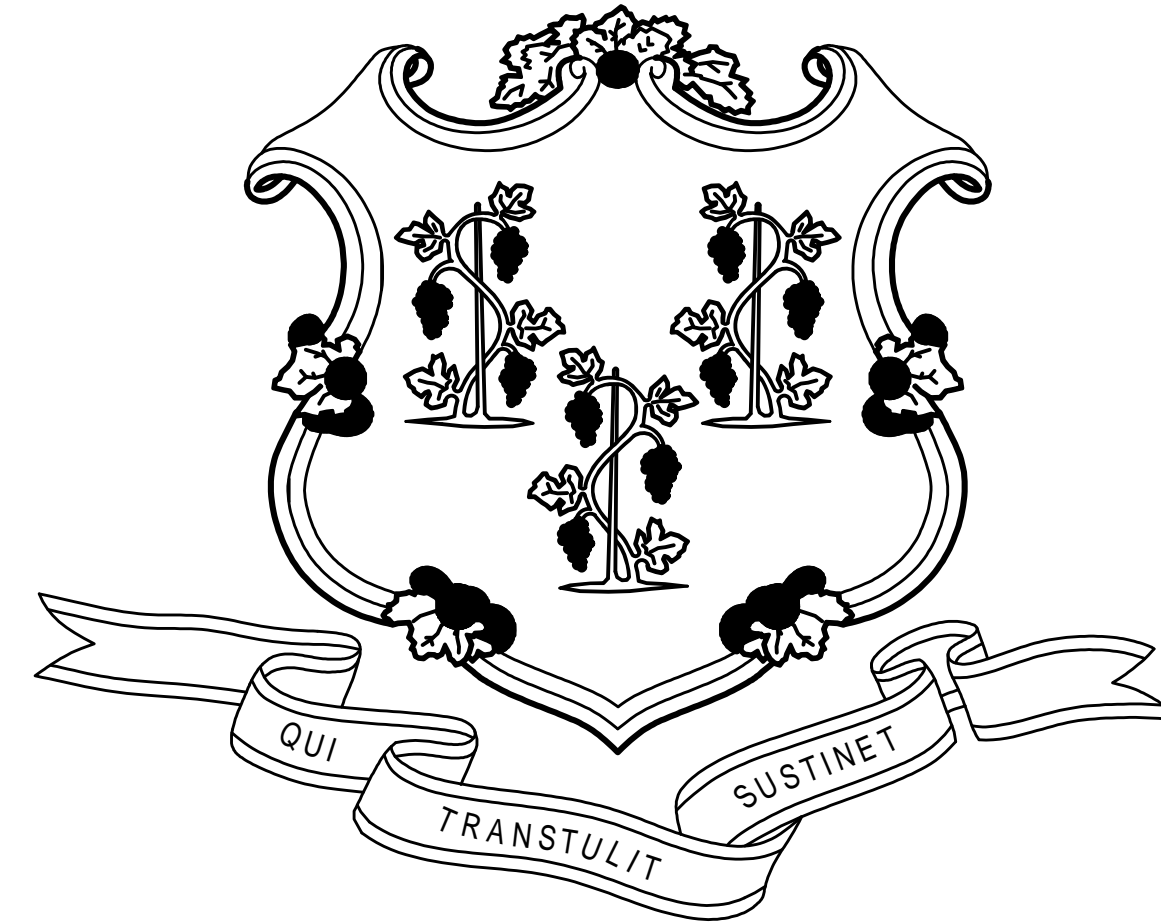


STATE OF CONNECTICUT



GOVERNOR NED LAMONT

DEPARTMENT OF ADMINISTRATIVE SERVICES
JOSH GEBALLE
COMMISSIONER

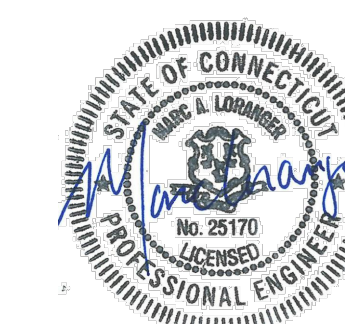
JUDICIAL FACILITES UNIT
RICHARD A. ROBINSON
CHIEF JUSTICE

ROOF REPAIR/REPLACEMENT
NEW LONDON SUPERIOR COURT
112 BROAD STREET, NEW LONDON, CONNECTICUT

PROJECT NO. BI-JD-369

ENGINEERS
GALE CONSULTANTS, INC.
703 HEBRON AVENUE
GLASTONBURY, CONNECTICUT 06033
(860) 430-5660

ISSUED FOR BID SUBMISSION DECEMBER 20, 2019



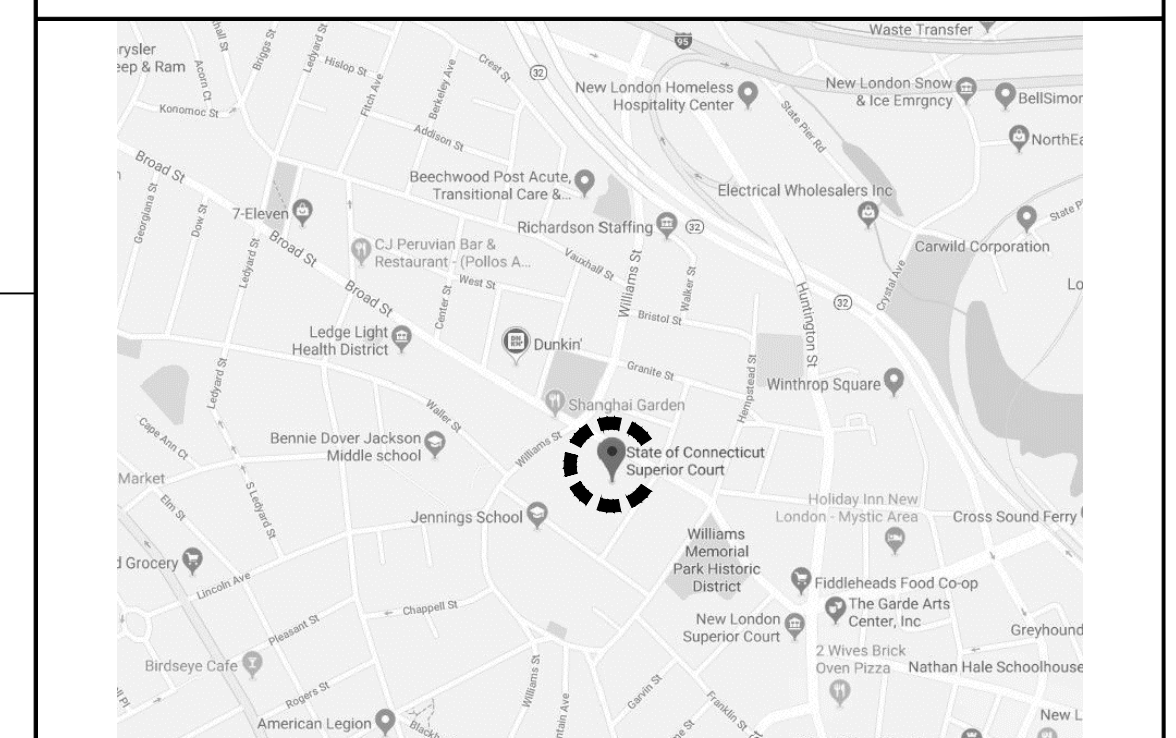
CONTRACT DRAWINGS

NO.	TITLE
G101	COVER SHEET
G102	GENERAL NOTES AND LEGENDS
	TYPICAL ROOF DETAILS, SITE LAYOUT PLAN
A101	ROOF AREA PLAN
A102	ENLARGED ROOF AREA PLAN, PHOTO DETAILS
A201	CHIMNEY ELEVATIONS
A501	DETAILS
A502	DETAILS
A503	DETAILS
A504	DETAILS
A505	DETAILS
A506	DETAILS
A507	DETAILS

D.C.S BUILDING NUMBER xxxxx



SITE PLAN



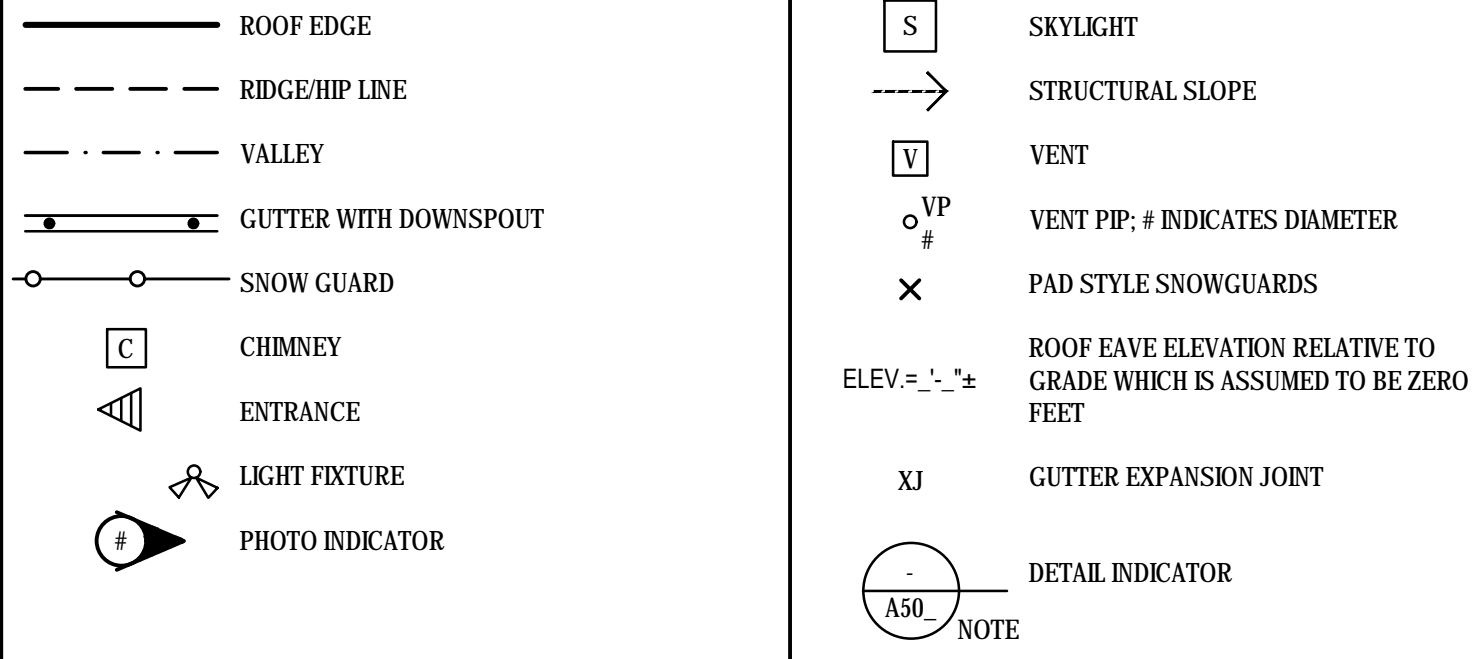
LOCATION PLAN

APPROVALS

DEPT. OF ADMINISTRATIVE SERVICES _____ DATE _____

AGENCY _____ DATE _____

LEGEND



GENERAL NOTES

1. THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES, AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
2. FOR THE SAKE OF CLARITY, EACH INDIVIDUAL DETAIL HAS NOT BEEN INDICATED. INSTALLATION DETAILS HAVE BEEN INDICATED FOR TYPICAL COMPONENTS AT RANDOM LOCATIONS.
3. HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED A MEANS FOR QUANTIFYING.
4. DISCREPANCIES NOTED BY THE CONTRACTOR IN THE DRAWINGS OR SPECIFICATIONS MUST BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO BID SUBMISSION.
5. ALL ITEMS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS APPLICABLE TO THE PROJECT.
6. THE CONTRACTOR SHALL REPORT DETERIORATED OR UNSUITABLE STRUCTURAL DECK OR SUBSTRATES TO THE OWNER PRIOR TO PERFORMING ROOFING INSTALLATION WORK.
7. THE CONTRACTOR IS CAUTIONED THAT DUE TO BUILDING OCCUPANCY, THE OWNER REQUIRES COMPLIANCE ON WORK HOURS, SCHEDULING, SET-UP, CLEANUP, PARKING, SECURITY, ETC. REFER TO SPECIFICATIONS FOR OWNER REQUIREMENTS.
8. NOTIFY THE OWNER OF WORK LOCATIONS A MINIMUM OF 72 HOURS IN ADVANCE IN ORDER THAT OCCUPANCY BELOW THE WORK AREAS MAY BE CONTROLLED.
9. FOR THE SAKE OF CLARITY, SECUREMENT FASTENERS ARE GENERALLY NOT SHOWN ON THE DETAIL DRAWINGS. REFER TO THE SPECIFICATIONS FOR FASTENER TYPES AND SPACING.
11. DETAILS NOT DEPICTED SHALL BE CONSTRUCTED IN A MANNER CONSISTENT WITH THE DETAIL DRAWINGS.
12. REFER TO SPECIFICATION FOR HAZARDOUS MATERIAL DEMOLITION AND HANDLING.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL MATERIALS LISTED AND/OR INDICATED ON THE DRAWINGS OR NOTED IN THE WRITTEN SPECIFICATIONS - TYPICAL.
14. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS, CONDITIONS, HEIGHTS, MATERIAL THICKNESSES, ETC., IN THE FIELD PRIOR TO SUBMITTING THEIR BID AND COMMENCING CONSTRUCTION.
15. THE BUILDING SHALL BE MAINTAINED IN A DUST FREE CONDITION. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE THE INTERIOR OF THE BUILDING REMAINS DUST FREE. NO DEMOLITION CAN PROCEED UNTIL AN APPROVED TEMPORARY PROTECTION SYSTEM IS IN PLACE.
16. DUE TO THE CONGESTION AROUND THE PROJECT SITE THE CONTRACTOR MUST PROVIDE DETAILED TRAFFIC AND SCAFFOLDING PLANS TO THE OWNER FOR REVIEW. THE CONTRACTOR WILL ONLY BE ALLOWED THE AREAS SHOWN FOR SETUP AND STORAGE OF MATERIALS.

CODE INFORMATION

1. THIS PROJECT ENTAILS EXTERIOR RENOVATIONS INCLUDING SLATE ROOF REPLACEMENT AND MASONRY REPAIRS ABOVE THE ROOF LINE. THE BUILDING WAS CONSTRUCTED APPROXIMATELY C. 1891 AND IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
2. THIS PROJECT CONFORMS TO THE 2018 CONNECTICUT STATE BUILDING CODE.
 - THE 2015 INTERNATIONAL EXISTING BUILDING CODE, "REPAIRS" AS AMENDED.
 - MASONRY WALLS AND ASSEMBLIES.
 - 2015 BUILDING CODE, AS AMENDED, FOR COMPONENTS THAT ARE TO MEET CODE FOR LIKE-NEW:
 - ROUGH CARPENTRY
 - SLATE ROOFING
 - FLASHINGS
 - SKYLIGHTS
 - NFPA 101, CHAPTER 43, 43.3 AND 43.4: ALL PROPOSED WORK WILL NOT MAKE THE BUILDING LESS SAFE.
3. THIS PROJECT DOES NOT INVOLVE ALTERATION OR MODIFICATIONS TO INTERIOR SPACES OR LAYOUTS, AND AS SUCH HAS NOT BEEN REVIEWED FOR COMPLIANCE.
2. DESIGN LOADS
 - DESIGN CODE - 2018 STATE BUILDING CODE (SBC) BASIS OF DESIGN 2015 IBC AS AMENDED BY CSBC

GROUND SNOW LOAD	30 PSI
ADJUSTED SNOW LOAD, SLOPED ROOF 9:12	25.5 PSI
ADJUSTED SNOW LOAD, SLOPED ROOF 12:12	21 PSI

WIND:

ULTIMATE WIND SPEED	145 MPH
EXPOSURE CATEGORY	B
RISK CATEGORY	III
MEAN ROOF HEIGHT	44
WIND BORNE DEBRIS REGION	YES, TYPE B (SOUTH OF RT. 95)

SEISMIC:

RISK CATEGORY	III
SEISMIC DESIGN CATEGORY	B
3. USE GROUP CLASSIFICATION: (SECTION 303) ASSEMBLY GROUP A-3, B & I-3
EXISTING UNCHANGED
4. FIRE RESISTANT RATING OF STRUCTURAL ELEMENTS

ROOF CONSTRUCTION (ALL HEIGHTS)	<u>0 HRS EXISTING, UNCHANGED</u>
WALL CONSTRUCTION (ALL HEIGHTS)	<u>0 HRS</u>

2015 IBC SECTION 3302

3302.1 ALTERATIONS, REPAIRS (AND ADDITIONS). REQUIRED EXITS, EXISTING STRUCTURAL ELEMENTS, FIRE PROTECTION DEVICES AND SANITARY SAFEGUARDS SHALL BE MAINTAINED AT ALL TIMES DURING ALTERATIONS, REPAIRS (OR ADDITIONS) TO ANY BUILDING OR STRUCTURE.

3302.1 MANNER OF REMOVAL. WASTE MATERIALS SHALL BE REMOVED IN A MANNER THAT PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES AND PUBLIC RIGHTS OF WAY.

3302.3 FIRE SAFETY DURING CONSTRUCTION. FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THIS CODE AND THE APPLICABLE PROVISIONS OF CHAPTER 33 OF THE INTERNATIONAL FORE CODE.

