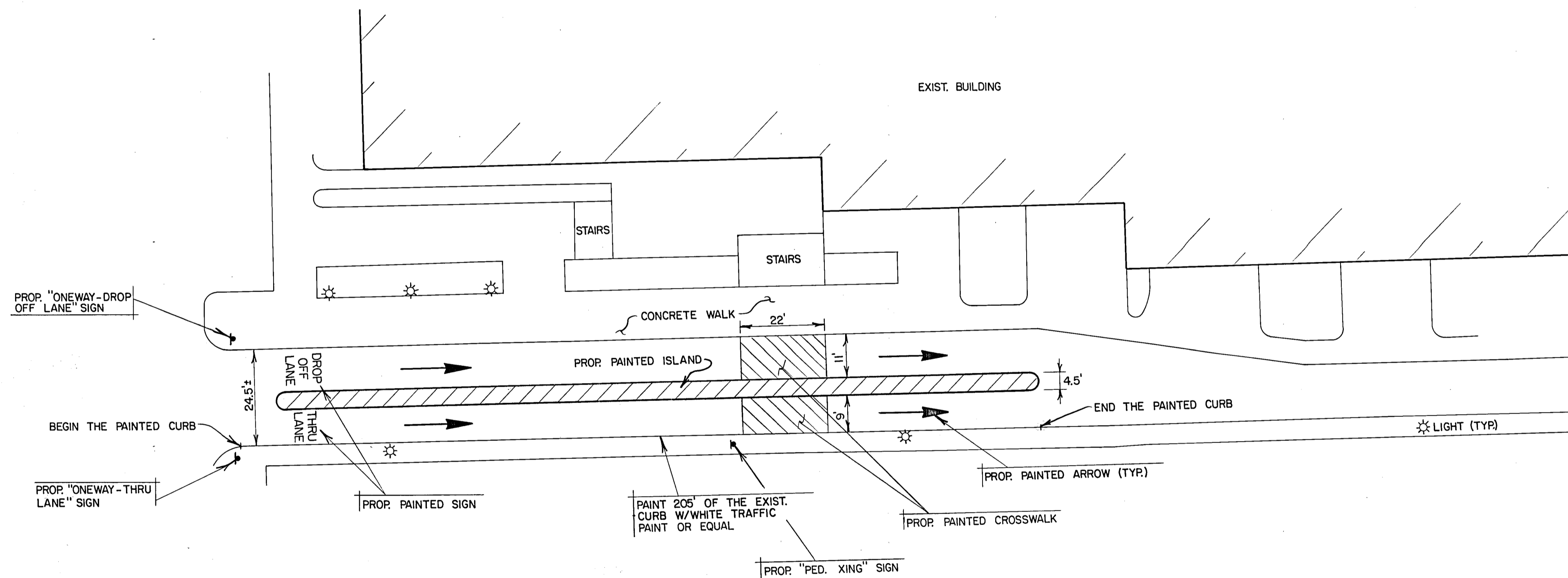
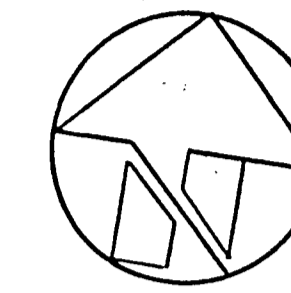


GENERAL LOCATION SURVEY
Property off
NATIONAL AMUSEMENTS , INC.
EAST HARTFORD , CONNECTICUT

IGOR VECHESLOFF PROFESSIONAL ENGINEER & LAND SURVEYOR 51 LORRAINE STREET HARTFORD, CONNECTICUT	
SCALE 1" = 80'	DATE 9-13-1994
DRAWING NO. 1025	

This drawing reproduced in accordance with state filing regulations. Process used:
 Wsch-off Fixed-line photo
Joseph Morrill & Company

