



Addendum No.: 2

Date Of Addendum: 8/19/2020

CT DAS | Construction Services | Office of Legal Affairs, Policy, and Procurement

Roof Top A/C and Roof Replacement
300 Corporate Place
Rocky Hill, CT
BI-2B-387

TO: Prospective Bid Proposers:

This Addendum forms part of the "Contract Documents" and modifies or clarifies the original "Contract Documents" for this Project dated 5/22/2020. Prospective Bid Proposers **shall** acknowledge receipt of the total number the Addenda issued for this Project on the space provided on Section 00 41 00 Bid Proposal Form.

Failure to acknowledge receipt of the total number the Addenda issued for this Project on the space provided on Section 00 41 00 Bid Proposal Form shall subject Bid Proposers to disqualification.

The following clarifications are applicable to drawings and specifications for the project referenced above.

Item 1:

Q: I understand the drawings are not yet available and there will not be a pre bid. Would you please send me the photographs of the building?

A: see attached existing photograph

All questions must be **emailed** (not **verbal** or by **phone**) to the consulting Architect/Engineer Lori Donadio, OAKPARK Architects, Email: lorid@oakparkarchitects.com with copies sent to the DAS/CS Project Manager (Barbara Cosgrove, Email: barbara.cosgrove@ct.gov and Construction Administrator Rizwan Mumtaz, Email: rmumtaz@aiengineers.com

End of Addendum 2

Mellanee Walton

Mellanee Walton, Associate Fiscal Administrative Officer
State of Connecticut
Department of Administrative Services, Construction Services
Office of Legal Affairs, Policy, and Procurement
450 Columbus Boulevard, Suite 1302
Hartford, CT 06103



Existing ACCU-2 Serving Indoor
Air Handler AC-2



Existing RTU-3 & RTU-4



Existing ACCU-1 Serving Indoor
Air Handler AC-1



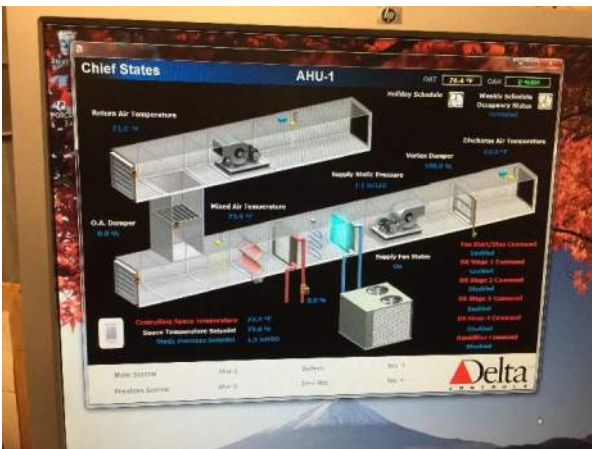
Existing Thermo Fuser



Existing Boiler Flue & UH Flue Termination



Existing Roof Drain. Typical.



Existing Delta Controls Systems



Existing Rooftop Exhaust Fan. Typical.