DEMOLITION NOTES

1. NO DEMOLITION WORK SHALL PROCEED UNTIL A PLAN HAS BEEN SUBMITTED TO AND APPROVED BY THE OWNER AND ENGINEER DETAILING THE METHODS AND EQUIPMENT TO BE USED TO DEMOLISH AND/OR SURFACE PREPARE STRUCTURES AND FEATURES.
2. ALL DEMOLISHED MATERIALS AND DEBRIS SHALL BE LEGALLY DISPOSED OF OFF SITE IN A MANNER SATISFACTORY TO THE OWNER AND CURRENT DEEP/DEPA REQUIREMENTS. SUBMIT A CERTIFICATE OF DUMPING TO THE OWNER FOR RECORD.
3. DEMOLITION MUST COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING SELECTIVE DEMOLITION. CONTRACTOR MUST COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
4. THE OWNER WILL OCCUPY THE BUILDING DURING SELECTIVE DEMOLITION. CONDUCT SELECTIVE DEMOLITION SO THAT OWNER'S OPERATIONS WILL NOT BE INTERRUPTED. PROVIDE NOT LESS THAN 72 HOURS NOTICE TO OWNER OF ACTIVITIES (IF ANY) THAT MAY AFFECT THEIR OPERATIONS.
5. MATERIALS REMOVAL SHALL BE PERFORMED WITH ENGINEER APPROVED EQUIPMENT. EQUIPMENT SHALL BE CAPABLE OF REMOVING EXISTING DEFICIENT MATERIAL UNTIL SOUND SUBSTRATE IS REACHED. IN NO INSTANCE SHALL DEMOLITION EQUIPMENT BE USED THAT WILL VIBRATE THE EXISTING CONSTRUCTION MATERIALS.
6. SURVEY THE CONDITION OF THE SITE TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN UNDESIRABLE DAMAGE OF ANY PORTION OF ADJACENT FACILITIES DURING SELECTIVE DEMOLITION AND/OR IF HAZARDOUS MATERIALS ARE PRESENT WITHIN THE EXTENTS OF THE WORK. NOTIFY THE ENGINEER IF FOUND, PRIOR TO INITIATING THE WORK.
7. USE WATER MIST AND OTHER SUITABLE METHODS TO LIMIT THE SPREAD OF DUST AND DIRT. CONTRACTOR MUST COMPLY WITH STATE ENVIRONMENTAL PROTECTION REGULATIONS.
8. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF DEMOLITION.
9. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. CONTRACTOR TO BE RESPONSIBLE FOR ANY CUTTING AND PATCHING THAT IS REQUIRED.
10. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. ACCUMULATION OF DEMOLISHED MATERIALS ON-SITE IS NOT PERMITTED.
11. THE CONTRACTOR MUST COORDINATE AND PROVIDE PRE-CONDITION PHOTOS OF THE BUILDING AND SURROUNDING SITE COMPONENTS. THE PRE-CONDITION PHOTOS MUST INCLUDE COMPILED OF PRE-DEMOLITION DEFECTS AND CONDITIONS, HAZARDOUS MATERIALS, AND DIGITAL PHOTOGRAPHY. SUBMIT THE DATED PRE-CONDITION SURVEY DOCUMENTATION TO THE OWNER IN ACCORDANCE WITH SPECIFICATION SECTION 01 32 33.

WOOD REPAIR NOTES

1. DETERIORATED WOOD WHICH MAY BE ENCOUNTERED DURING THE REPAIR WORK MUST BE REPLACED WITH SPECIFIED WOOD. OWNER SHALL REVIEW AND INDICATE SCOPE OF WOOD REPLACEMENT, IF REQUIRED, DURING THE COURSE OF THE REBUILD WORK.
2. REFER TO SPECS FOR FASTENERS. RE-FASTEN THE ENTIRE EXISTING ROOF DECK.
3. WOOD PRODUCTS SHALL BE STORED IN A DRY LOCATION. LUMBER PRODUCTS WHICH ARE NOT KEPT DRY WILL BE IMMEDIATELY REJECTED AND REQUIRED TO BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.

ROOFING NOTES

1. ROOFING AND FLASHING SHALL BE 100% WEATHER TIGHT ON A DAILY BASIS. REMOVE ONLY AS MUCH ROOFING AS CAN BE TIED IN AND MADE WEATHER TIGHT ON THE SAME DAY.
2. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROTECT THE EXISTING ROOF WHILE AREAS REMAIN IN SERVICE. ANY DAMAGE THAT OCCURS AS A RESULT OF THE CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
3. REMOVE EXISTING SLATE SHINGLES, LOW SLOPED ROOF SYSTEMS, SHEET METAL EDGE COMPONENTS AND ASSOCIATED FLASHINGS AND UNDERLAYMENTS DOWN TO THE EXISTING WOOD ROOF DECK TO INSTALL THE NEW SLATE SHINGLE SYSTEM.

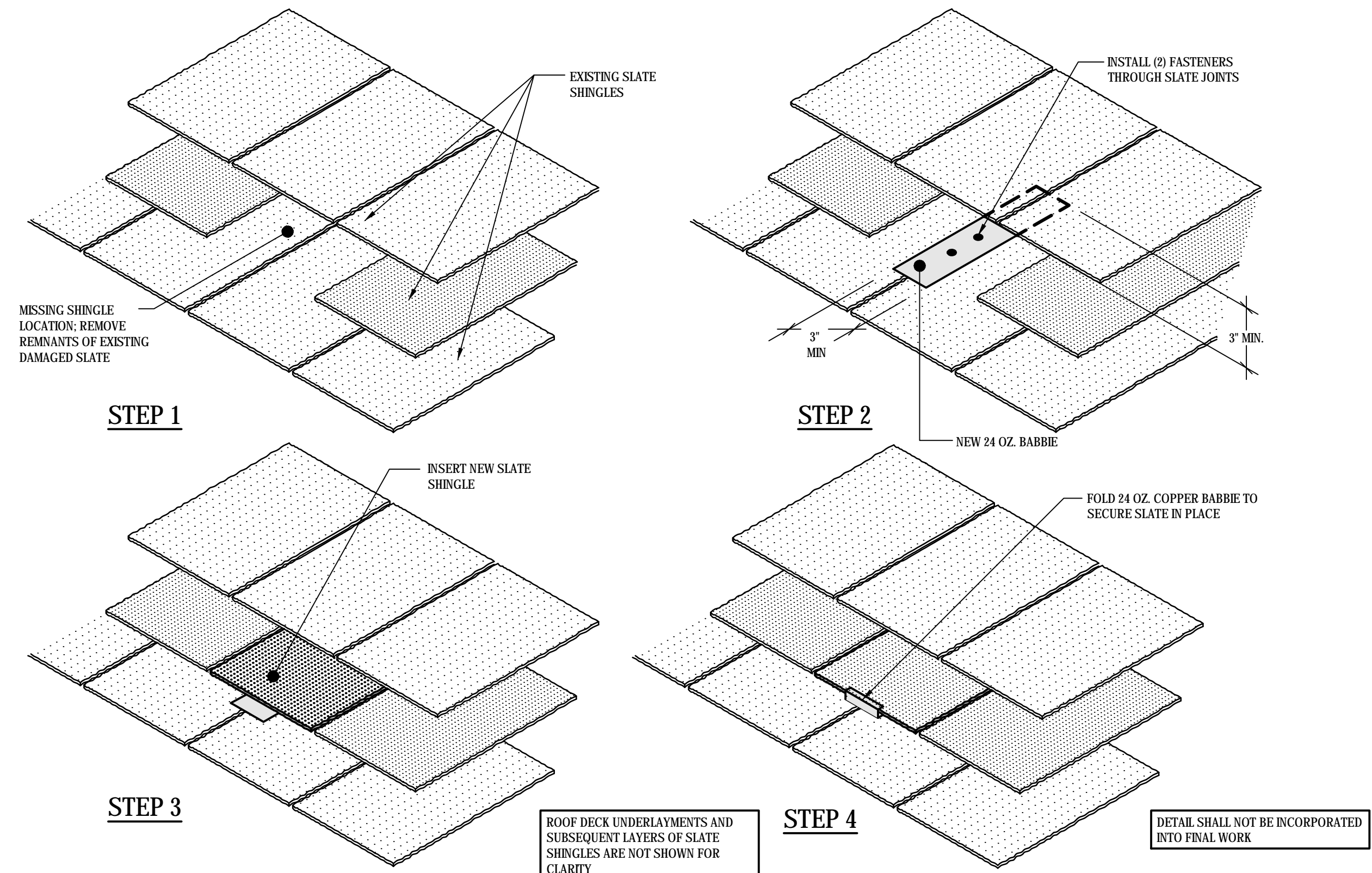
PROTECTION OF EXISTING STRUCTURE

1. EXISTING STRUCTURES, UTILITY LINES AND OTHER UTILITIES MUST BE IDENTIFIED BY THE OWNER AND CONTRACTOR, AND MARKED ON-SITE PRIOR TO INITIATING CONSTRUCTION. IN THE EVENT THAT ANY UNMARKED OR UNKNOWN STRUCTURE/UTILITY ARE UNCOVERED BY THE CONTRACTOR, WORK MUST HALT AND THE CONTRACTOR MUST REPORT THEIR FINDINGS TO THE OWNER'S SITE REPRESENTATIVE FOR INSTRUCTIONS BEFORE PROCEEDING FURTHER. THE EXISTING STRUCTURES AND UTILITIES WHICH ARE ADJACENT TO THE SITE AND THOSE TO REMAIN WITHIN THE LIMITS OF THE WORK SHALL BE PROTECTED AGAINST DAMAGE. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO THE OWNER IN THE EVENT OF REMOVAL OF OR DAMAGE TO ANY EXISTING OBJECTS BY CONTRACTORS PERSONNEL, WHICH ARE INTENDED BY THE OWNER TO REMAIN IN PLACE.

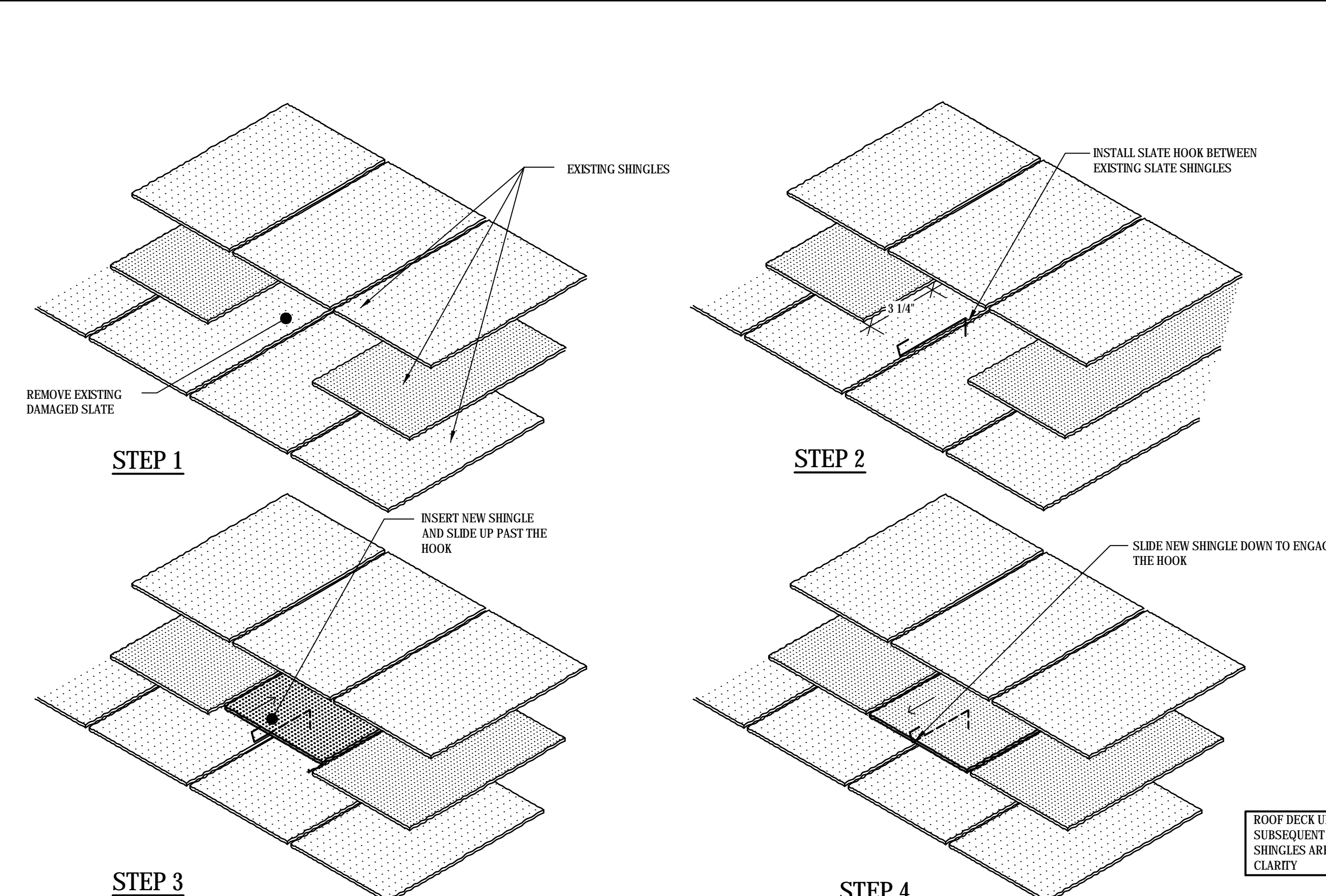
MASONRY REPAIR NOTES

1. THIS PROJECT INVOLVES HISTORIC MASONRY ASSEMBLIES. REFER TO THE SPECIFICATIONS FOR REQUIREMENTS TO MATCH THE EXISTING HISTORIC MORTAR, AS WELL AS REPLACEMENT STONE.
2. METHODS OF DEMOLITION MUST NOT APPLY EXCESSIVE IMPACT, FORCE OR VIBRATION TO EXISTING MASONRY WALLS AND RELATED BUILDING CONSTRUCTION. THE CONTRACTOR MUST SUBMIT PROPOSED APPARATUS, EQUIPMENT, MEANS AND METHODS TO THE OWNER AND GALE FOR REVIEW AND APPROVAL PRIOR TO INITIATING THE DEMOLITION WORK.
3. IN NO CASE SHALL SAWCUTTING, HAMMER CHIPPING AND OTHER METHODS OF DEMOLITION DAMAGE SURROUNDING MASONRY OR BUILDING COMPONENTS WHICH ARE TO REMAIN. ANY AND ALL EXISTING ROOFING, MATERIALS OR BUILDING COMPONENTS WHICH ARE DAMAGED OR ADVERSELY AFFECTED BY OVERCUTS, CRACKS, OR OTHER DETRIMENTAL CONDITIONS AS A RESULT OF THE WORK MUST BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
4. DURING MASONRY REPAIRS, IF ADDITIONAL DEFICIENT, SOFT, DETERIORATED, OR DAMAGED MASONRY CONDITIONS ARE ENCOUNTERED, NOTIFY THE OWNER AND ENGINEER FOR REVIEW PRIOR TO APPLYING NEW REPAIRS.

TEMPORARY BABBIE REPAIR DETAIL



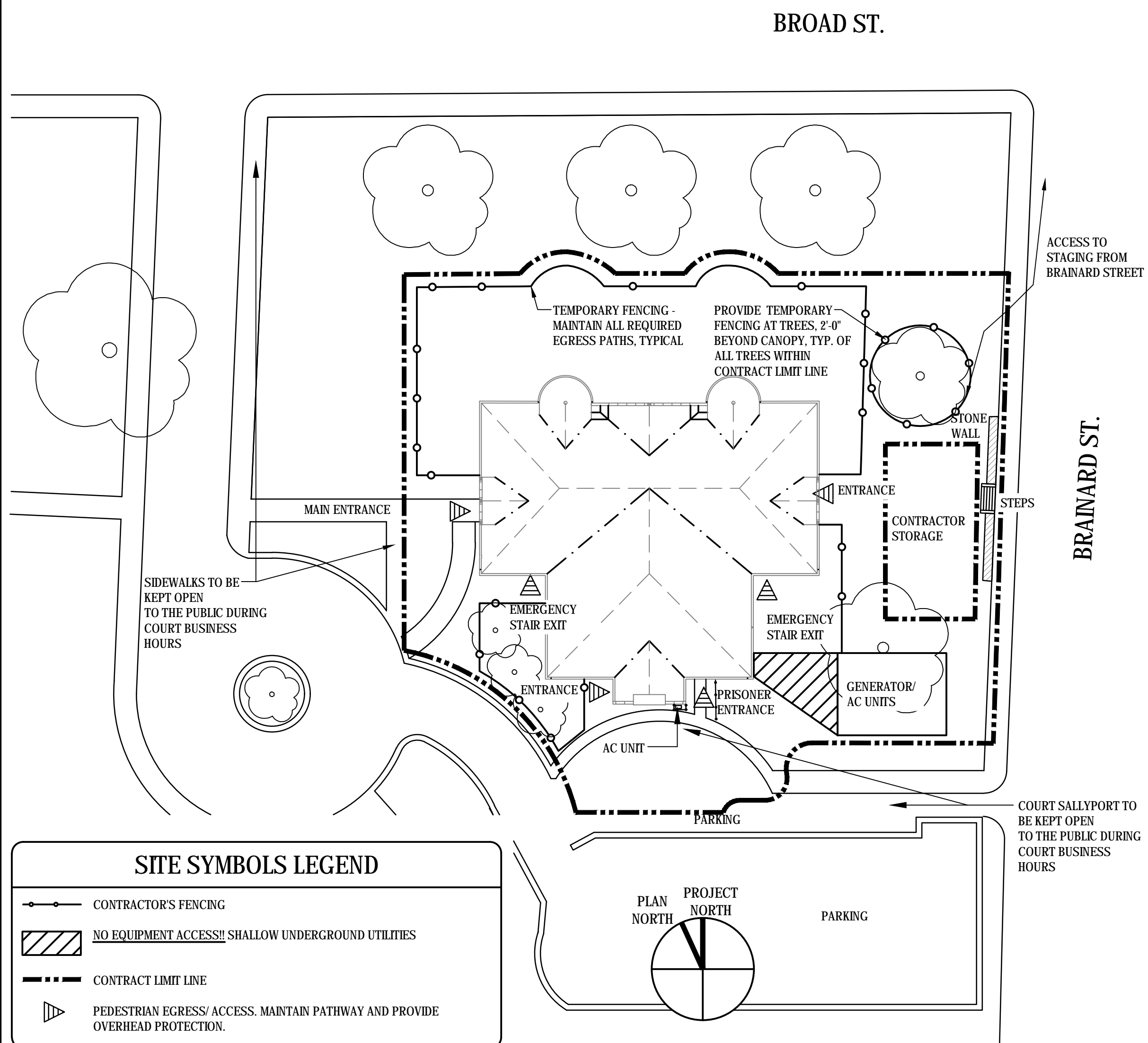
TYPICAL SLATE HOOK REPAIR DETAIL



drawing title GENERAL NOTES AND LEGENDS		STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
professional seal	REVISIONS		drawing prepared by GALE CONSULTANTS, INC. 703 HEBRON AVENUE GLASTONBURY, CONNECTICUT 06033
	mark	date	description
	project ROOF REPAIR/REPLACEMENT NEW LONDON SUPERIOR COURT 112 BROAD STREET, NEW LONDON CT		date 12/20/2019 scale NOT TO SCALE
NEW LONDON, CONNECTICUT		drawn by JSD/MDF approved by MAL drawing no. G101	
CAD no. BI-JD-369 - 977020 G100s	project no. BI-JD-369 GALE NO. 977020		

SITE LAYOUT PLAN

NOT TO SCALE



SITE NOTES

THE CONTRACTOR SHALL BASE STAGING / PROTECTION REQUIREMENTS ON THE INFORMATION SHOWN. THE LOCATIONS ARE APPROXIMATE AND MAY BE SUBJECT TO CHANGE.

ALL OVERHEAD PROTECTION SHALL EXTEND A MINIMUM OF 8'-0" BEYOND THE BUILDINGS. BEYOND 8'-0", PROVIDE FENCING AS INDICATED.

CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AT PEDESTRIAN WALKWAYS. CONTRACTOR WILL BE REQUIRED TO PROVIDE A QUALIFIED SAFETY PERSONNEL TO MONITOR AT GROUND LEVEL TO WARN PEDESTRIAN TRAFFIC OF ABOVE ROOF LINE WORK.