2913



OLIVER CORPORATION
FIXED LINE PHOTOGRAPHIC

REV. 3-19-96 TOWN COMMENTS

DROP OFF LANE STRIPING & SIGNAGE PLAN

PROPERTY OF

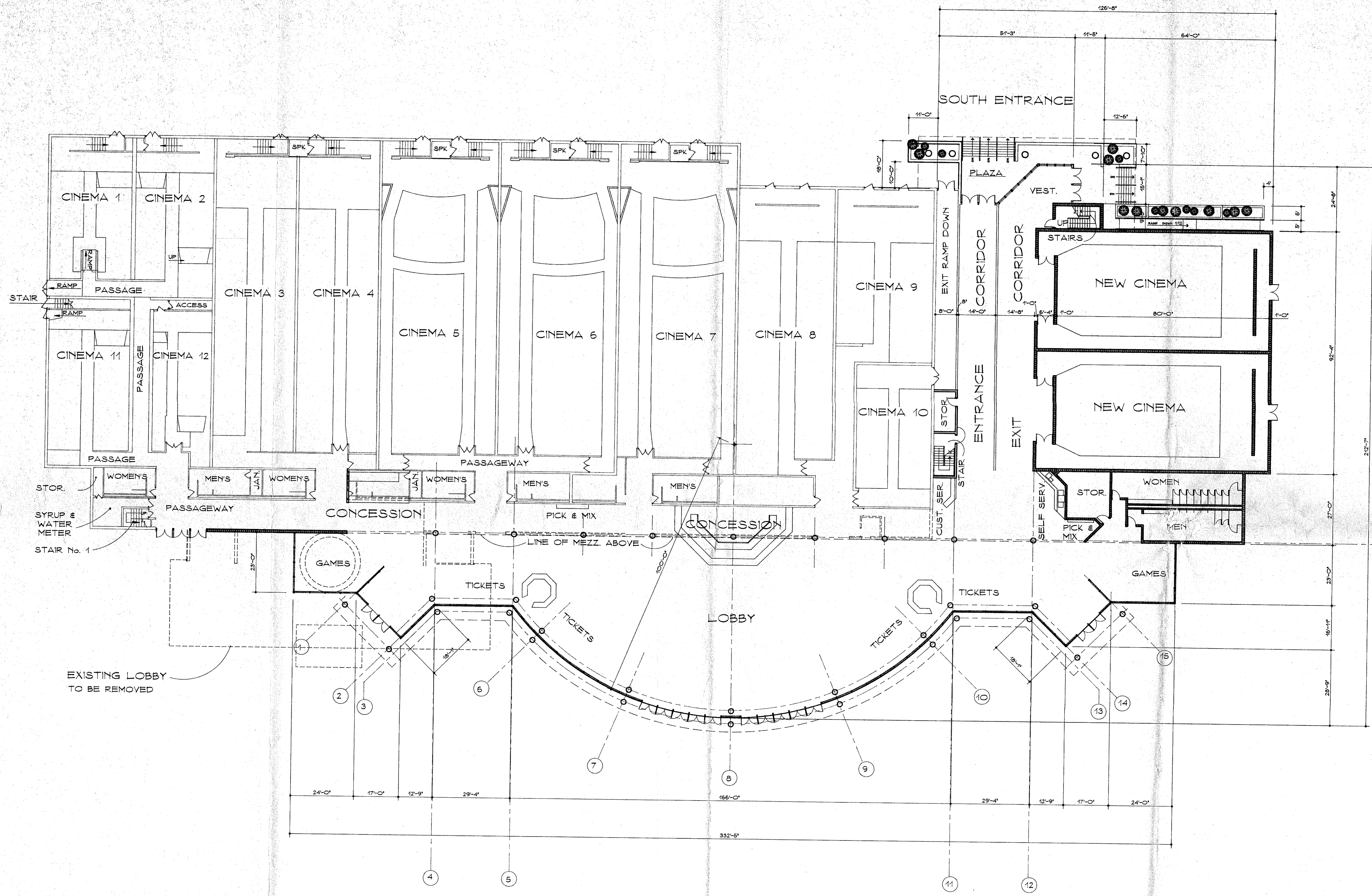
NATIONAL AMUSEMENTS, INC.

936 SILVER LANE
EAST HARTFORD, CONNECTICUT

J.R. RUSSO & ASSOCIATES
LAND SURVEYORS & PROFESSIONAL ENGINEERS
1 SHOHAM ROAD
EAST WINDSOR, CONNECTICUT 06088

623-0569

BY	SCALE	DATE	SHEET	CHECKED	NO.
JR	1"=20'	2-22-96	1 of 1	J.R.R.	94096



EXISTING LOBBY TO BE REMOVED

GROUND FLOOR PLAN
SCALE: 1/16" = 1'