Existing Split A/C Condensing Units on Roof



Existing Rooftop Units RTU-3 & RTU-4 & Associated Roof Mounted Ductwork



Existing Boiler Plant in Penthouse MER



Existing BMS Controllers in BMS Penthouse



Existing Indoor AHU-1 in Penthouse MER



Existing Indoor AHU-2 in Penthouse MER



Existing Fire Protection & Radiant Panels in Connector



Existing Perimeter Finned Tube



Existing Domestic Water & Gas Piping in Penthouse MER



Recently Replaced RTU-5



Existing Pressure Independent Module



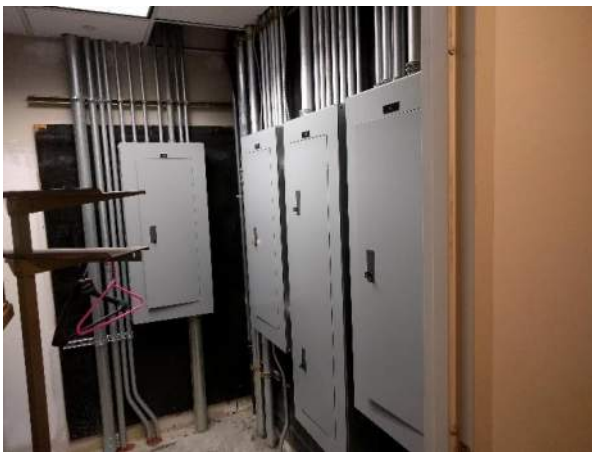
Existing Louver Serving AC-1 & AC-2



Existing First Floor Electrical Room



Existing First Floor Electrical Room



Existing Second Floor Electrical Room



Existing Third Floor Electrical Room