OWNER OCCUPANCY: ALLOW FOR OWNER OCCUPANCY AND USE BY THE PUBLIC OF THE EXISTING FACILITY DURING THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR IS CAUTIONED THAT THE DRIVES AND WALKWAYS IMMEDIATELY ADJACENT TO THE CONTRACT LIMIT LINE WILL BE ACTIVE AND OCCUPIED DURING CONSTRUCTION. CONTRACTOR SHALL ACCOMMODATE OWNER'S VEHICLE AND PEDESTRIAN REQUIREMENTS, AND SHALL ALLOW FULL PUBLIC ACCESS TO ADJACENT BUILDINGS AT ALL TIMES.

THE CONTRACTOR SHALL CONFINE THEIR OPERATIONS INCLUDING STORAGE OF MATERIALS, SUPPLIES, EQUIPMENT AND APPARATUS TO THE AREAS BOUNDED BY THE CONTRACT LIMITS INDICATED AND AS DIRECTED IN THE CONTRACT DOCUMENTS. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL RESTORE THE SITE TO AN EQUIVALENT OR IMPROVED CONDITION AS APPROVED BY OWNER.

CONTRACTOR TO PROVIDE BARRIERS TO SECURE WORK AREAS AND TO PREVENT UNAUTHORIZED ENTRY INTO THE WORK SITE. INSTALL TEMPORARY FENCING (8 FEET HIGH CHAIN LINK) WITH LOCKABLE ENTRANCE GATES, BARRICADES AND SIGNAGE WHERE INDICATED ON CONTRACT DOCUMENTS.

EXISTING ROADS, DRIVES, WALKS AND PARKING AREAS WHICH ARE NOT WITHIN THE CONTRACT LIMIT LINE ARE TO BE KEPT FREE AND CLEAR AT ALL TIMES. CONTRACTOR IS NOT TO USE THESE AREAS FOR PARKING OR STORAGE OF MATERIALS. SCHEDULE DELIVERIES TO MINIMIZE SPACE AND TIME REQUIREMENTS FOR STORAGE OF MATERIALS AND EQUIPMENT ON SITE. POSITION DELIVERY TRUCKS IN SUCH A MANNER TO LIMIT EXPOSURE TO PEOPLE AND PROPERTY. CONTRACTOR SHALL NOT UTILIZE ON-STREET PARKING WITHOUT APPROVAL.

TRAFFIC WAYS: IF THE WORK OF THE CONTRACT AFFECTS PUBLIC USE OF ANY STREET, ROAD, HIGHWAY OR THOROUGHFARE, THE CONTRACTOR SHALL CONFER WITH THE POLICE AUTHORITY HAVING JURISDICTION TO DETERMINE IF AND HOW MANY POLICE ARE NEEDED FOR PUBLIC SAFETY IN ADDITION TO ANY BARRIERS AND SIGNALS THAT MAY BE NEEDED. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATION, SCHEDULING AND PAYMENT OF ANY NEEDED POLICE SERVICES.

PARKING FOR THE CONTRACTOR'S EMPLOYEES: UP TO TWO VEHICLES MAY BE ALLOWED TO PARK IN THE ON-SITE STAGING AREA, AS COORDINATED WITH THE OWNER. OTHER CONTRACTOR VEHICLES SHALL PARK ON THE STREET. NO OTHER PARKING IS AVAILABLE TO CONTRACTORS ON THE PROPERTY.

NO SIGNS, OTHER THAN THOSE APPROVED BY THE OWNER / CONSTRUCTION ADMINISTRATOR, WILL BE VISIBLE ON THE PREMISES. THE CONTRACTOR WILL NOT INSTALL AND/OR PERMIT INSTALLATION OF UNAUTHORIZED SIGNS.

CONTRACTOR TO PROVIDE ALL NECESSARY RIGGING, SCAFFOLDING AND/OR HIGH LIFT AND SAFETY EQUIPMENT FOR REMOVAL AND INSTALLATION OF ALL WORK ASSOCIATED WITH PROJECT. TEMPORARY FENCING/BARRICADES, OVERHEAD PROTECTIONS AND SIGNAGE TO BE PROVIDED BY CONTRACTOR IN COMPLIANCE WITH OSHA, LOCAL, FEDERAL, AND STATE REQUIREMENTS.

THE CONTRACTOR SHALL COMPLY WITH BUILDING OWNER'S WORKING HOUR RESTRICTIONS AND ANY APPLICABLE LOCAL CITY ORDINANCES, UNLESS SPECIFICALLY APPROVED OTHERWISE IN WRITING.

THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE BUILDING AND ITS OCCUPANTS DURING THE CONSTRUCTION PERIOD. ANY DAMAGE CAUSED BY CONSTRUCTION OPERATIONS SHALL BE REPAIRED BY CONTRACTOR AT HIS OWN EXPENSE. CHECK WITH PROJECT MANAGER FOR AREAS WITHIN THE BUILDING THAT MAY REQUIRE SPECIAL SECURITY CONSIDERATIONS.

THE CONTRACTOR SHALL MAINTAIN THE BUILDING IN A WEATHER-TIGHT CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.

CONTRACTOR IS TO SECURE PROJECT AREA/SITE FROM INTRUSIONS DURING UNOCCUPIED (AFTER HOURS) PERIOD OF TIME.

TEMPORARY SANITARY FACILITIES INCLUDE TEMPORARY TOILETS, WASH FACILITIES, AND DRINKING-WATER FIXTURES TO BE FURNISH BY CONTRACTOR. COMPLY WITH REGULATIONS AND HEALTH CODES FOR THE TYPE, NUMBER, LOCATION, OPERATION, AND MAINTENANCE OF FIXTURES AND FACILITIES. INSTALL WHERE FACILITIES WILL BEST SERVE THE PROJECT'S NEEDS.

TEMPORARY FIELD OFFICE: CONTRACTOR WILL NOT BE PROVIDED AN OFFICE SPACE IN THE BUILDING. CONTRACTOR WILL BE ALLOWED TO USE THEIR TEMPORARY STORAGE FACILITIES AS AN OFFICE SPACE. THE AGENCY WILL PROVIDE AN AREA TO HOLD PROJECT MEETINGS IN THE BUILDING. TRAILERS ARE NOT ALLOWED ON THIS PROJECT.

ALL CONTRACTOR WORKERS ON SITE MUST WEAR IDENTIFICATION BADGES AND/OR MUST HAVE VISIBLE ON OUTER GARMENTS THE CONTRACTOR'S COMPANY NAME, AND CARRY PERSONAL IDENTIFICATION.

THE CONTRACTOR'S EMPLOYEES SHALL ADHERE TO PROPER CONDUCT AT ALL TIMES. NO SMOKING, NO WEAPONS OF ANY TYPE, ALCOHOL OR ILLEGAL DRUGS SHALL BE CARRIED OR CONSUMED BY EMPLOYEES OF THE CONTRACTOR ON JUDICIAL BRANCH PREMISES.

CONTRACTOR PERSONNEL ARE NOT ALLOWED TO USE JUDICIAL BRANCH TELEPHONES, COMPUTERS, OFFICE EQUIPMENT OR FURNISHINGS AND VENDING MACHINES WITHIN THE EXISTING BUILDINGS UNLESS AUTHORIZED IN WRITING BY THE OWNER/PROJECT MANAGER.

INSPECTIONS/TESTING: CONTRACTORS SUPERINTENDENT TO BE ON SITE DURING INSPECTIONS/TESTING OF ALL NEW WORK/SYSTEMS. ALL INSPECTIONS/TESTING TO BE COORDINATED WITH CONSTRUCTION ADMINISTRATOR, OWNER AND/OR PROJECT MANAGER AND SHALL BE MADE AT LEAST 48 HOURS IN ADVANCE.

CONTRACTOR MUST PROVIDE PRODUCT MSDS SHEETS TO THE ON- SITE BUILDING SUPERVISOR WITH COPIES TO CONSTRUCTION ADMINISTRATOR AND PROJECT MANAGER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES CLEAN DAILY AND SHALL PICK UP RUBBISH AND DEBRIS AND PROMPTLY REMOVE FROM SITE.

COURT HOURS OF OPERATIONS

COOPERATE WITH THE OWNER DURING CONSTRUCTION OPERATIONS TO MINIMIZE CONFLICTS AND FACILITATE OWNER USAGE. PERFORM THE WORK SO AS NOT TO INTERFERE WITH THE OWNER'S OPERATIONS.

COURT BUSINESS HOURS RUN MONDAY - FRIDAY 8:00AM - 5:00PM. COURTROOM ACTIVITIES ARE UNDERWAY M-F 10:00AM - 5:00PM.

EVERY REASONABLE MEANS SHALL BE EMPLOYED BY THE CONTRACTOR TO MINIMIZE EXCESSIVE VIBRATION, NOISE, DUST AND ODORS WHICH MAY RESULT FROM THEIR WORK. CONTRACTOR SHALL NOTIFY CONSTRUCTION ADMINISTRATOR AND PROJECT MANAGER AT A MINIMUM OF 48 HOURS IN ADVANCE OF ANY WORK TO BE COMPLETED THAT POTENTIALLY CAN PRODUCE STRONG ODORS.

OWNER RESERVES THE RIGHT TO STOP WORK IF IT BECOMES DISRUPTIVE TO THE DAILY BUSINESS/OPERATION OF THE COURT.

ANY DISRUPTIVE WORK SHALL BE COMPLETED AFTER 5:00PM MONDAY-FRIDAY AND OVER WEEKENDS.

SUBSEQUENT CLAIMS BY THE CONTRACTOR FOR ADDITIONAL TIME OR COSTS DUE TO SUCH SHUT-DOWNS WILL NOT BE ENTERTAINED BY THE STATE.

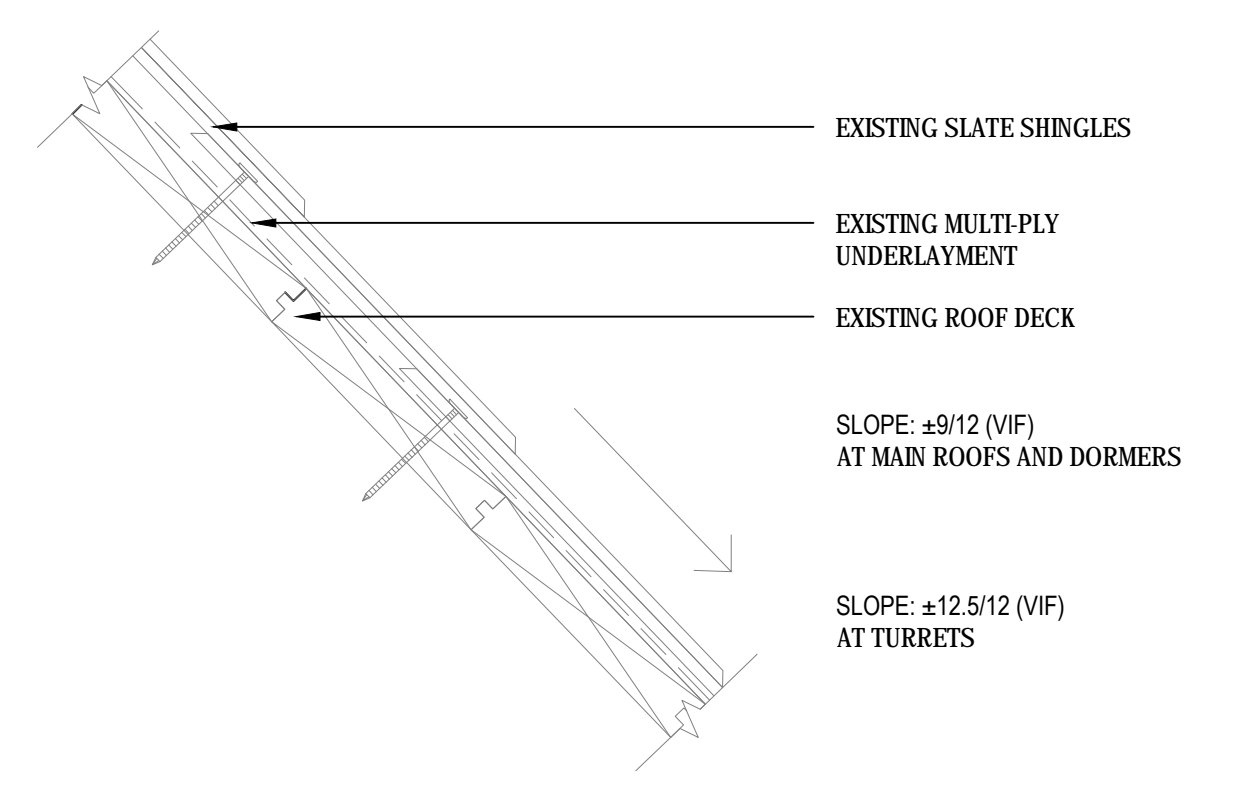
OVERTIME

CONTRACTOR "NORMAL" SCHEDULED WORK HOURS ARE 6:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY. ALL OTHER TIMES, INCLUDING SATURDAY, SUNDAY AND HOLIDAYS ARE CONSIDERED OUTSIDE OF "NORMAL" WORK HOURS OR OVERTIME HOURS.

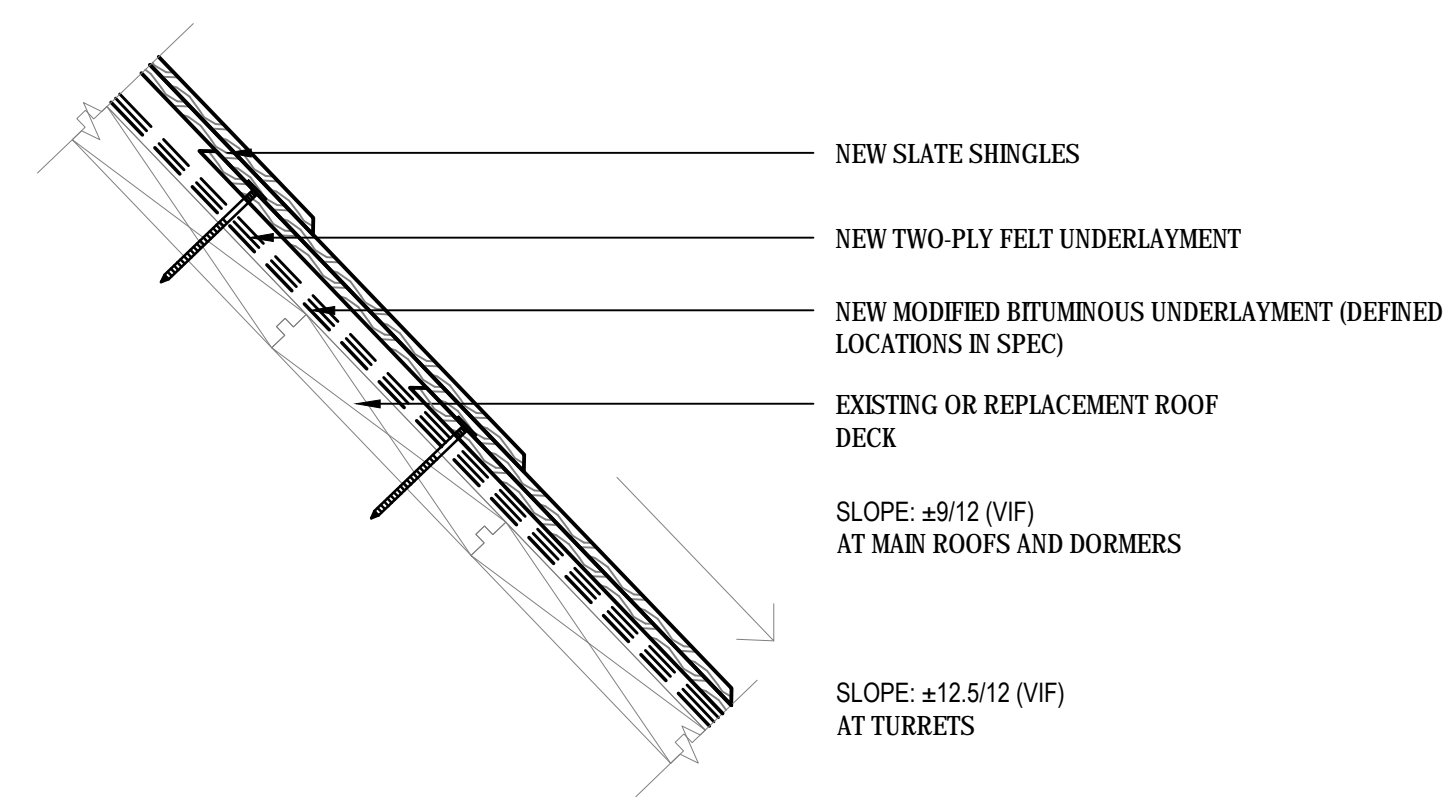
ANTICIPATE THAT WEEKEND AND/OR AFTER WORK HOURS WILL BE NECESSARY TO COMPLETE THE PROJECT AS REQUIRED. AFTER HOURS WORK WILL BE MONDAY - FRIDAY 5:00PM - 11:00PM. WEEKEND HOURS WILL BE SATURDAY AND SUNDAY 7:00AM - 4:30PM. ADJUSTMENTS ON AFTER HOURS WORK TIMES CAN BE MADE WITH 72 HOURS IN ADVANCE NOTICE TO DAS/CS PROJECT MANAGER

THE CONTRACTOR SHALL REQUEST APPROVAL FROM THE PROJECT MANAGER AND/OR CONSTRUCTION ADMINISTRATOR TO WORK OVERTIME. SAID REQUEST SHALL BE MADE AT LEAST 72 HOURS IN ADVANCE. ALL COSTS FOR OVERTIME ARE INCLUDED IN THE CONTRACT SUM.