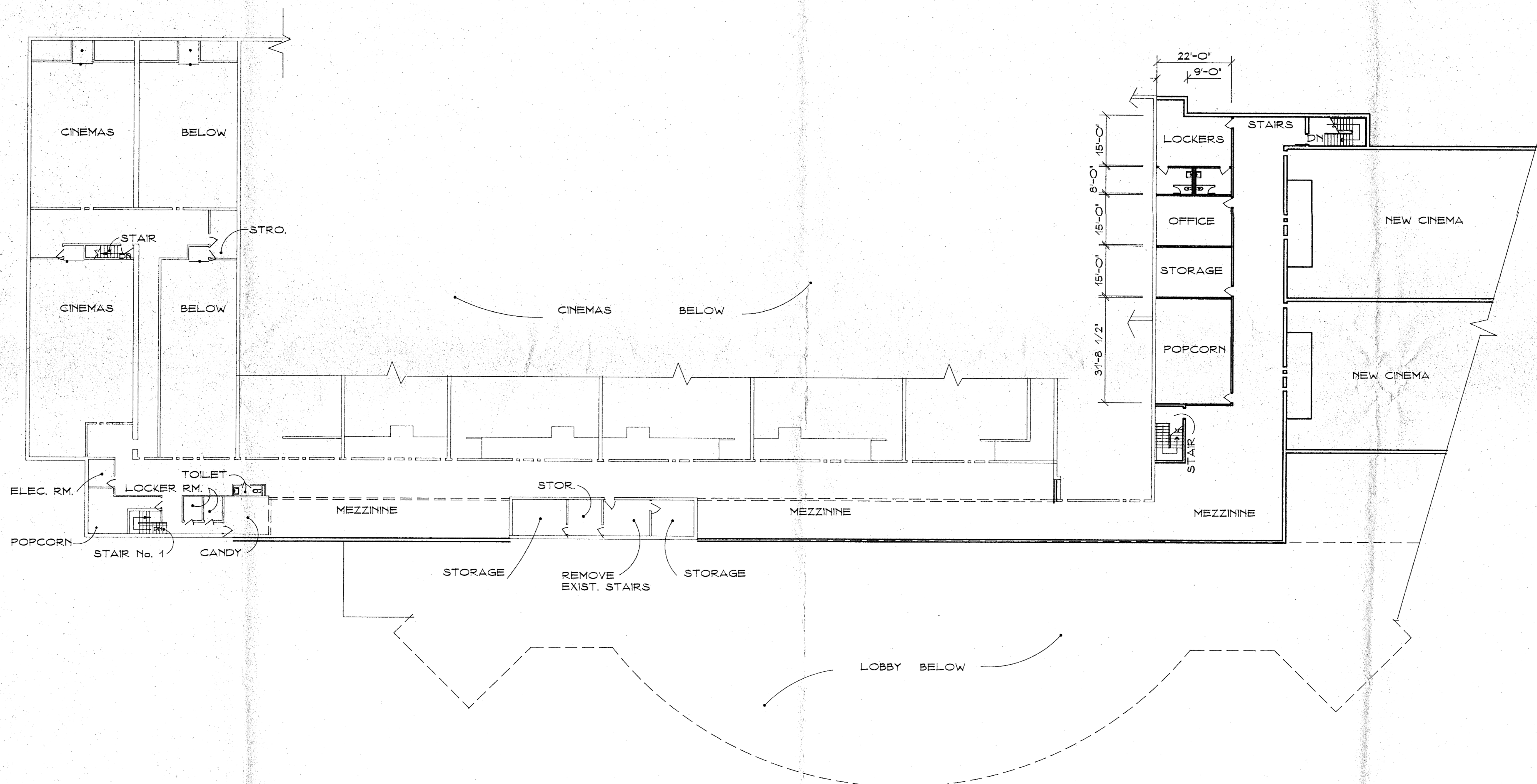
NATIONAL AMUSEMENTS, INC.
SHOWCASE CINEMAS
EAST HARTFORD CT

WILES AND ASSOCIATES ARCHITECTS
ARCHITECTS/PLANNERS
155 Brooktown Ave., Bridgeport, CT 06604

FLOOR PLAN

Date	14APR94	Drawn By	DJM/GAW
Proj. No.	94-792	Scale	1/16"=1'-0"

A1.1



MEZZANINE FLOOR PLAN
SCALE: 1/16" = 1'

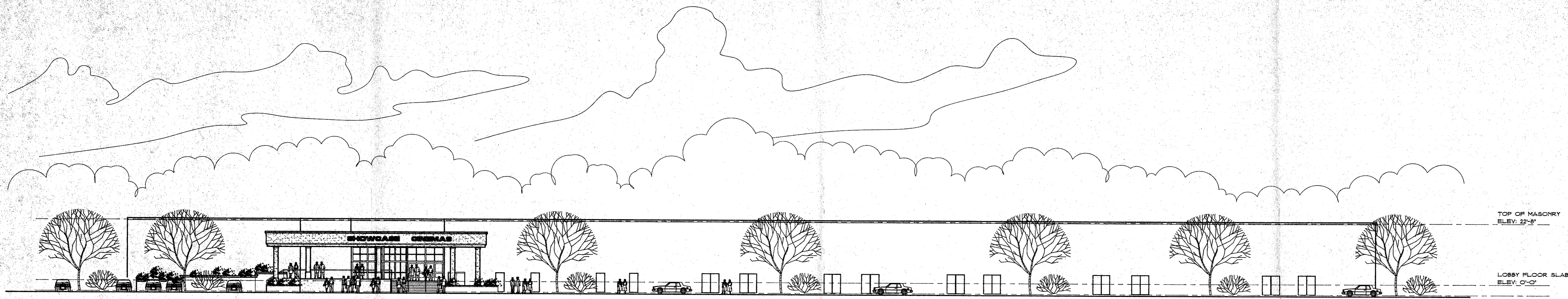
NATIONAL AMUSEMENTS, INC.
SHOWCASE CINEMAS
EAST HARTFORD CT