Existing Bollards



Existing Fire Alarm Control Panel



Existing Penthouse Electrical Equipment



Existing Penthouse Electrical Equipment



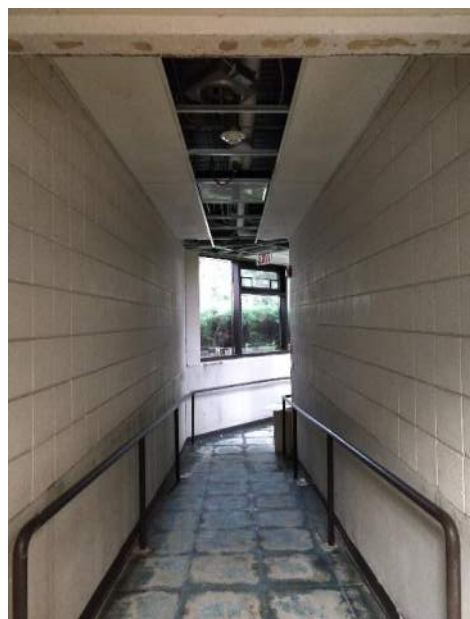
Existing Penthouse PP3



Existing Penthouse PP1



Existing Penthouse PP2



Existing Conditions of Connector



Main Roof



Main Roof



Main Roof



Roof Hatch



Main Roof



Main Roof



Main Roof



Main Roof



Main Roof



Main Roof



Main Roof



Main Roof



Main Roof

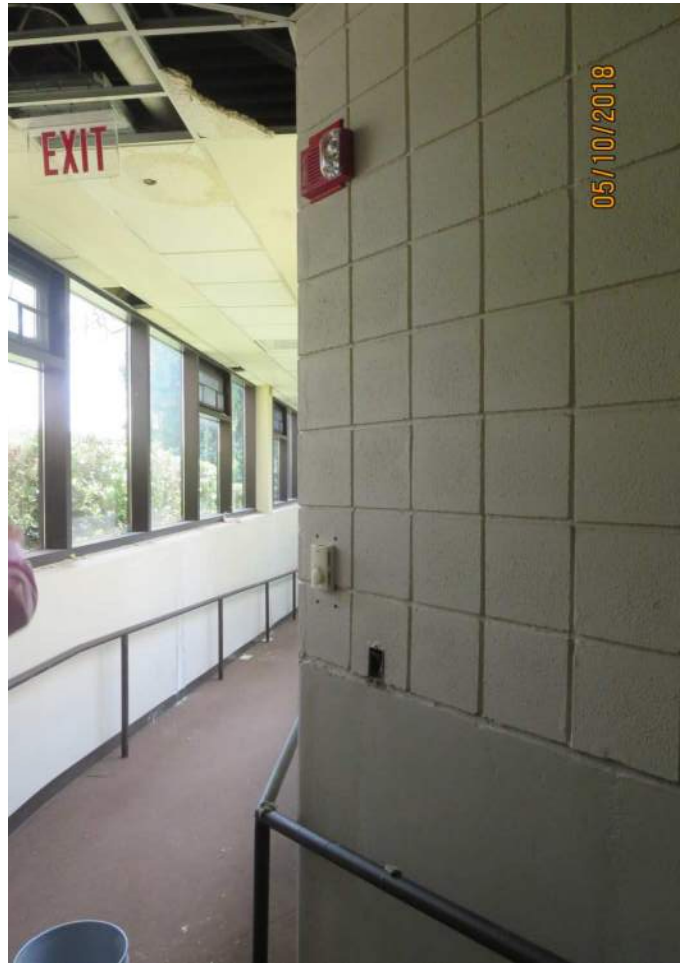


Main Roof



Carpet has since been removed

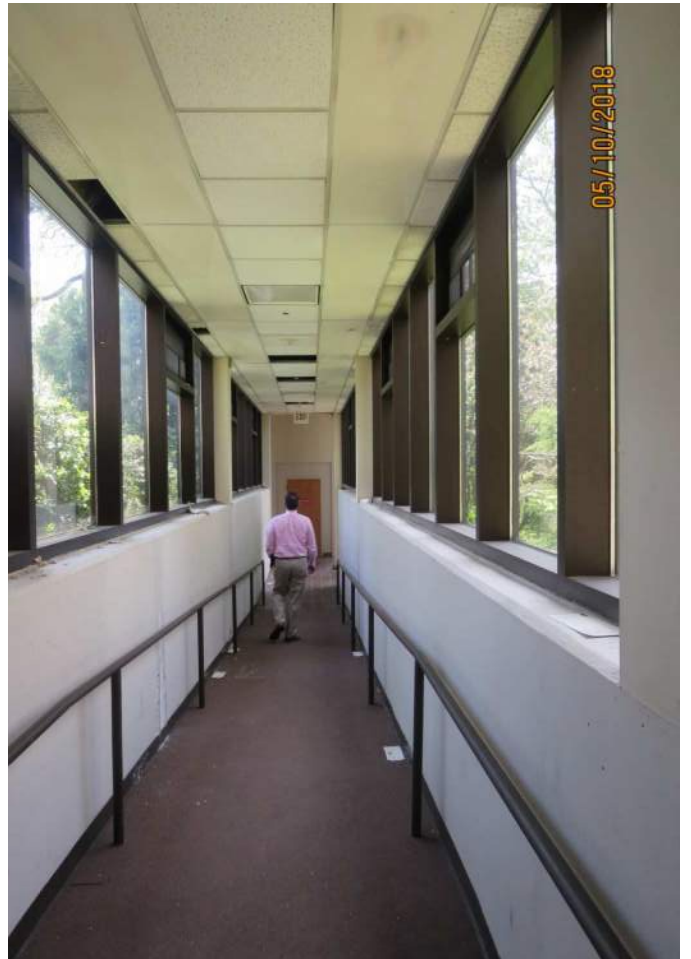
Connector



Carpet has since been removed



Connector



Carpet has since been removed



Connector



Connector "Knuckle"