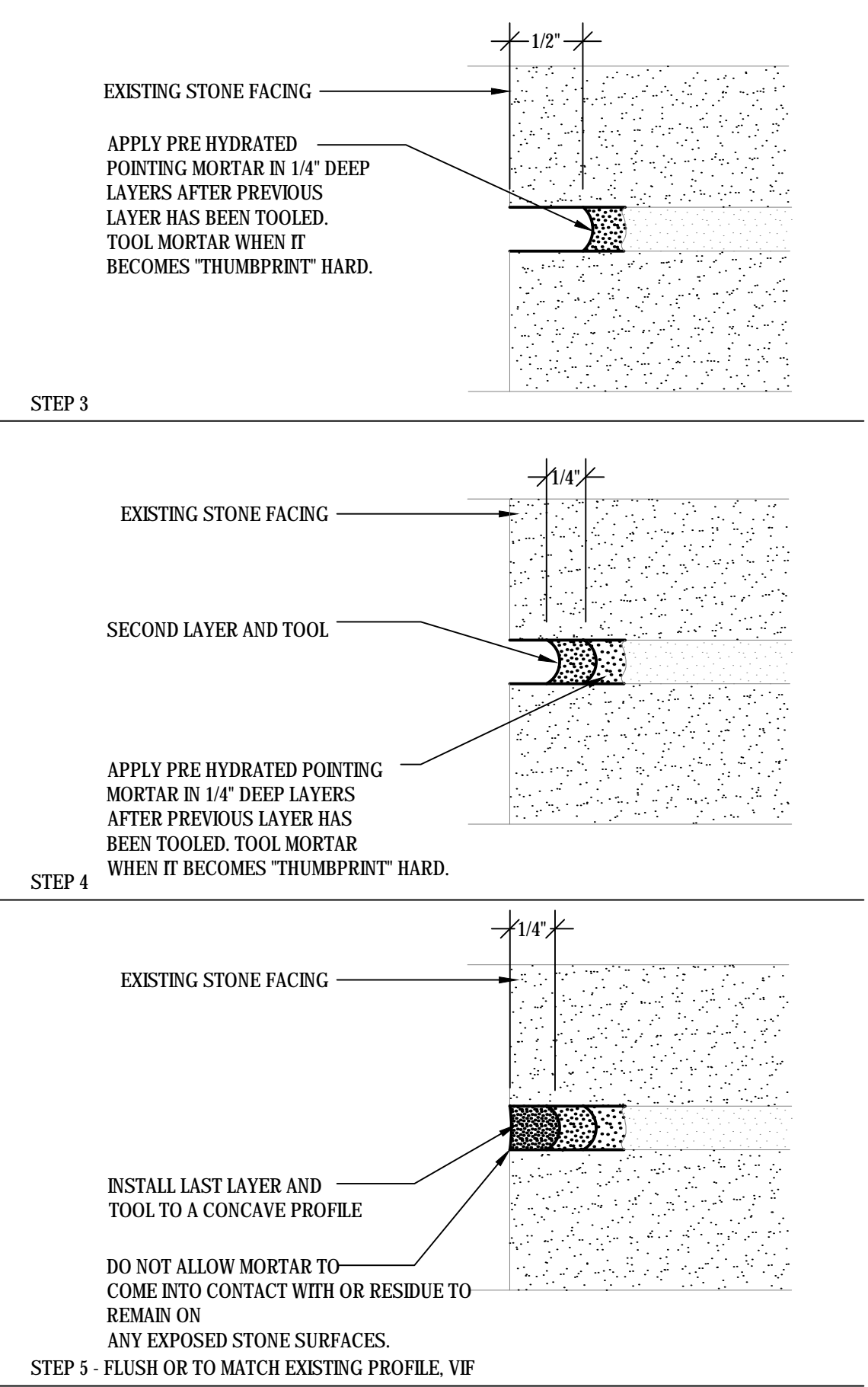
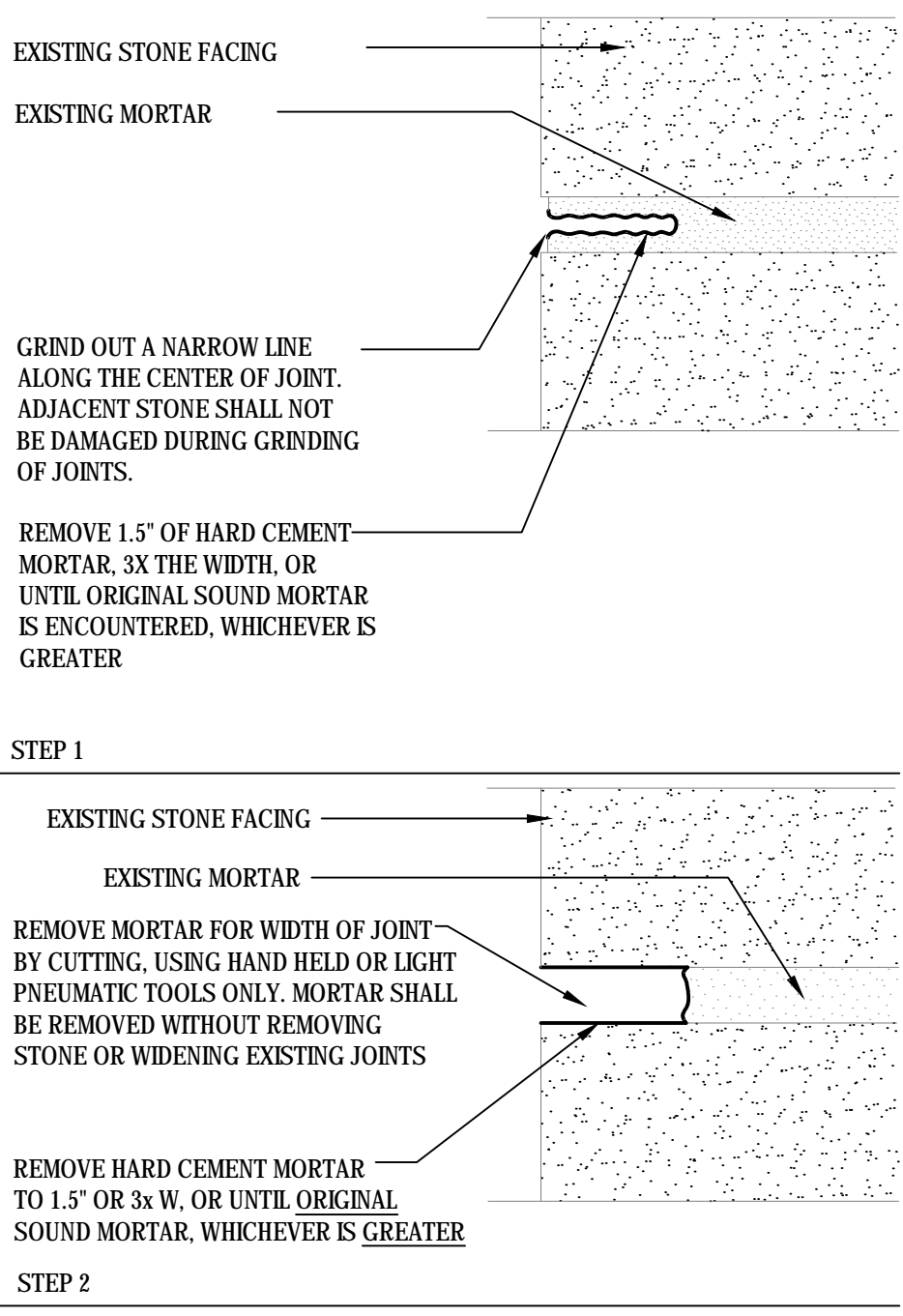
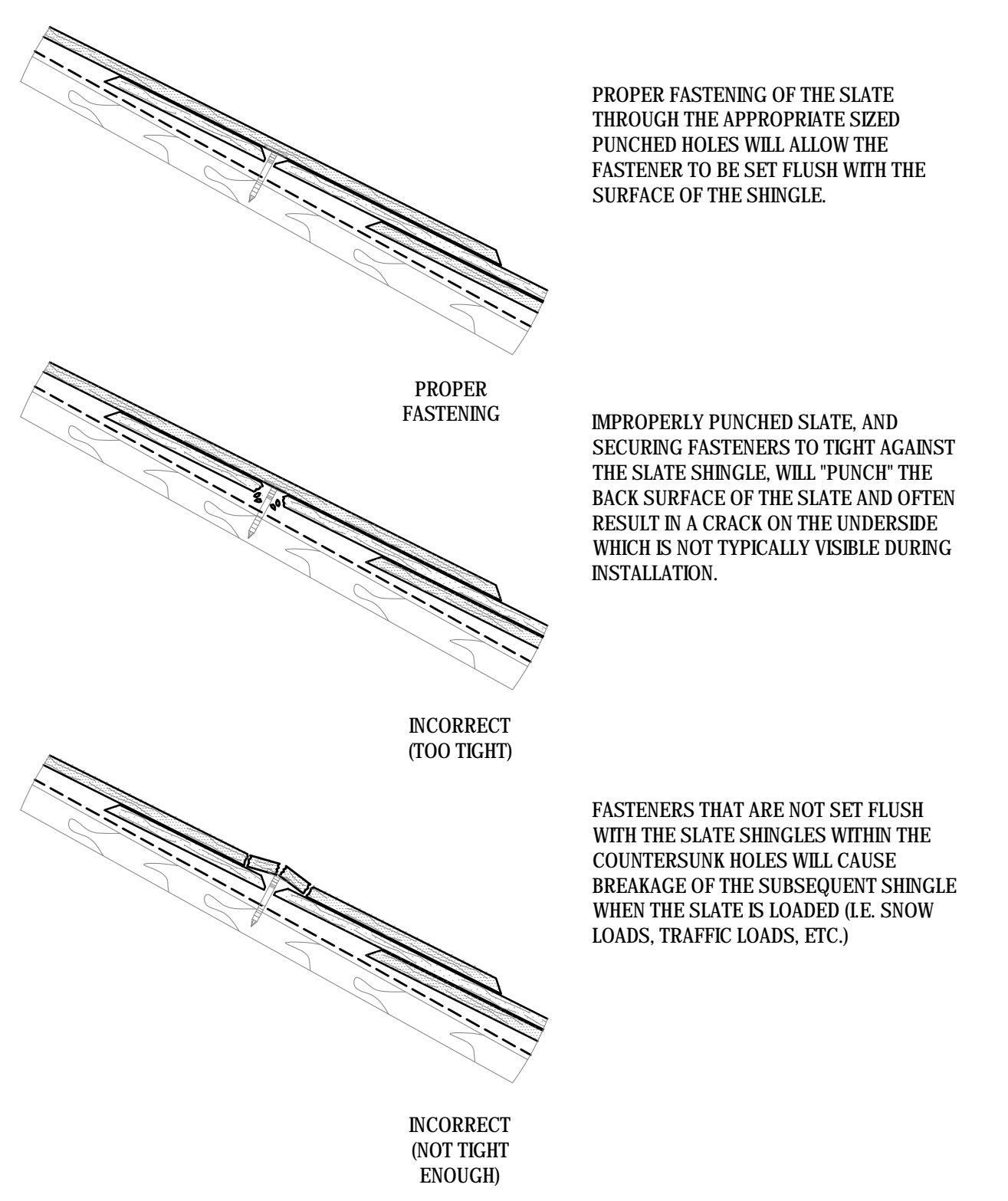
EXISTING SLATE ROOF CROSS SECTION



NEW SLATE ROOF CROSS SECTION



PROPER SLATE INSTALLATION



1 STONE REPOINTING
SCALE: NOT TO SCALE
ALL ITEMS ARE NEW UNLESS SPECIFIED AS EXISTING

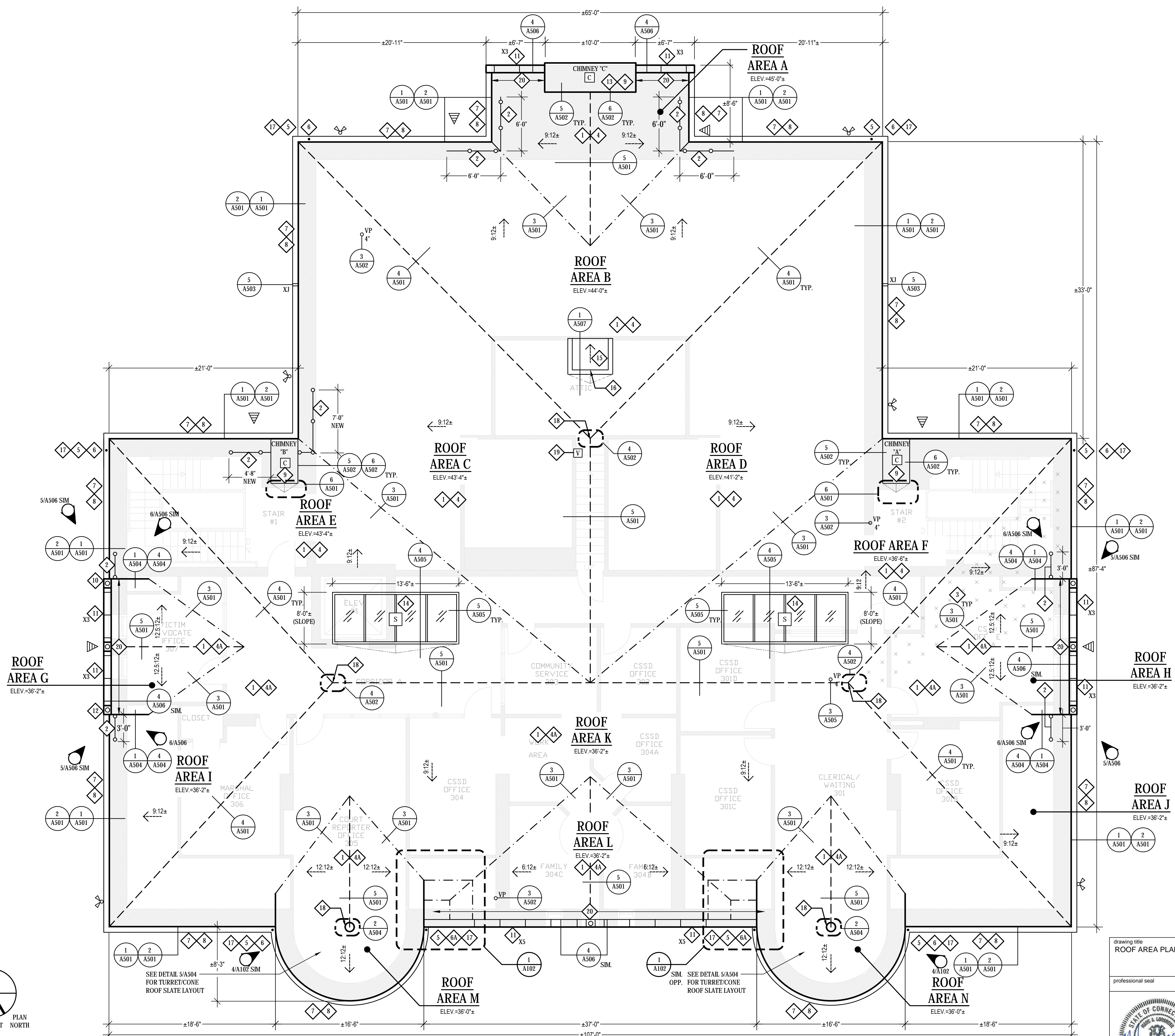
drawing title TYPICAL ROOF DETAILS, SITE LAYOUT PLAN		STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
professional seal	REVISIONS		drawing prepared by GALE CONSULTANTS, INC. 703 HEBRON AVENUE GLASTONBURY, CONNECTICUT 06033
	mark	date	description
	project ROOF REPAIR/REPLACEMENT NEW LONDON SUPERIOR COURT 112 BROAD STREET, NEW LONDON CT		date 12/20/2019
NEW LONDON, CONNECTICUT		scale NOT TO SCALE	drawn by JSD/MDF
CAD no. BI-JD-369 - 977020 G100s	project no. BI-JD-369	approved by MAL	drawing no. G102

GENERAL NOTES

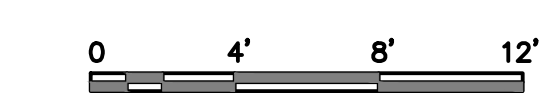
1. THE INTENT OF THIS PROJECT IS TO PROVIDE A FULL REPLACEMENT SLATE ROOFING SYSTEM, INCLUDING FLASHINGS AND ACCESSORY WORK. NO EXISTING ROOFING FLASHINGS OR OTHER ROOFING MATERIALS WITHIN THE AREAS OF WORK INDICATED SHALL REMAIN.
2. THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES, AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
3. FOR THE SAKE OF CLARITY, EACH INDIVIDUAL DETAIL ON THE ROOF PLAN HAS NOT BEEN INDICATED. INSTALLATION DETAILS HAVE BEEN INDICATED FOR TYPICAL COMPONENTS AT REPRESENTATIVE LOCATIONS.
4. REFER TO G101 FOR ADDITIONAL NOTES.

SHEET NOTES

- 1 REMOVE SLATE ROOFING AND UNDERLAYMENT DOWN TO ROOF DECK, INCLUDING ALL FASTENERS AND FLASHINGS.
- 2 REMOVE EXISTING PIPE STYLE SNOW GUARD ASSEMBLY AND REPLACE WITH NEW PIPE-STYLE SNOW GUARDS. REMOVE SECTIONS OF ROOF DECK TO INSTALL NEW BLOCKING AT ALL PIPE-STYLE SNOW GUARD BRACKET LOCATIONS. REPLACE ROOF DECKING. SEE DETAIL 4/A503.
- 3 REMOVE EXISTING AND PROVIDE NEW PAD-STYLE SNOW GUARDS. SEE DETAIL 1/A506.
- 4 INSTALL NEW SLATE ROOFING, INCLUDING UNDERLAYMENTS (FELT PLUS SELF-ADHERING UNDERLAYMENT) AND NEW COPPER FLASHINGS.
- 4A REINSTALL CLEANED, SALVAGED MONSON BLACK SLATE ROOFING THIS ENTIRE AREA INCLUDING UNDERLAYMENTS (FELT PLUS SELF-ADHERING UNDERLAYMENT) AND NEW COPPER FLASHINGS.
- 5 REMOVE 3/4" x 4 1/2" CORRUGATED RECTANGULAR DOWNSPOUT, INCLUDING SUPPORT BRACKETS AND FASTENERS. REPLACE WITH NEW, CORRUGATED, RECTANGULAR COPPER DOWNSPOUT AND DRIVE KEY/RACK ANCHORS. SNAKE / CLEAN OUT DRAIN LINE PRIOR TO DOWNSPOUT RENOVATIONS.
- 6 REMOVE DECORATIVE COPPER CONDUCTOR BOX AND SALVAGE FOR REPLICATION. INSTALL NEW DECORATIVE CONDUCTOR BOX TO MATCH EXISTING. SEE 3/A504, AT 6A VARIANCE AT NORTH ROOF SUMPS. REPLACE BOTH UPPER AND LOWER CONDUCTOR BOXES - SEE 2/A102.
- 7 REMOVE COPPER GUTTERS AND UNDERLAYMENT DOWN TO ROOF DECK, INCLUDING ALL FASTENERS, BRACKETS AND FLASHINGS.
- 8 PROVIDE NEW COPPER GUTTERS, INCLUDING UNDERLAYMENTS (SLIP SHET PLUS SELF-ADHERING UNDERLAYMENT), FASTENERS, BRACKETS, STRAPS AND FLASHINGS.
- 9 SUPPLEMENTAL BID NO. 1: RESTORE THE CHIMNEY ALL SIDES ABOVE ROOF LINE WITH CLEANING AND 100% REPORTING. SEE TYPICAL PHOTO ELEVATIONS DRAWING A201.
- 10 BASE BID: REMOVE STONE FINIAL ASSEMBLY AND REPLACE STONE FINIAL BASE, STONE TYPE A. SEE STONE TYPES DETAIL 1/A505.
- 11 REMOVE SEALANT MORTAR FROM CAPSTONE CROSS JOINTS. PROVIDE MORTAR, AND LEAD TEE IN JOINT FILLED WITH SEALANT. TOOL NEAT - REFER TO DETAIL 6/A505.
- 12 BASE BID: REMOVE STONE FINIAL AND REPLACE, IN-KIND STONE TYPE B. SEE STONE TYPES DETAIL 1/A505.
- 13 SUPPLEMENTAL BID NO. 1: REMOVE TWO CAPSTONE COURSES AND VERTICAL SUPPORT STONES. CLEAN STONES OF MORTAR AND REINSTALL. SEE DETAILS 1/A503 AND 2/A503.
- 14 BASE BID: EXISTING SKYLIGHTS TO REMAIN, REPLACE ROOF FLASHINGS AND METAL CURB FLASHINGS. SUPPLEMENTAL BID NO. 2: REMOVE EXISTING METAL GLASS SKYLIGHT, AND WOOD CURB FLASHING. INSTALL NEW CURB, FLASHING AND ALUMINUM-FRAMED SKYLIGHT. SEE DETAIL 4/A505 AND 5/A505. SUPPLEMENTAL BID NO. 3: REMOVE EXISTING METAL GLASS SKYLIGHT, AND WOOD CURB FLASHING. INSTALL NEW CURB, FLASHING AND COPPER CLAD SKYLIGHT. SEE SPEC 08 63 00.
- 15 REMOVE COPPER COVERINGS AND FLASHINGS FROM LOUVER DORMERS/SURROUND. REPLACE IN-KIND.
- 16 REMOVE LOUVER TO ALLOW FLASHINGS INSTALLATION AND REINSTALL LOUVER. SEE DETAIL 1/A507.
- 17 REMOVE EXISTING DOWNSPOUT BOOT TO NEAREST BELOW GRADE JOINT. INSTALL NEW CAST IRON BOOT WITH CLEAN-OUT. CONNECT TO EXISTING BELOW-GRADE PIPING WITH NO-HUB COUPLER. REFER TO SPEC 07 62 00 FOR BOOT.
- 18 REMOVE COPPER FINIAL AND SALVAGE FOR REPLICATION. INSTALL NEW COPPER FINIAL.
- 19 REMOVE AND REPLACE 1'-4" x 2'-0" SQUARE x 2'-0" HT. (RIDGE SIDE) COPPER VENT ASSEMBLY AND COPPER CAP. SEE DETAIL 2/A506.
- 20 SAWCUT REGLET INTO TOP OF STONE AND INSTALL NEW STEP FLASHING/COUNTERFLASHING INTO NEW REGLET. SEE DETAIL 4/A506.