WILES AND ASSOCIATES
ARCHITECTS
ARCHITECTS/PLANNERS
155 Brookline Ave., Bridgeport, CT 06604

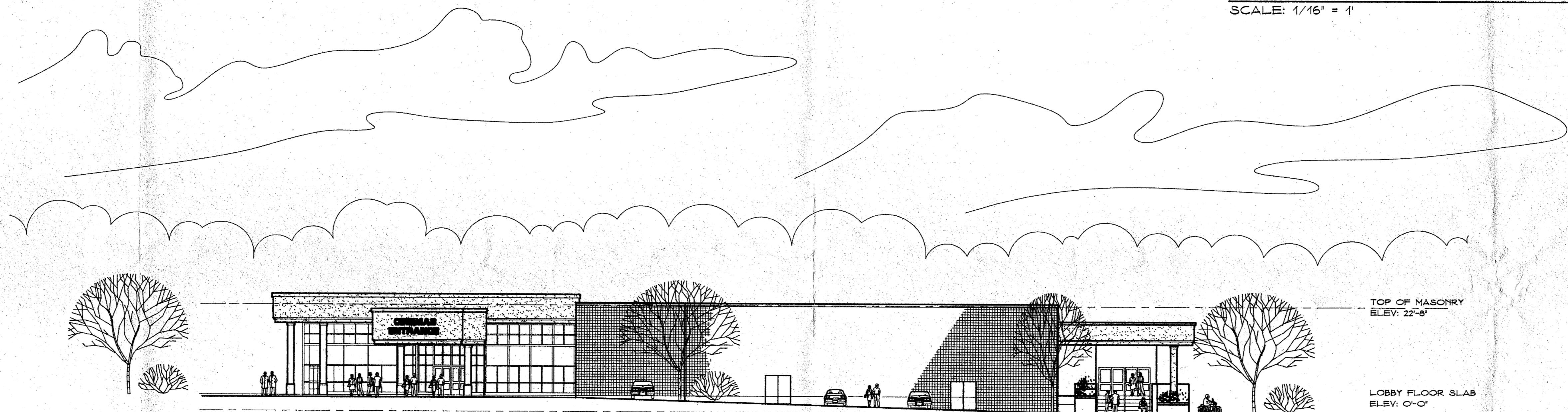
MEZZANINE FLOOR PLAN

Date	14APR94	Drawn By	DJM/GAW
Proj. No.	94-792	Scale	1/16"=1'-0"

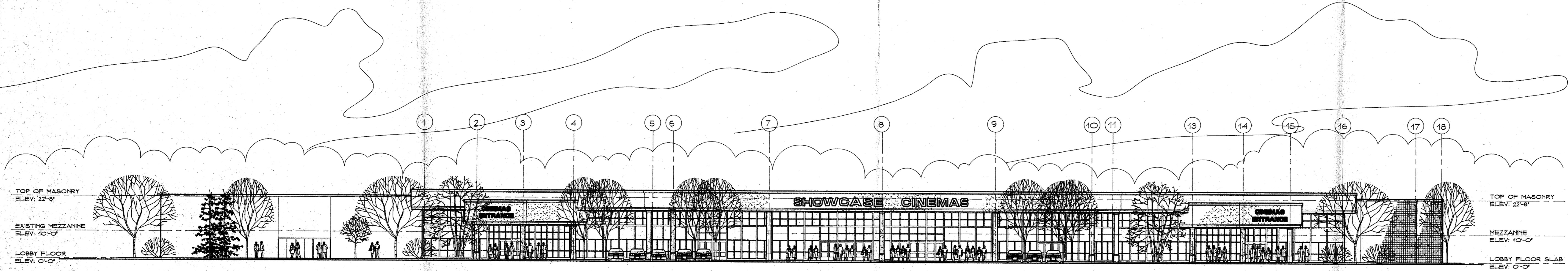
A1.2



SOUTH ELEVATION
SCALE: 1/16" = 1'



EAST ELEVATION
SCALE: 1/16" = 1'



NORTH ELEVATION
SCALE: 1/16" = 1'

NATIONAL AMUSEMENTS, INC.
SHOWCASE CINEMAS
EAST HARTFORD CT

WILES AND ASSOCIATES ARCHITECTS
ARCHITECTS/PLANNERS
155 Brookline Ave., Bridgeport, CT 06604

ELEVATIONS

Date: 14APR94	Drawn By: GKH
Proj. No.: 94-792	Scale: 1/16"=1'-0"

A2.1