"knuckle" egress door

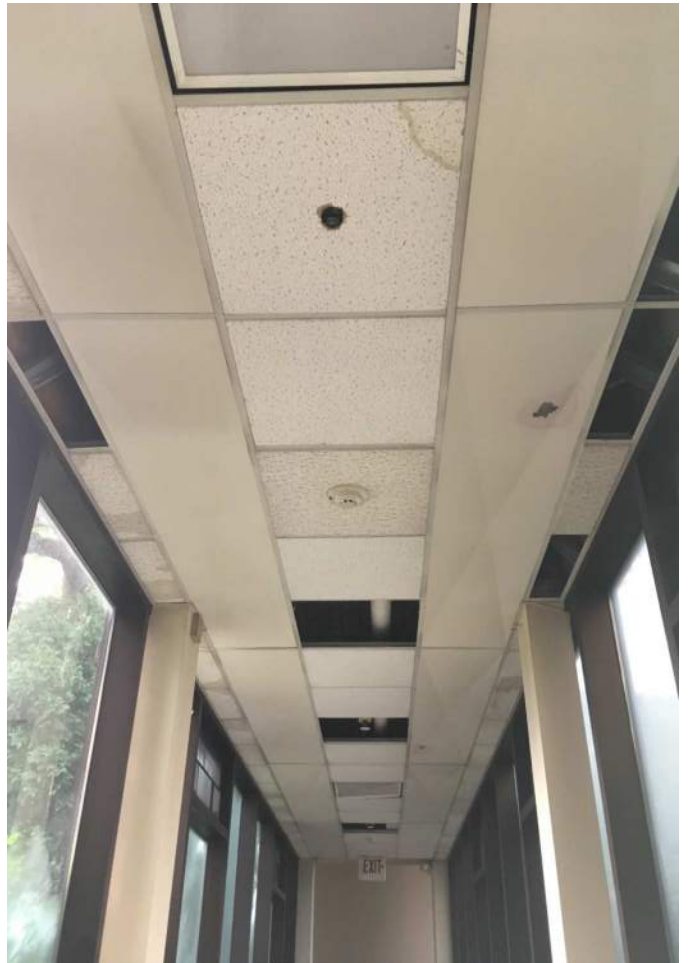




door to other tenant area