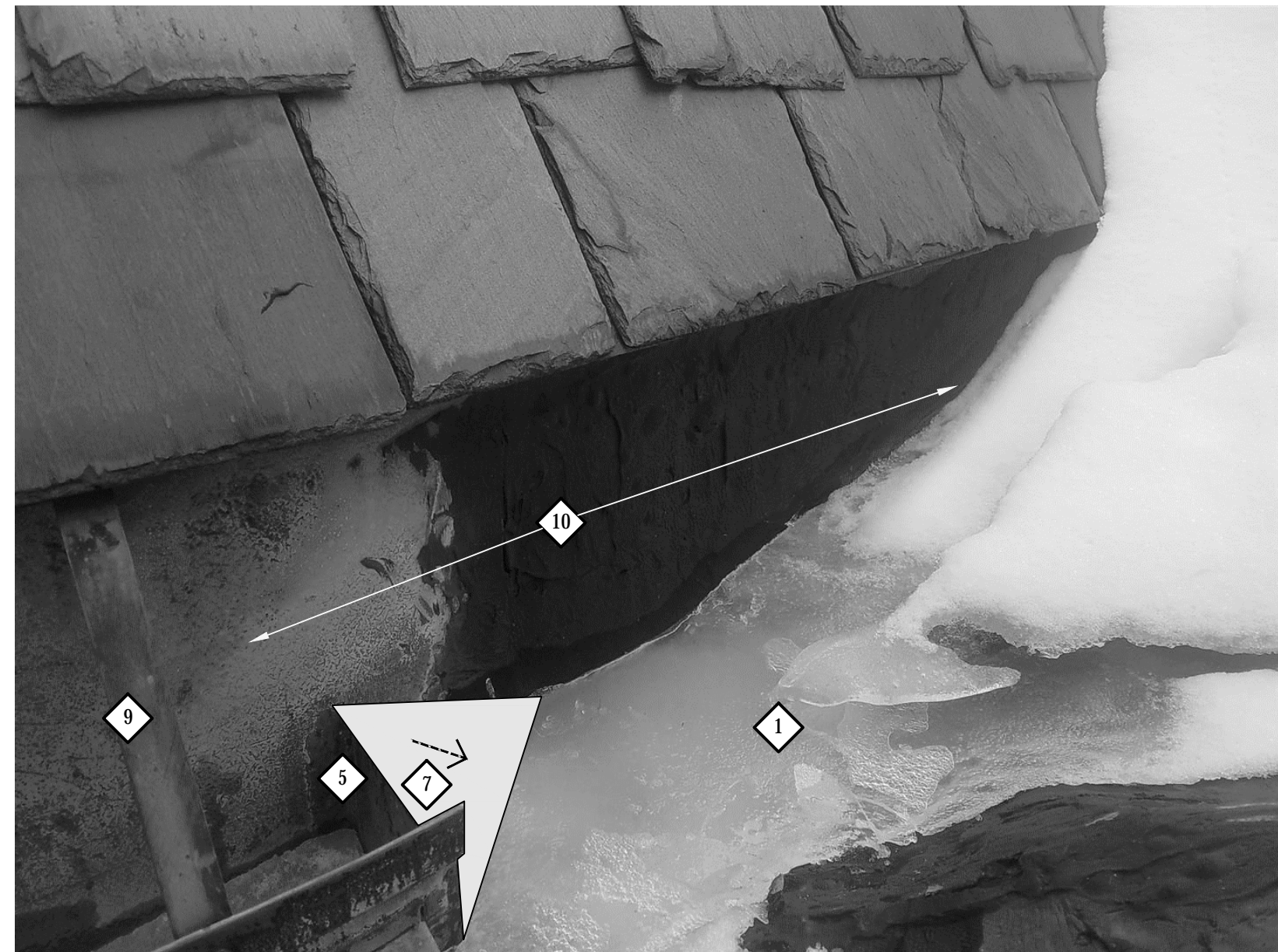


1 ROOF AREA PLAN
SCALE: 3/16"=1'-0"



drawing title ROOF AREA PLAN		REVISIONS	
professional seal	mark	date	description

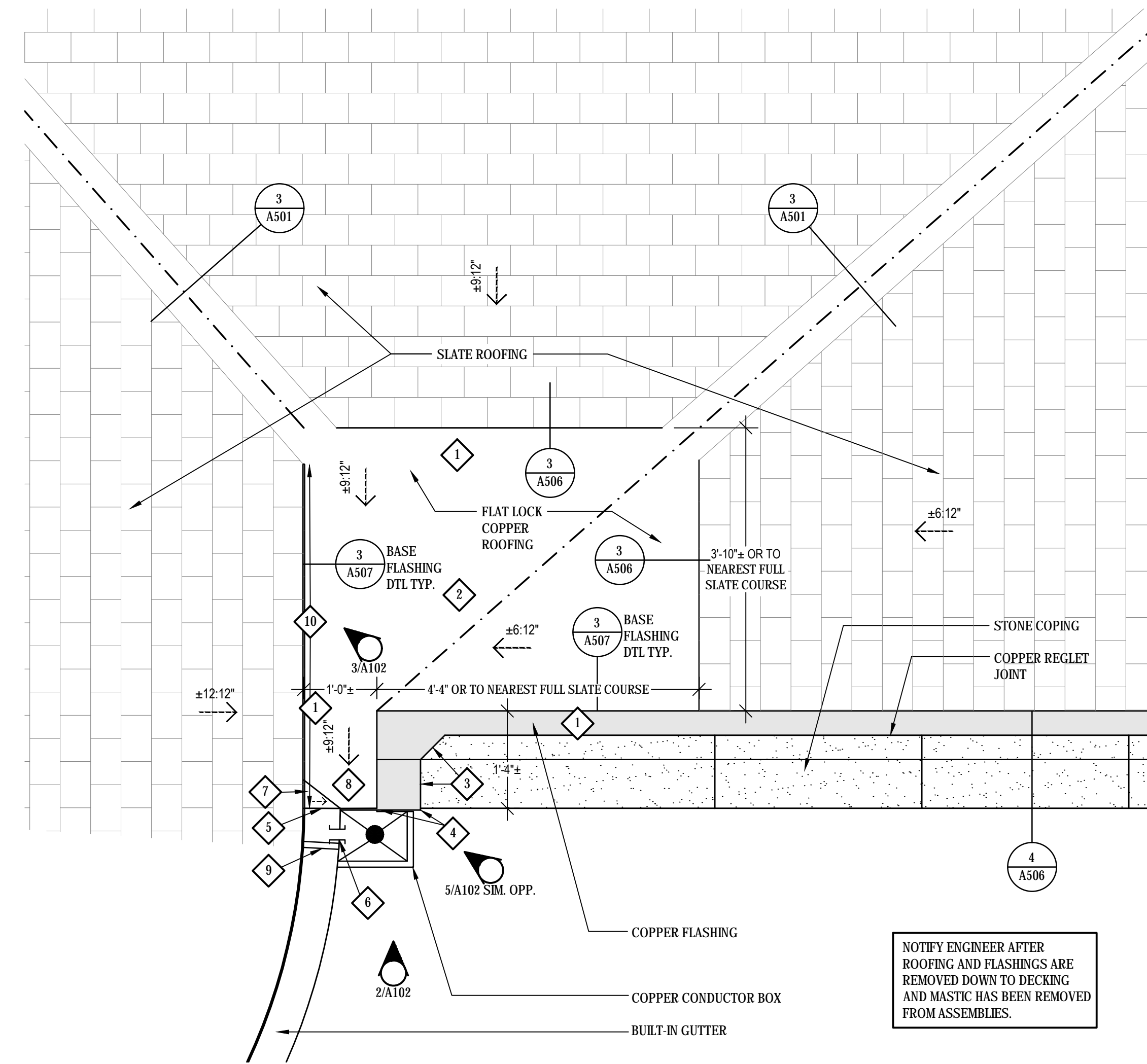
STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES		date 12/20/2019
drawing prepared by GALE CONSULTANTS, INC. 703 HEBRON AVENUE GLASTONBURY, CONNECTICUT 06033		scale 3/16"=1'-0"
project ROOF REPAIR/REPLACEMENT NEW LONDON SUPERIOR COURT 112 BROAD STREET, NEW LONDON CT		drawn by JSD/MDF
NEW LONDON, CONNECTICUT		approved by MAL
CAD no. BI-JD-369 - 977020 A100s	project no. BI-JD-369 GALE NO: 977020	drawing no. A101



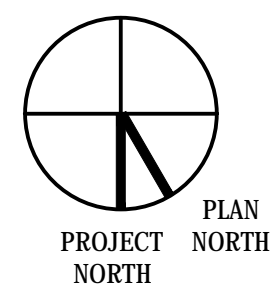
3 PHOTO: TURRET SIDE WALL FLASHING
SCALE: NO SCALE



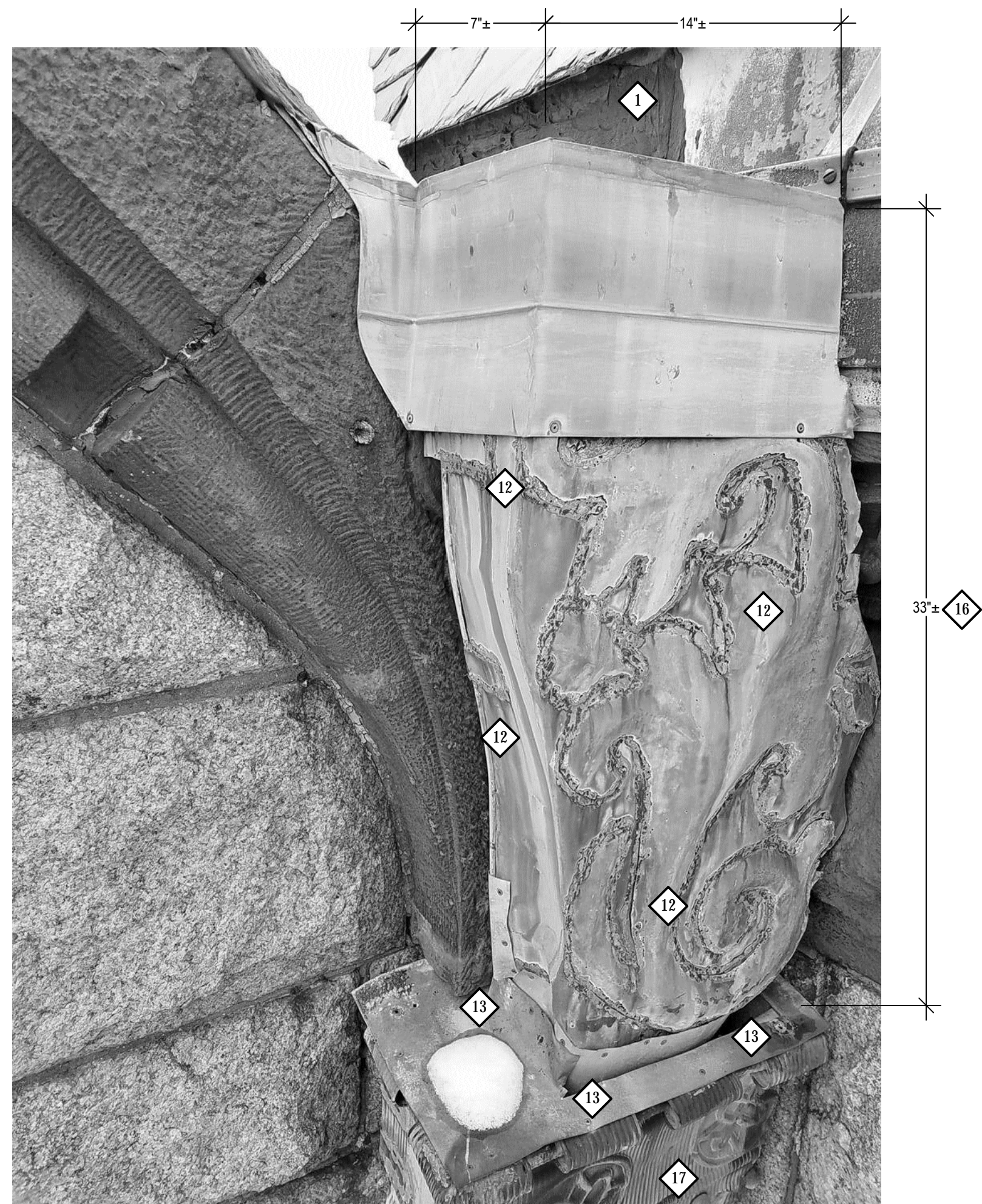
4 PHOTO: TURRET FLASHING AT EAVE / GUTTER
SCALE: NO SCALE



NOTIFY ENGINEER AFTER ROOFING AND FLASHINGS ARE REMOVED DOWN TO DECKING AND MASTIC HAS BEEN REMOVED FROM ASSEMBLIES.



1 PARTIAL ENLARGED ROOF PLAN
SCALE: 3/4"=1'-0"



REFER TO SHEET NOTE 6A/A101 FOR LCOATIONS OF THIS VARIANT ON CONDUCTOR BOX REPLACEMENT.

2 PHOTO: UPPER COLLECTOR BOX AT NORTH SUMPS
SCALE: NO SCALE



5 PHOTO: CAPSTONE TO COLLECTOR BOX
SCALE: NO SCALE

GENERAL NOTES

1. THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES, AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
2. FOR THE SAKE OF CLARITY, EACH INDIVIDUAL DETAIL ON THE ROOF PLAN HAS NOT BEEN INDICATED. INSTALLATION DETAILS HAVE BEEN INDICATED FOR TYPICAL COMPONENTS AT REPRESENTATIVE LOCATIONS.
3. REFER TO G101 FOR ADDITIONAL NOTES.

SHEET NOTES

- 1 ONCE ROOFING IS REMOVED, REMOVE MASTIC FROM ALL SURFACES WITHIN AREA OF SUMPS, INCLUDING ON STONES, FLASHINGS, DECKING, AND OTHER SUBSTRATES.
- 2 REMOVE COPPER FLASHINGS COMPLETE.
- 3 AT JUNCTION BETWEEN CAPSTONE AND COLLECTOR BOX, EXTEND SAWCUT REGLET IN CAPSTONE AND REGLET / CAP FLASHING ONTO AND OVER CAPSTONE.
- 4 INSTALL BLIND NAILER ON VERTICAL FACE OF STONE, AND RUN SHEET METAL BEHIND COLLECTOR BOX ON STONE.
- 5 INSTALL COPPER END DAM ON END OF GUTTER, TO MATCH HEIGHT OF FRONT FACE OF GUTTER. PROVIDE HEMMED TOP EDGE.
- 6 AT SCUPPER FROM GUTTER TO COLLECTOR BOX, RIVET AND SOLDER SLEEVE BETWEEN GUTTER AND COLLECTOR BOX, BOTH SIDES.
- 7 PROVIDE WOOD AND COPPER CRICKET TO GUIDE WATER TO COLLECTOR BOX.
- 8 AT AREA OF TRANSITION BETWEEN FLAT LOCK ROOFING AND COLLECTOR BOX, PROVIDE FULLY LOCKED AND SOLDERED, WATER-TIGHT ASSEMBLIES.
- 9 PROVIDE GUTTER STRAP AT END OF GUTTER RUN.
- 10 TURRET VERTICAL SIDE WALL FLASHING: CLAD VERTICAL SURFACE BY CONTINUING GUTTER REAR LINING FLASHING INCLUDING FLAT LOCKED FLANGE TO ROOF FLASHING. LOCK AND SOLDER SEAM TO FLAT LOCKED ROOFING.
- 11 REMOVE MASTIC FROM STONES WITHOUT UTILIZING POWER OR OTHER ABRASIVE TOOLS. CONDITION IS TYPICAL AT NORTH ROOF SUMPS.
- 12 WHERE EMBOSSED ORNAMENT IS PROVIDED ON EXISTING COLLECTOR BOXES, REPLICATE IN EMBOSSED PATTERN. DO NOT FACE SOLDER PATTERNS INTO SHEETMETAL.
- 13 PROVIDE WATERTIGHT, LOCKED SEAM CAP TRANSITIONS.
- 14 BENEATH TURRET GUTTER AT FACE OF STONE WALL, PROVIDE STEP AND REGLETTED COUNTERFLASHING TO MATCH EXISTING CONFIGURATION UTILIZING EXISTING STONE JOINTS.
- 15 PROVIDE END DAM ON END OF GUTTER RUN AND COUNTERFLASH INTO EXISTING STONE JOINT.
- 16 REMOVE AND REPLACE UPPER COPPER CONDUCTOR BOX ASSEMBLY.
- 17 REMOVE AND REPLACE LOWER CONDUCTOR BOX ASSEMBLY - SEE 3/A504.