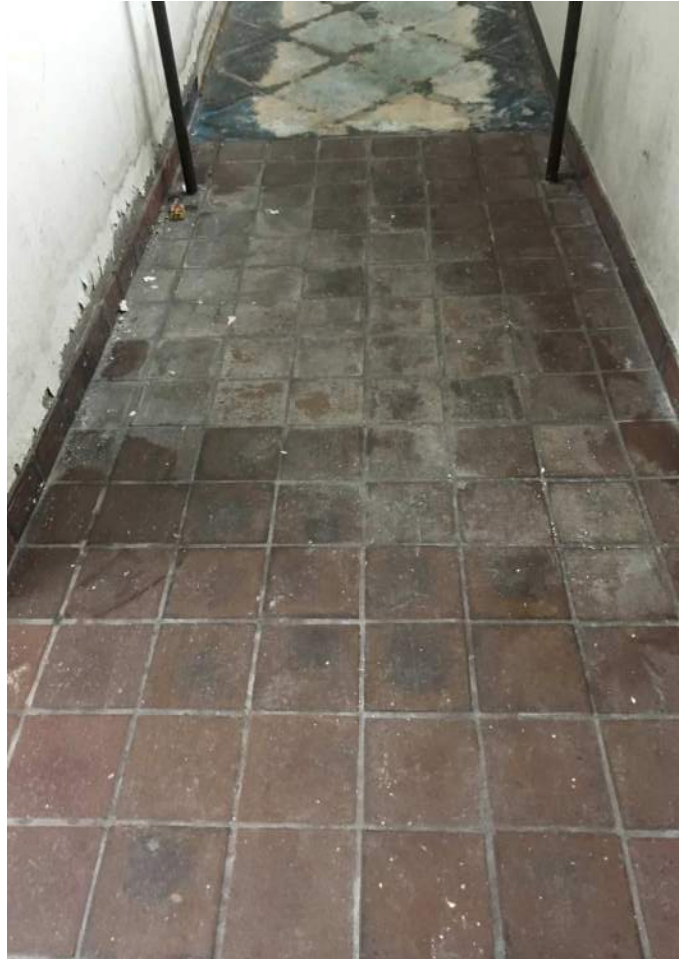
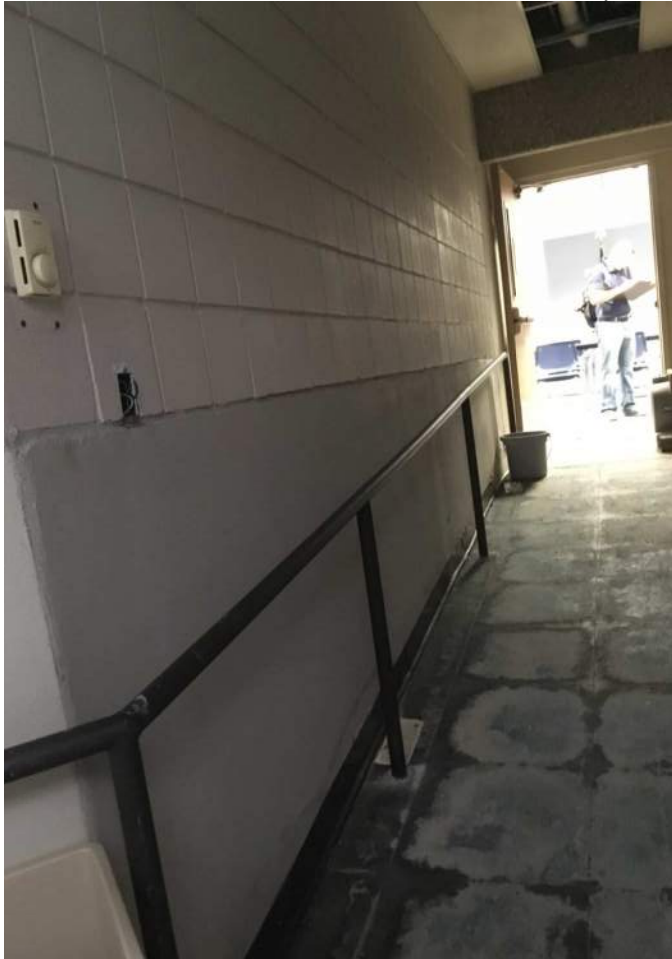


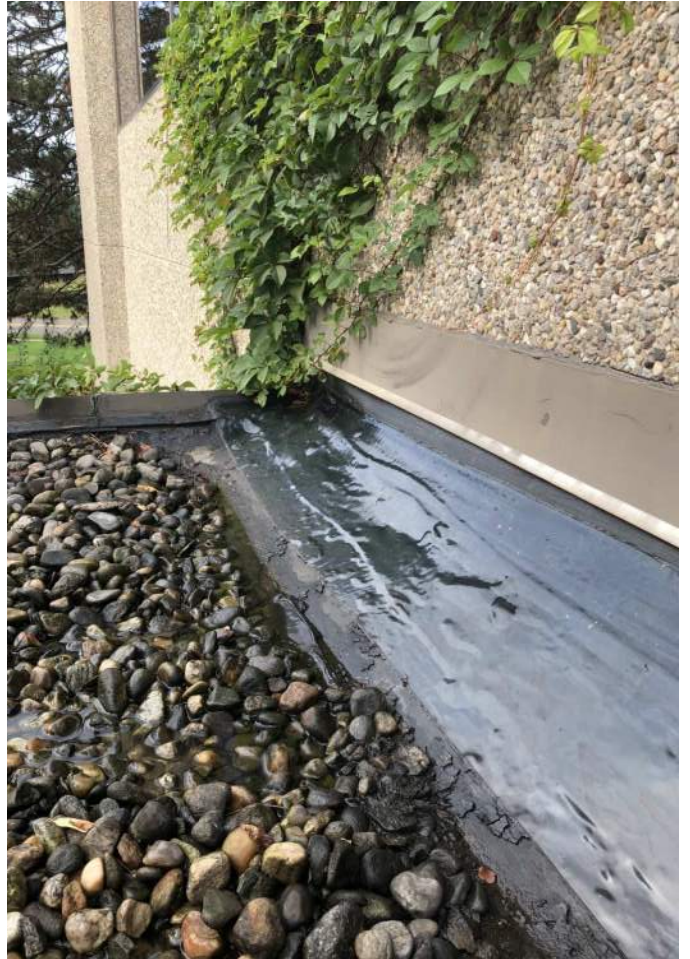






after carpet was removed





Connector Roof



Main Entry-Sloped Glazing



Northwest Elevation



Connector - East Elevation





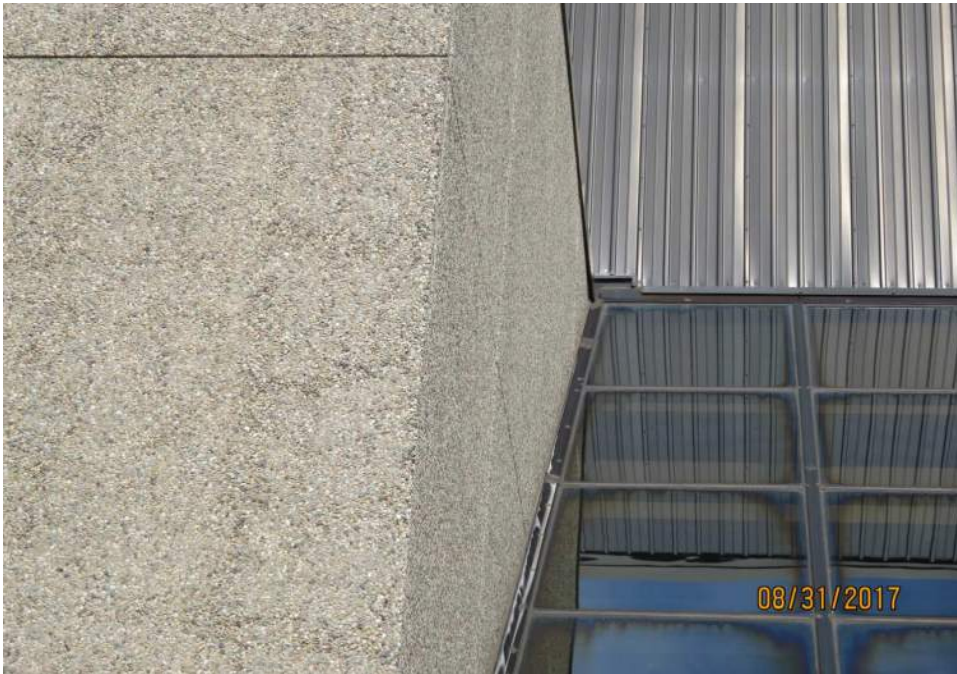
Side Entry (East)