drawing title ENLARGED ROOF AREA PLAN, PHOTO DETAILS		STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
professional seal	REVISIONS	drawing prepared by GALE CONSULTANTS, INC. 703 HEBRON AVENUE GLASTONBURY, CONNECTICUT 06033	date 12/20/2019
	mark	project ROOF REPAIR/REPLACEMENT NEW LONDON SUPERIOR COURT 112 BROAD STREET, NEW LONDON CT NEW LONDON, CONNECTICUT CAD no. BI-JD-369 - 977020 A100s	scale 3/4"=1'-0"
	date		description
		project no. BI-JD-369 - 977020 A100s	GALE NO: 977020



1A SOUTH ELEVATION (NORTH SIM.)
SCALE: NOT TO SCALE

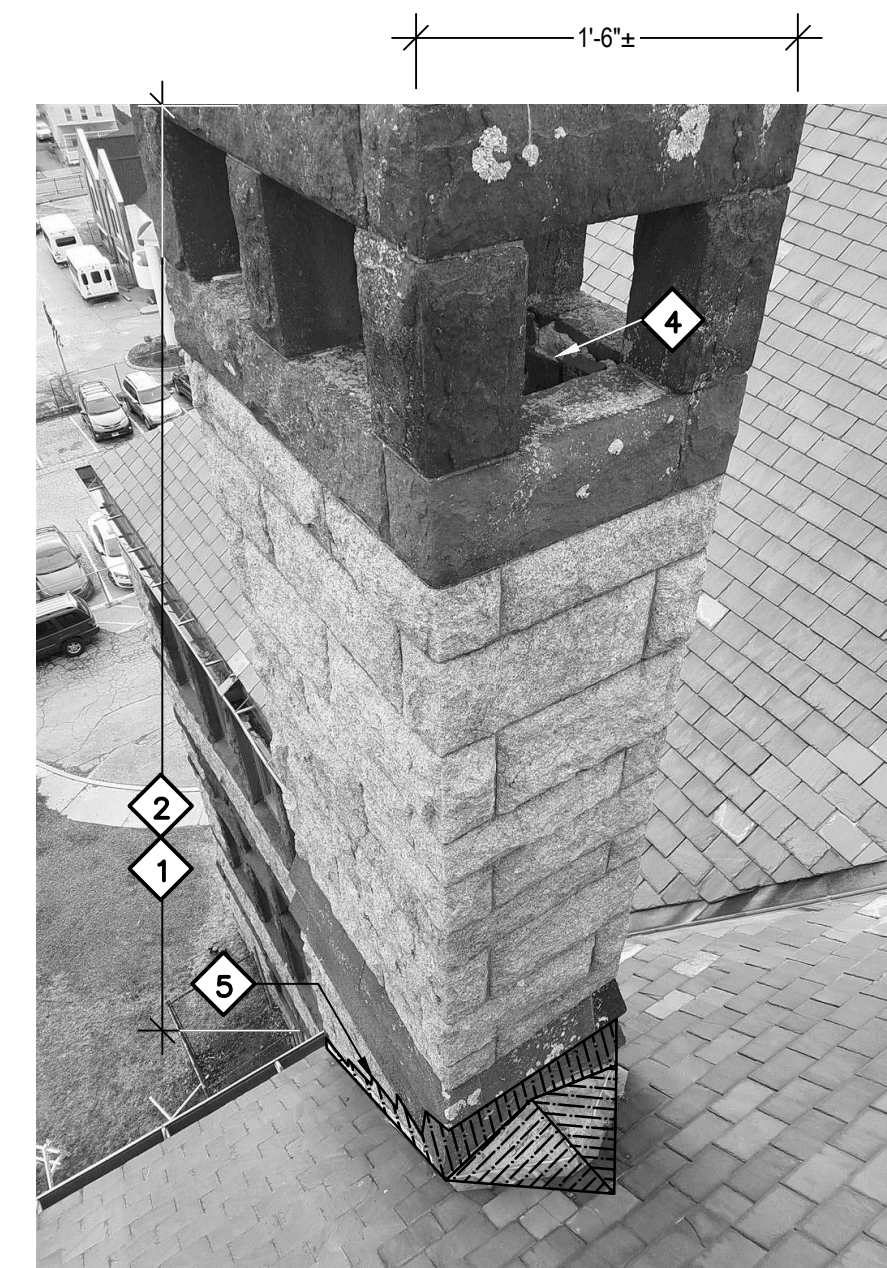


1B WEST ELEVATION (EAST SIM.)
SCALE: NOT TO SCALE

1 CHIMNEY "A" ELEVATIONS
SCALE: NOT TO SCALE



2A EAST ELEVATION (WEST SIM.)
SCALE: NOT TO SCALE

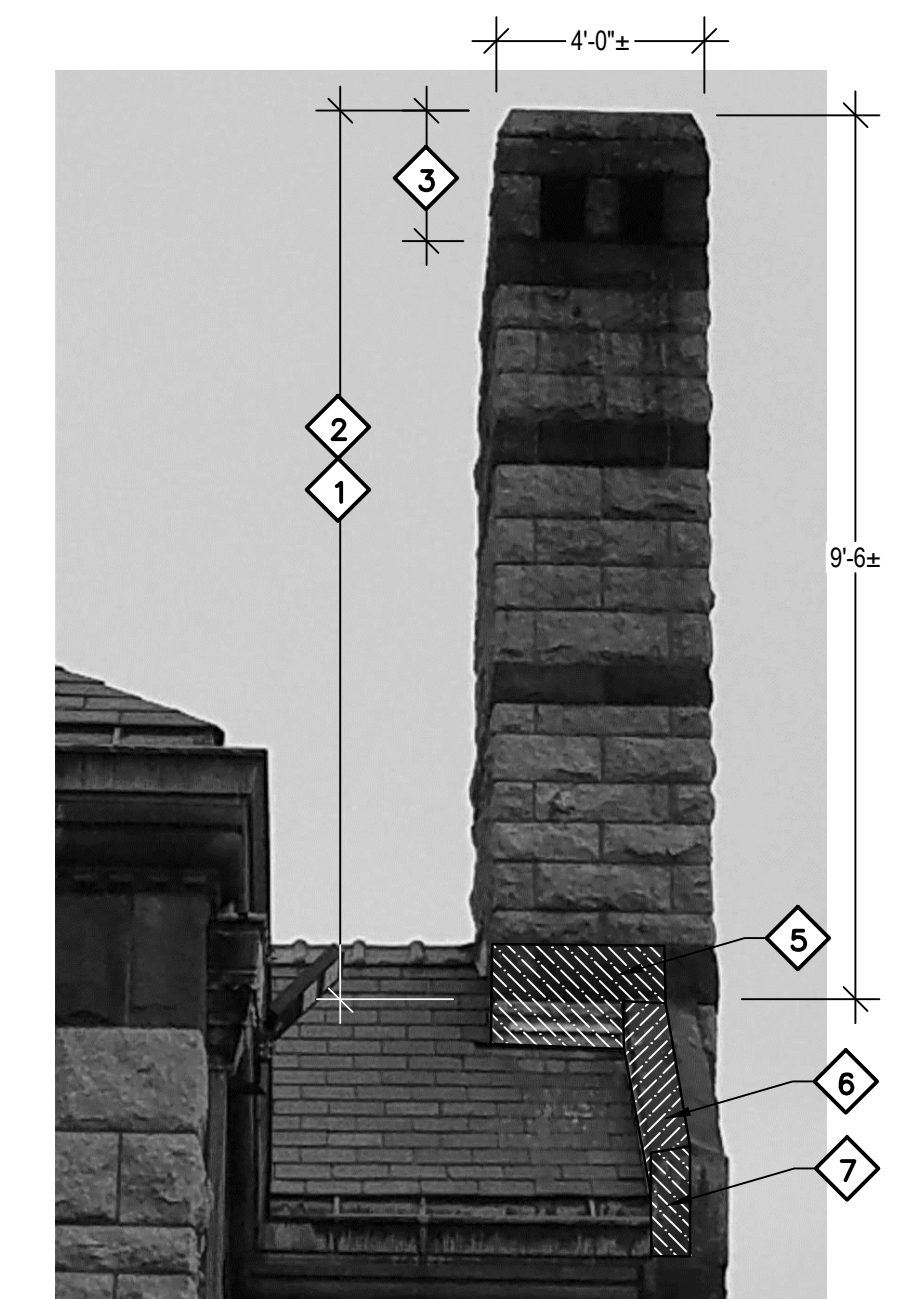


2B NORTH ELEVATION (SOUTH SIM.)
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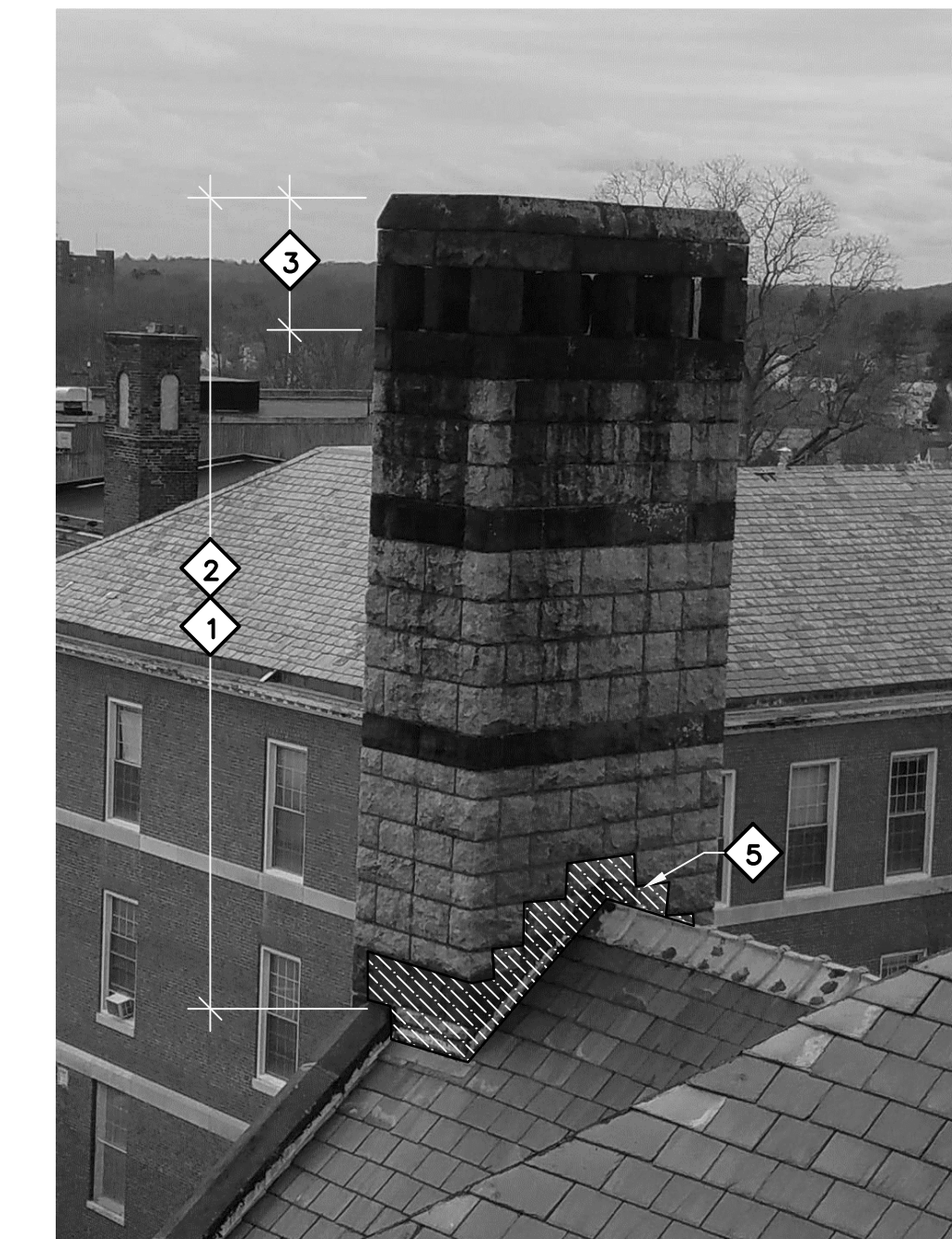
2 CHIMNEY "B" ELEVATIONS
SCALE: NOT TO SCALE



3A SOUTH ELEVATION
SCALE: NOT TO SCALE



3B WEST ELEVATION
SCALE: NOT TO SCALE



3C NORTH/ EAST ELEVATION
SCALE: NOT TO SCALE

3 CHIMNEY "C" ELEVATIONS
SCALE: NOT TO SCALE

SHEET NOTES

SUPPLEMENTAL BID NO. 1:

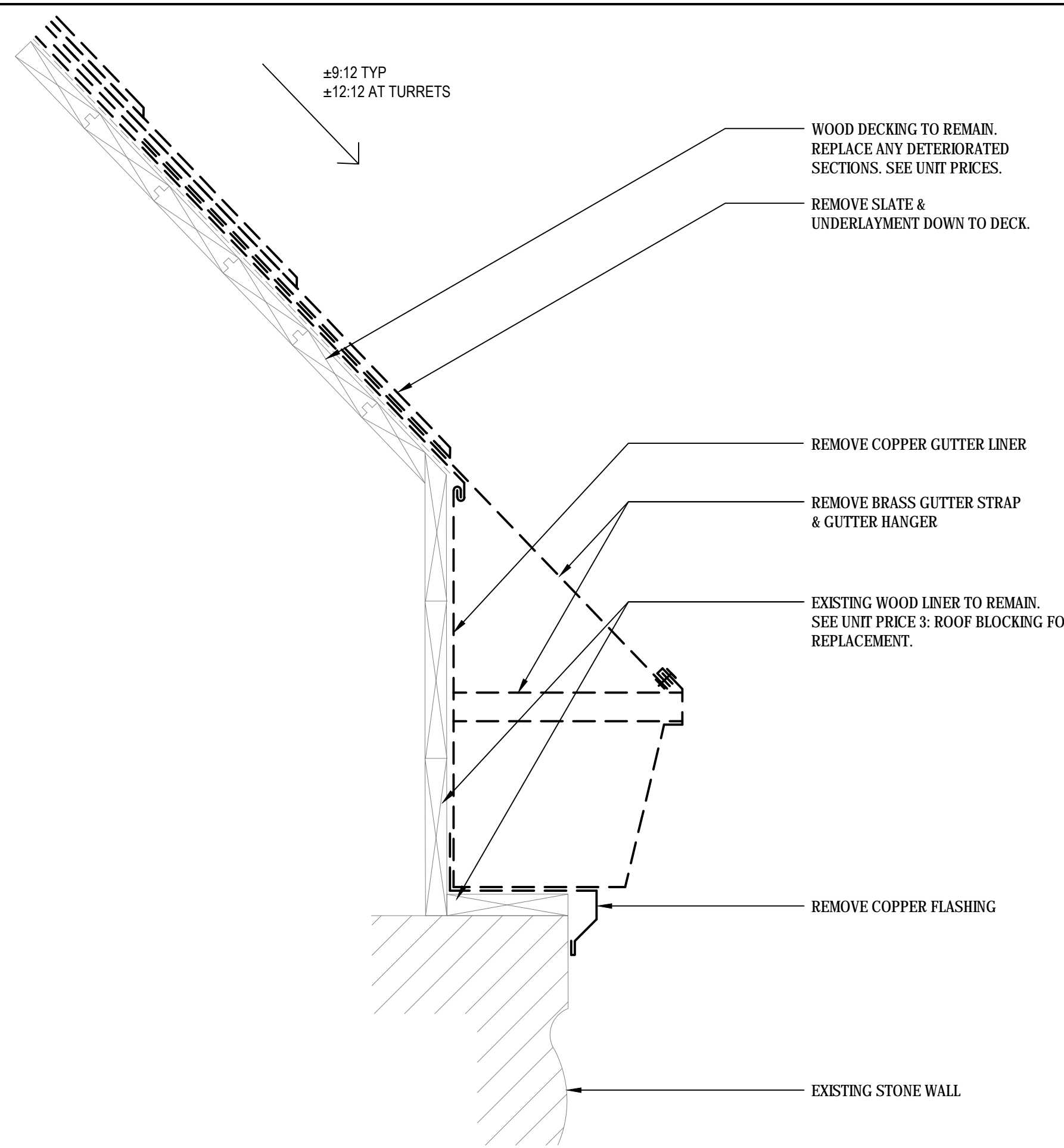
- 1 REPOINT 100% STONE MASONRY ABOVE ROOF LINE.
- 2 PROVIDE RESTORATION CLEANING OF 100% OF CHIMNEY.
- 3 REMOVE STONE CAPS AND VERTICAL STONE CAP SUPPORTS (TOP 3 COURSES). CLEAN STONES OF MORTAR. REBUILD SUPPORTS AND CAPS IN ACCORDANCE WITH DETAILS 1/A503 AND 2/A503.
- 4 REMOVE TWELVE (12) BRICKS, SALVAGE AND REINSTALL IN MORTAR. REPOINT AN ADDITIONAL TEN (10) SQUARE FEET OF BRICK/STONE MASONRY WITHIN THE LINER OF CHIMNEY B.

BASE BID WORK:

- 5 INSTALL NEW COPPER COUNTERFLASHING AND STEP FLASHING TO NEW HIGHER HEIGHTS IN EXISTING STONE UNITS. TYPICAL ALL CHIMNEYS AND SIDES.
- 6 INSTALL NEW FLASHING AND COUNTERFLASHING IN NEW REGLET INTO TOP OF CAPSTONES. SEE DETAIL 3/A506.
- 7 PROVIDE BLIND NAILER AT FACE OF STONE, DOWN TO BOTTOM EDGE OF COPPER GUTTER.