Connector - East Elevation



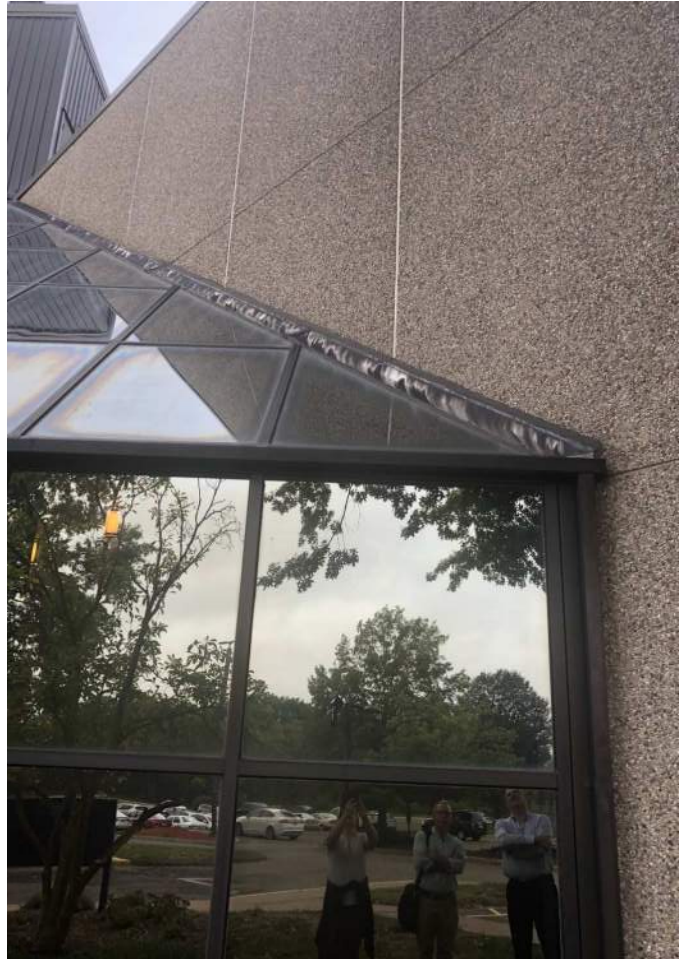
Connector - East Elevation



Sloped Glazing / Entry



Sloped Glazing / Entry



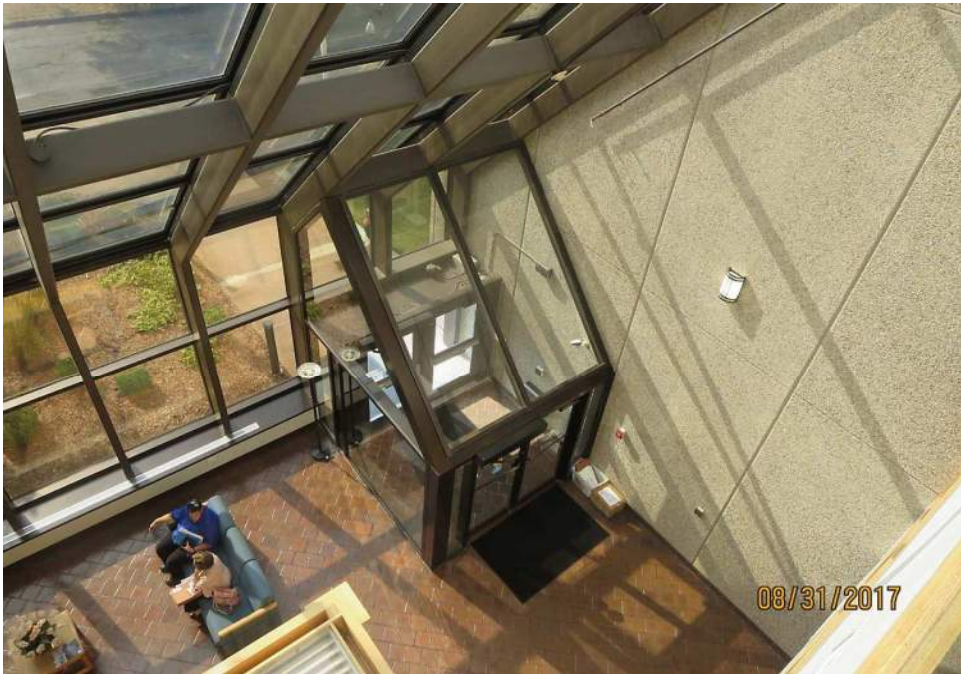
Sloped Glazing / Entry



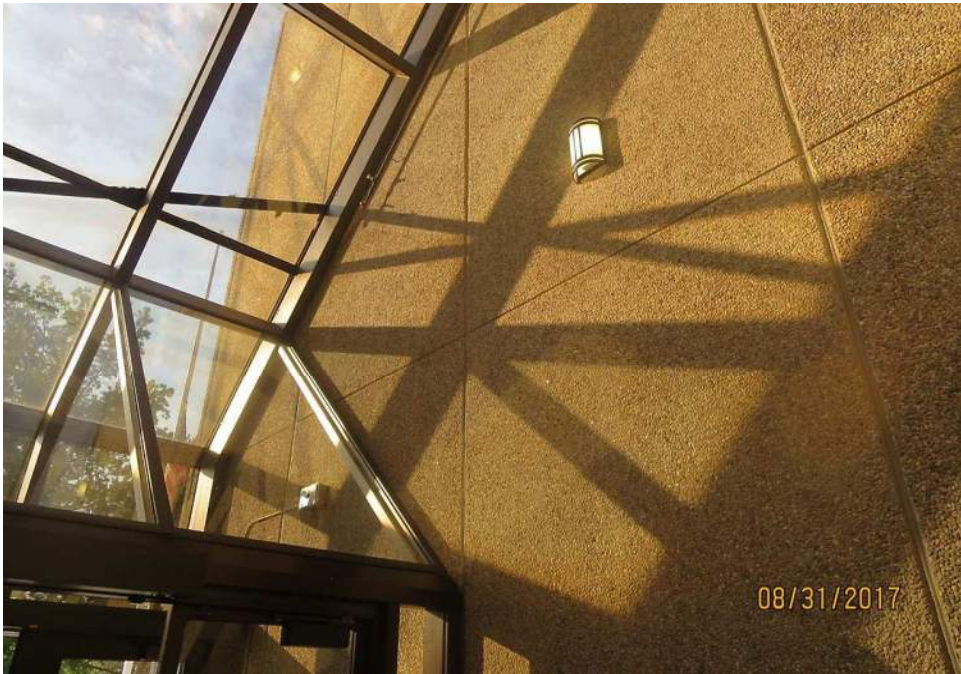
Interior at Sloped Glazing



Sloped Glazing / Entry



Sloped Glazing Entry



Sloped Glazing Entry



Sloped Glazing Entry



Sloped glazing entry



sloped glazing



Mechanical Penthouse



Mechanical Penthouse



Plenum wall



Mechanical Penthouse



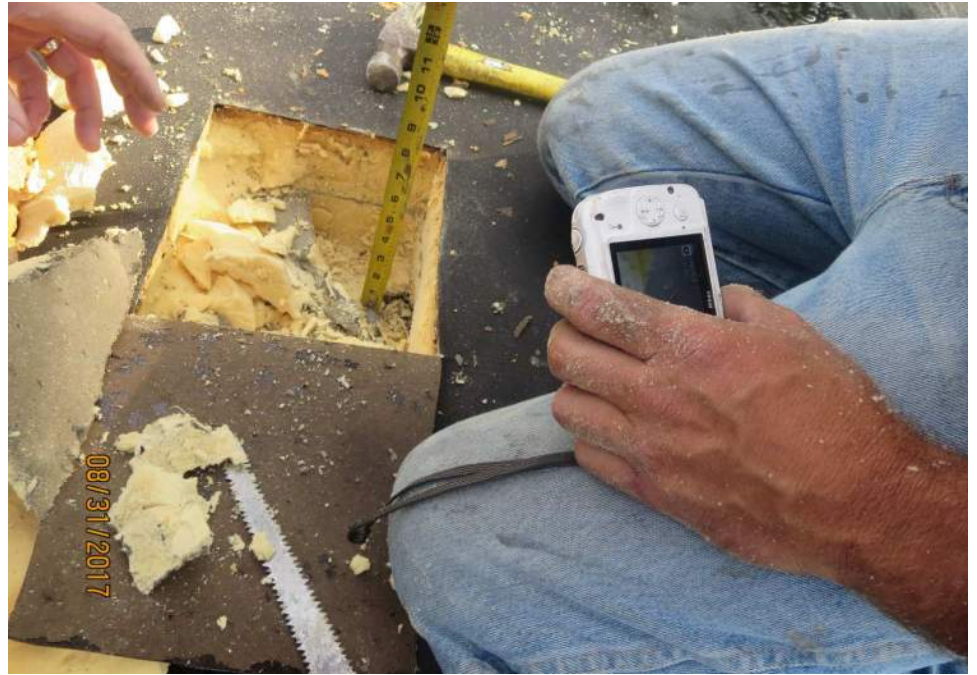
Mechanical Penthouse with Elevator Penthouse in front



Mechanical Penthouse



Mechanical Penthouse



Roof Test Cuts-see full report



Roof Test Cuts-see full report



Roof Test Cuts-see full report



OakPark
Architects^{LLC}

312 Park Road, Suite 202
West Hartford, CT 06119

Roof Top A/C and Roof Replacement
300 Corporate Place
Rocky Hill, CT
BI-2B-387

Existing Photo Disclaimer

Provided to Bidders via PMWeb and DAS

The Photographs being provided by OakPark Architects for the above reference project are for information purposes only and are not a full and accurate representation of the current conditions on site. The photographs were taken over a long duration of time and are not fully inclusive of all conditions nor intended to substitute a proper field investigation.