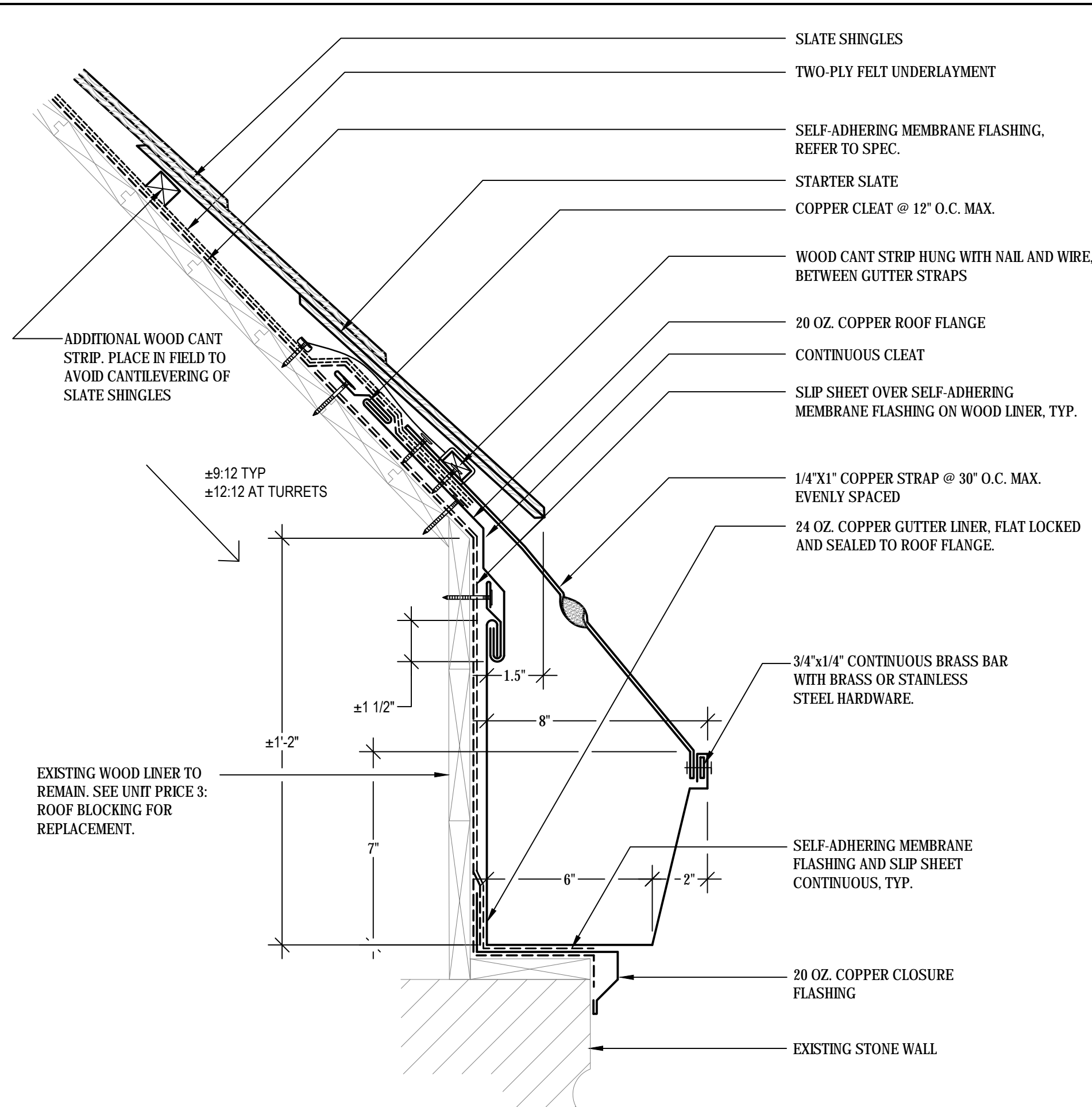
4 NOT USED
SCALE:

drawing title CHIMNEY ELEVATIONS		STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
professional seal	REVISIONS	drawing prepared by GALE CONSULTANTS, INC. 703 HEBRON AVENUE GLASTONBURY, CONNECTICUT 06033	date 12/20/2019
	mark	project ROOF REPAIR/REPLACEMENT NEW LONDON SUPERIOR COURT 112 BROAD STREET, NEW LONDON CT NEW LONDON, CONNECTICUT	scale 1/2"=1'-0"
	date		drawing no. A201
		CAD no. BI-JD-369 - 977020 A200s	project no. BI-JD-369 GALE NO: 977020



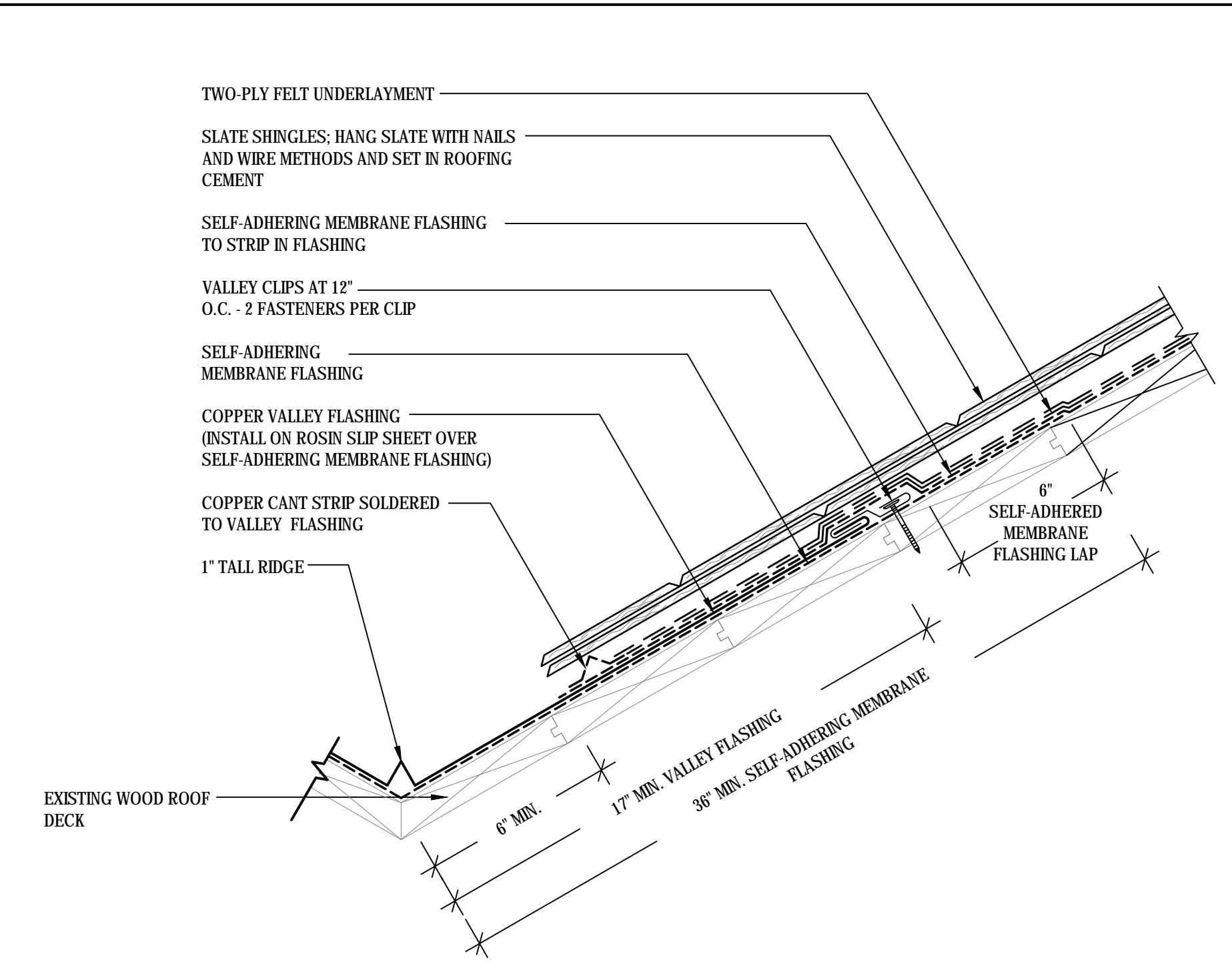
1 EXISTING CONDITIONS/ EAVE DEMO DETAIL @ WOOD SUBSTRATE

SCALE: 3"-1'-0"



2 NEW BUILT IN GUTTER @ WOOD SUBSTRATE DETAIL

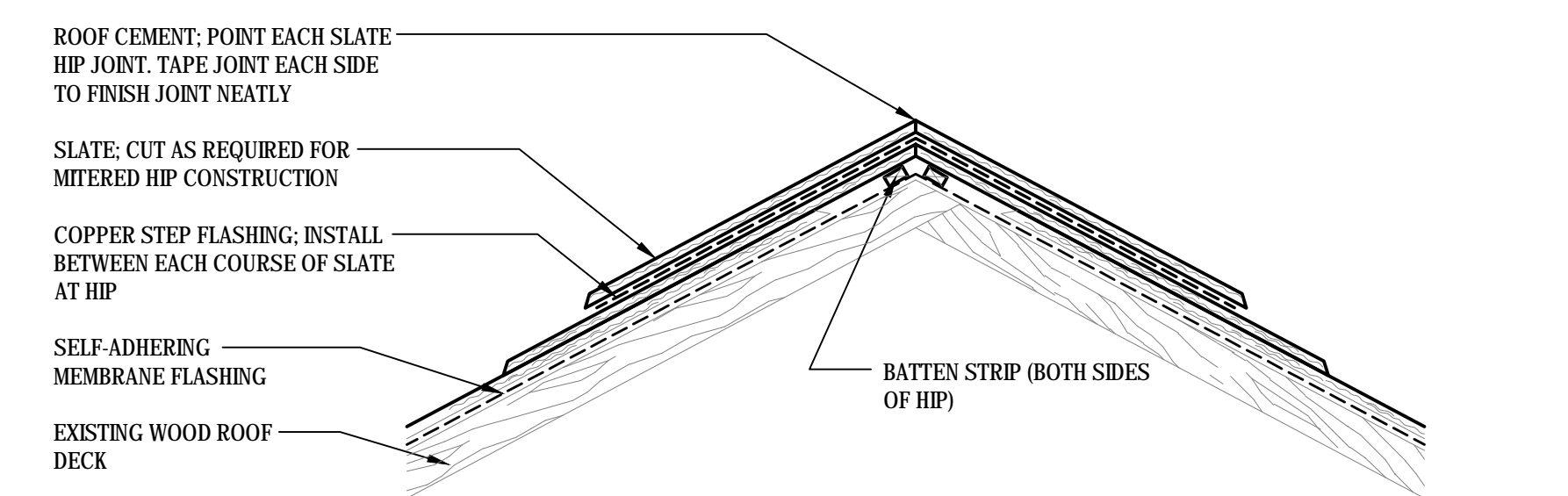
SCALE: 3"-1'-0" (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



- NOTES:**
- EXPOSED FLASHING SHALL BE 6" MINIMUM WIDE AT THE HIGH ELEVATIONS OF THE VALLEY ROOF AND BECOME GRADUALLY WIDER (1" PER 10 FOOT SECTION) AS IT APPROACHES THE ROOF LEAVE.
 - PROVIDE 12" MINIMUM LAPS BETWEEN VALLEY SHEET METAL SECTIONS. FASTENERS SHOULD BE CONCEALED IN OVERLAP.
 - PROVIDE SLP SHEET BELOW SHEET METAL COMPONENTS THAT ARE IN CONTACT WITH SELF-ADHERING MEMBRANE FLASHING.
 - UNDERLAYMENTS SHALL BE SHINGLED TO SHED WATER. REVERSE LAPS ARE NOT ALLOWED.
 - SEE 1/A502 FOR HANGING SLATES ALONG VALLEY. NAILS ARE NOT TO PENETRATE VALLEY FLASHING.

3 TYPICAL OPEN VALLEY DETAIL

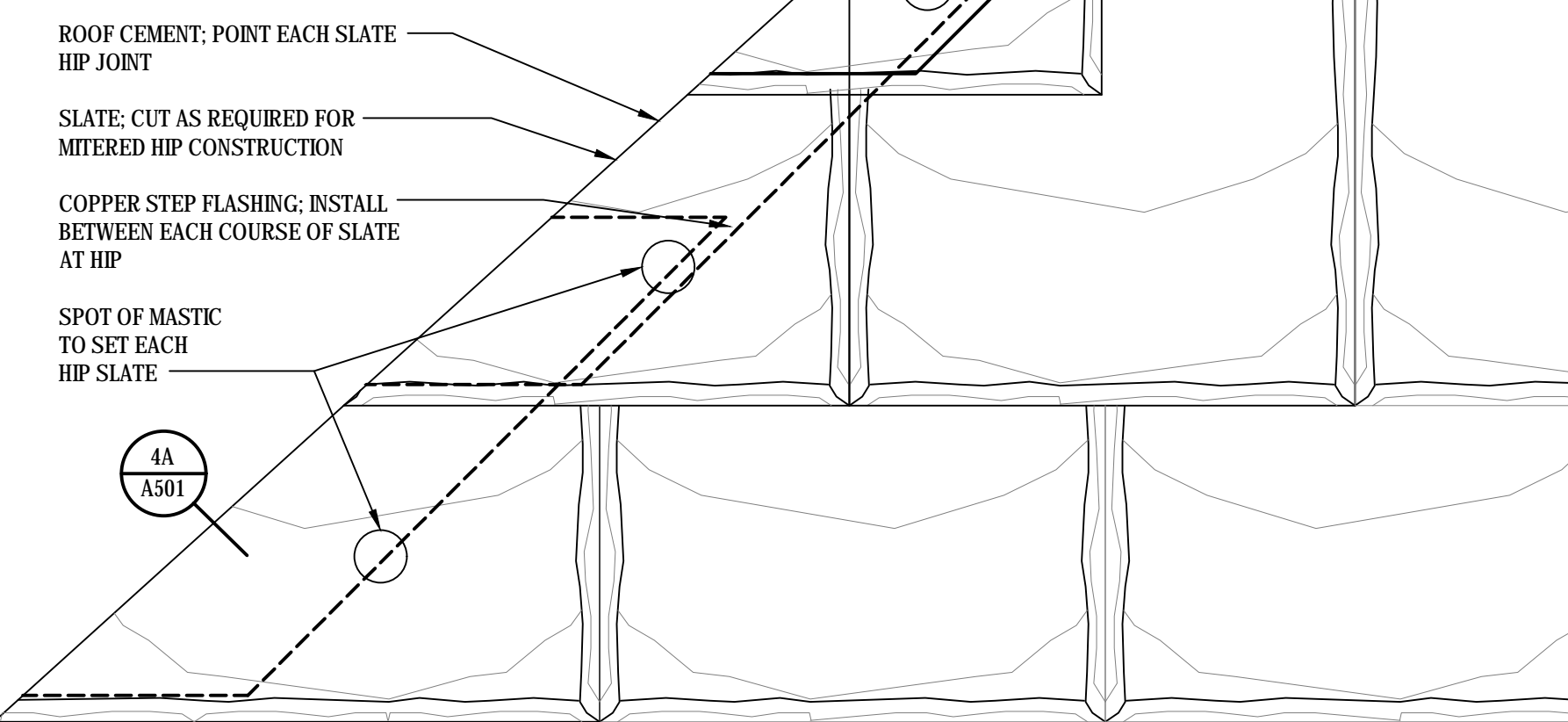
SCALE: 3"-1'-0" (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



4A HIP RIDGE SECTION DETAIL

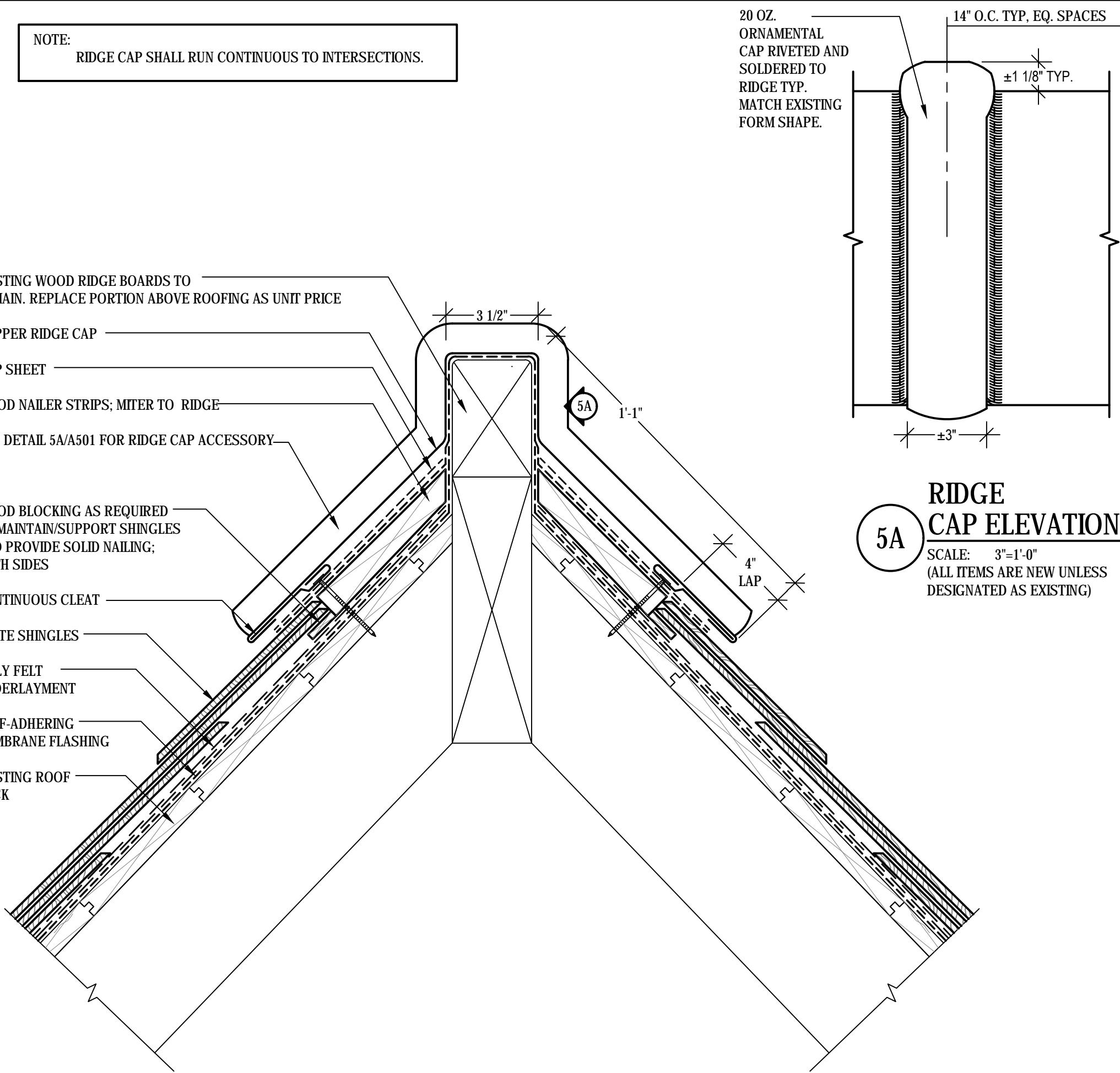
SCALE: 3"-1'-0" (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

1 1/2" MIN. HIP NAIL DISTANCE FROM BUTT EDGE OF THE NEXT COURSE



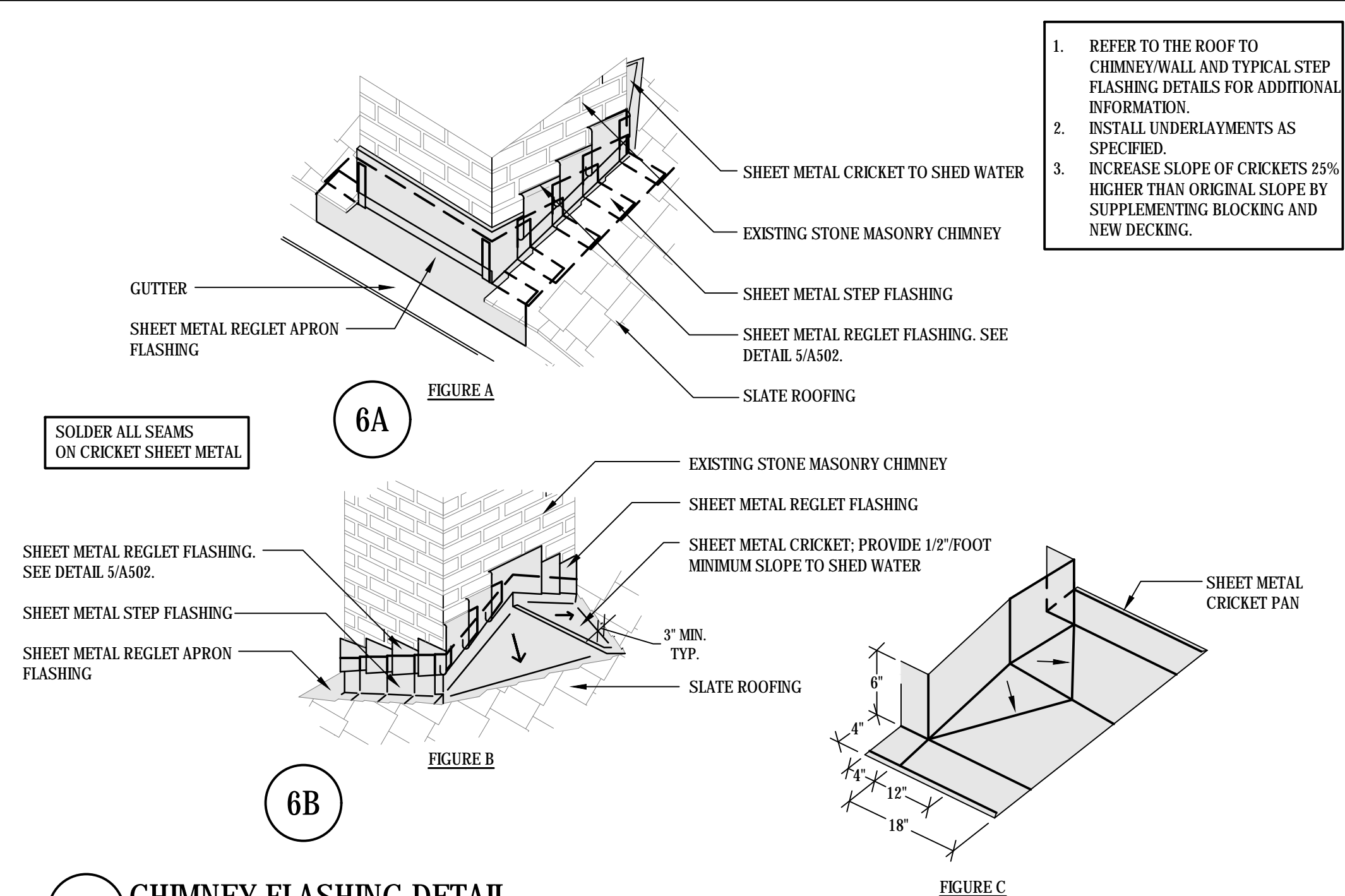
4 MITERED SLATE HIP DETAIL

SCALE: 3"-1'-0" (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



5 RIDGE SECTION DETAIL

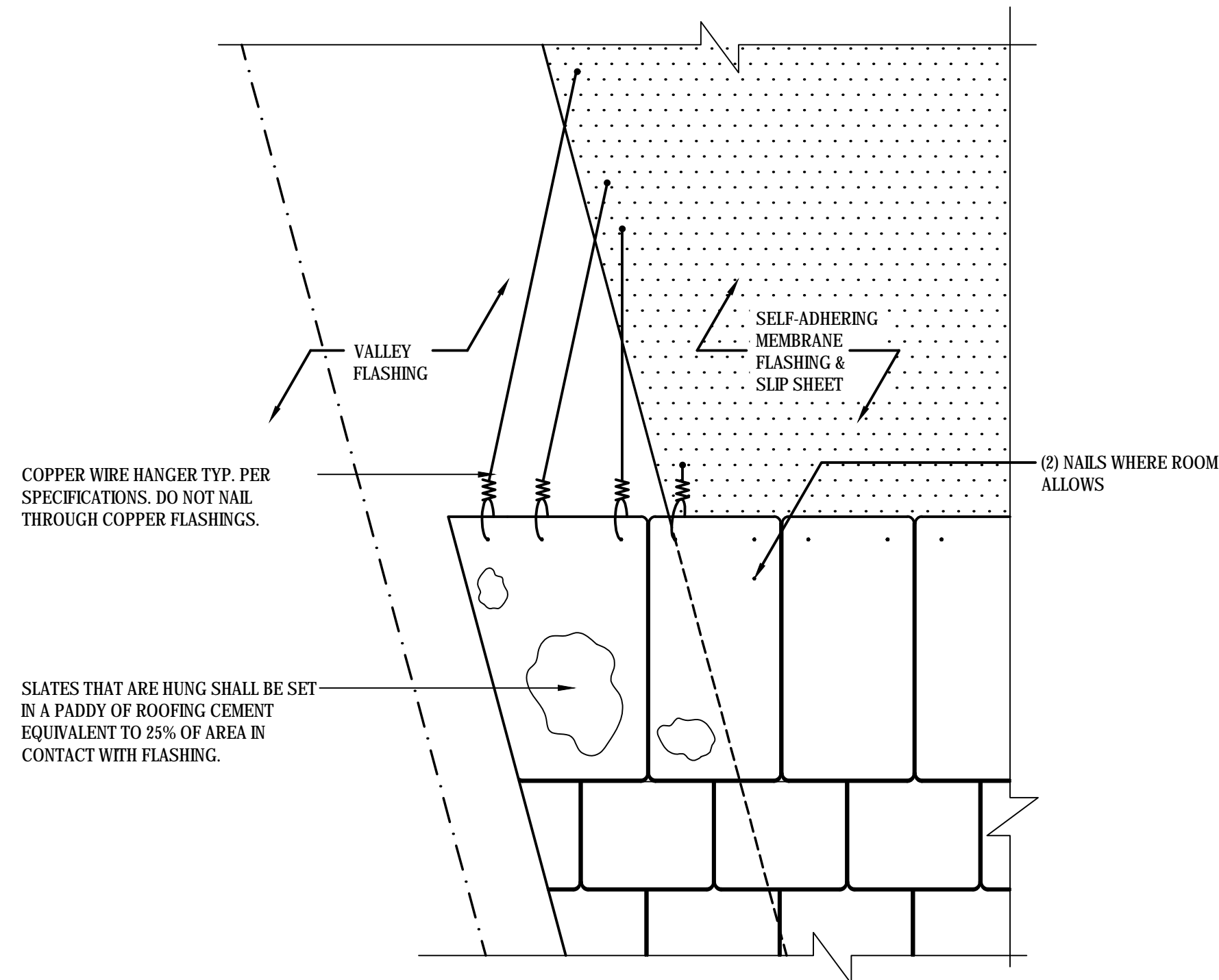
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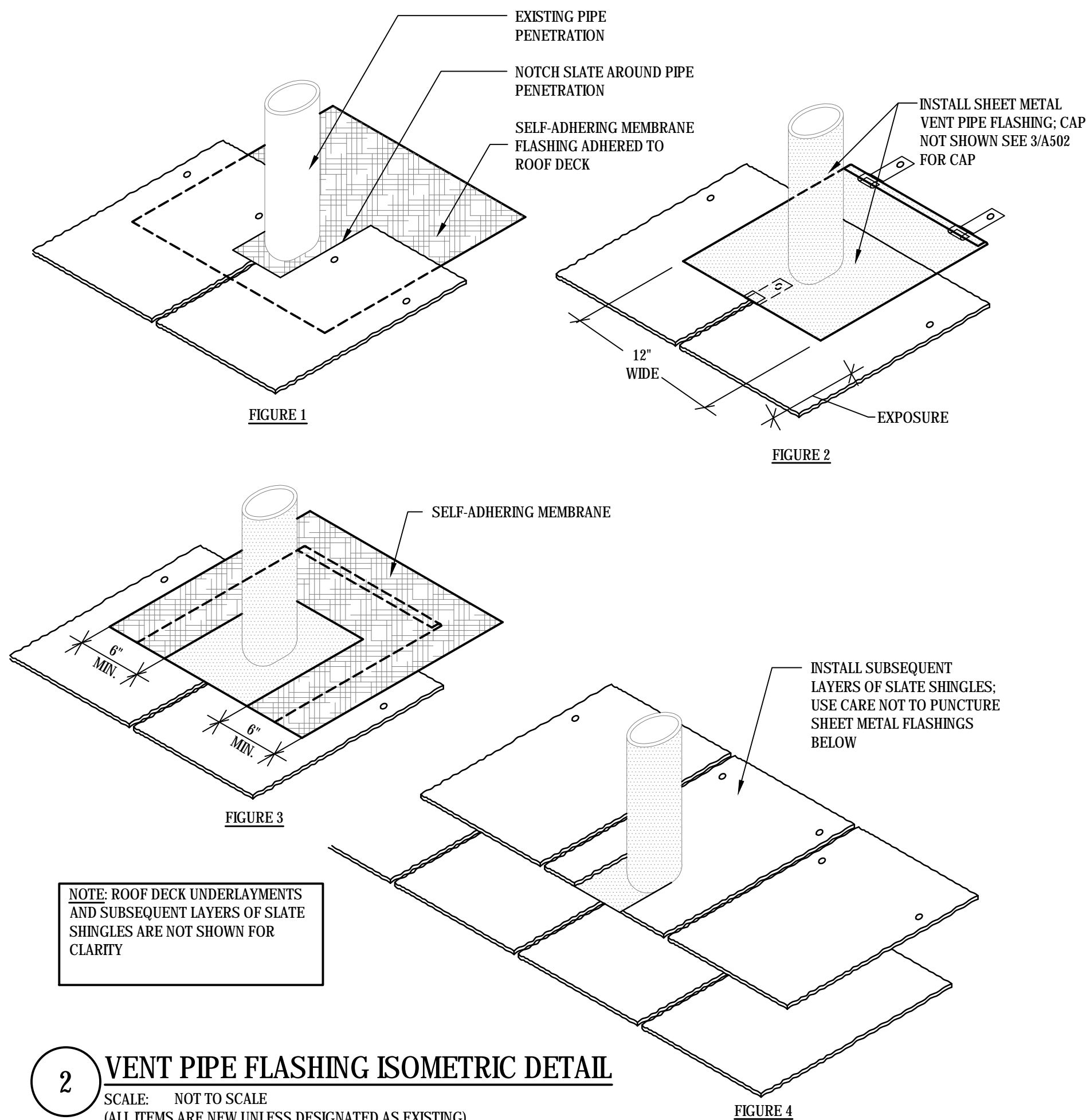
6 CHIMNEY FLASHING DETAIL

SCALE: NOT TO SCALE (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

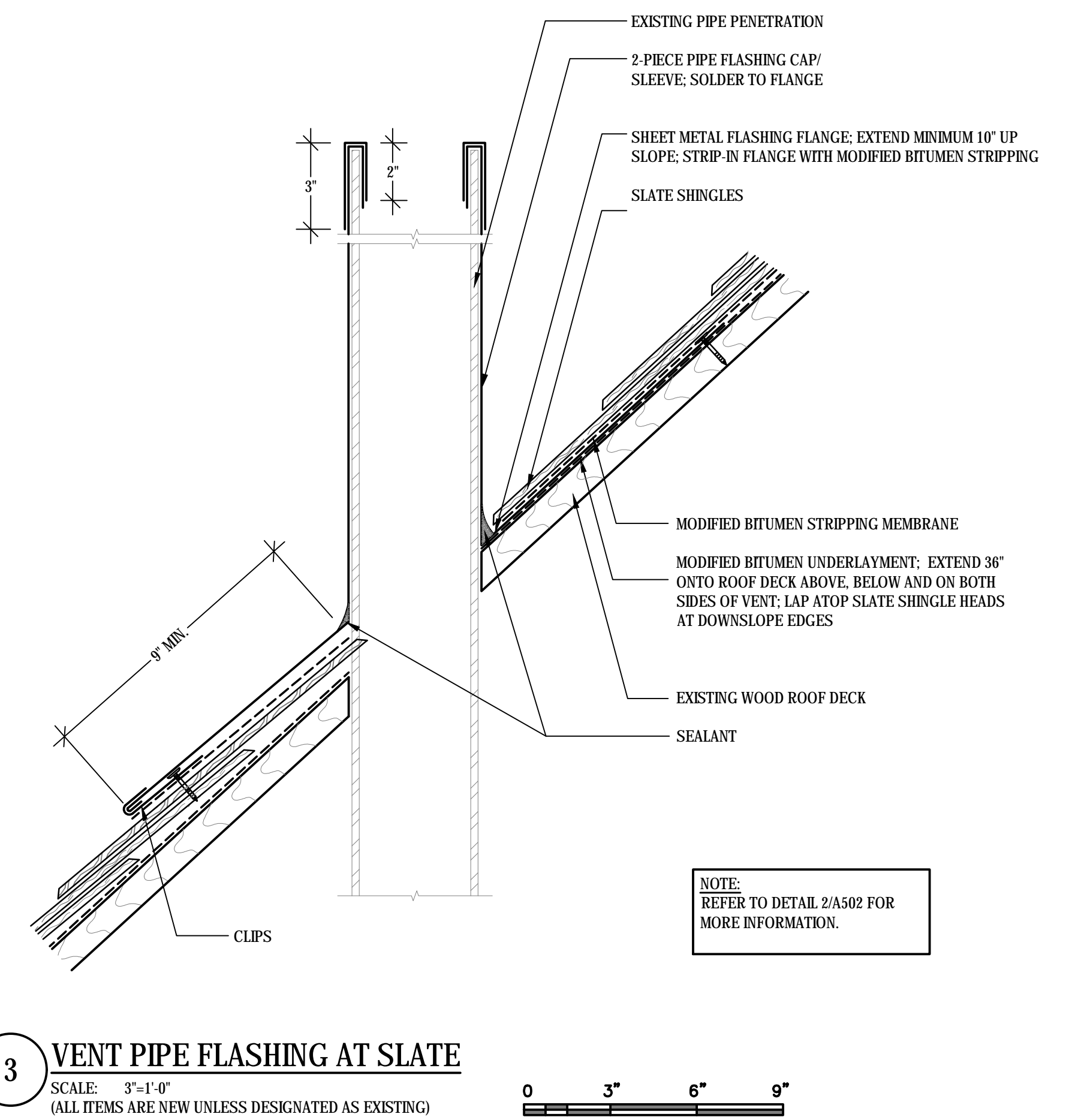
drawing title DETAILS		STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
professional seal	REVISIONS		drawing prepared by GALE CONSULTANTS, INC.
	mark	date	description
	project ROOF REPAIR/REPLACEMENT NEW LONDON SUPERIOR COURT 112 BROAD STREET, NEW LONDON CT NEW LONDON, CONNECTICUT		date 12/20/2019 scale 3"-1'-0" drawn by JSD/MDF approved by MAL drawing no. A501
CAD no. BI-JD-369 - 977020 A500s	project no. BI-JD-369 GALE NO. 977020		



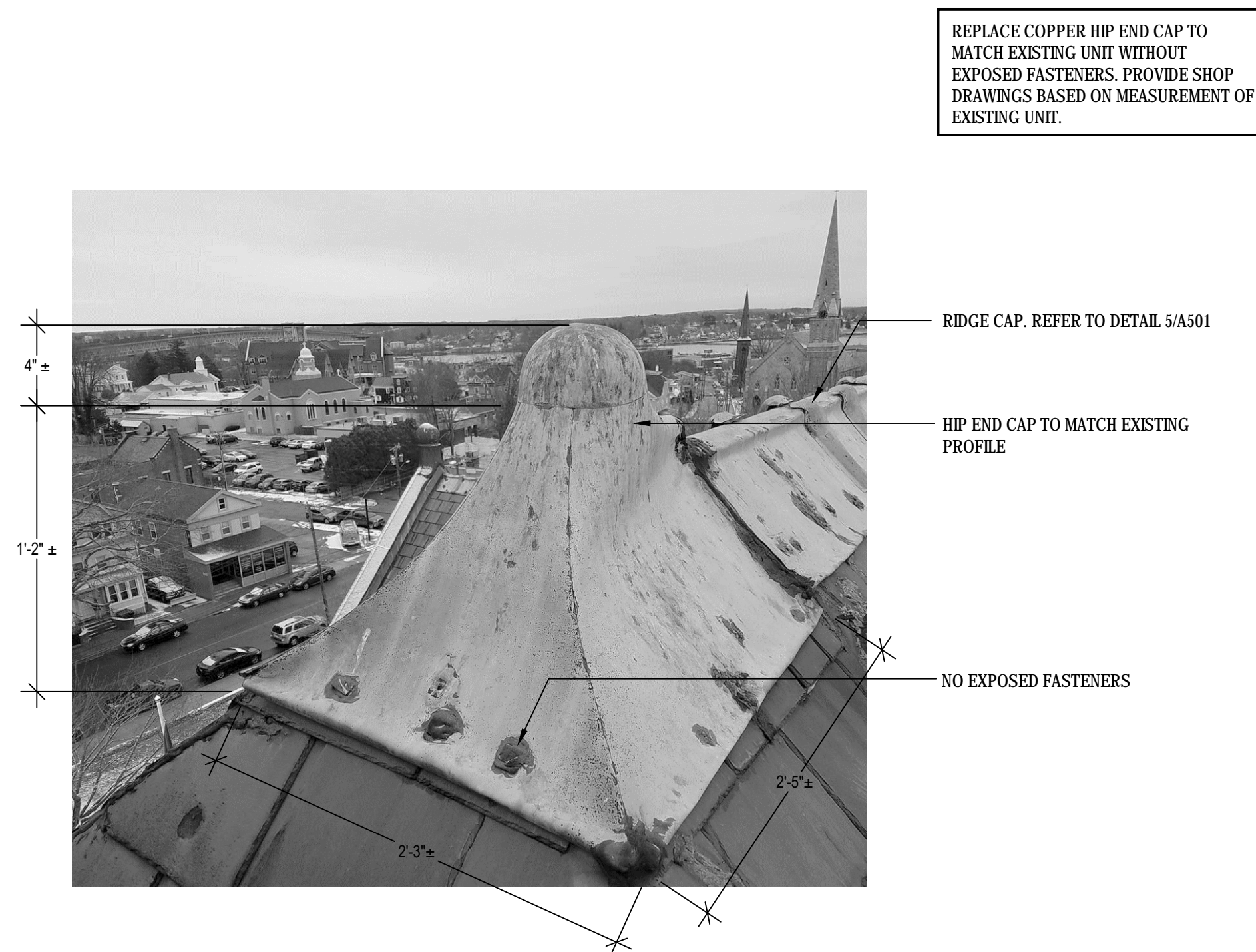
1 SLATE HANGING DETAIL
SCALE: NOT TO SCALE
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



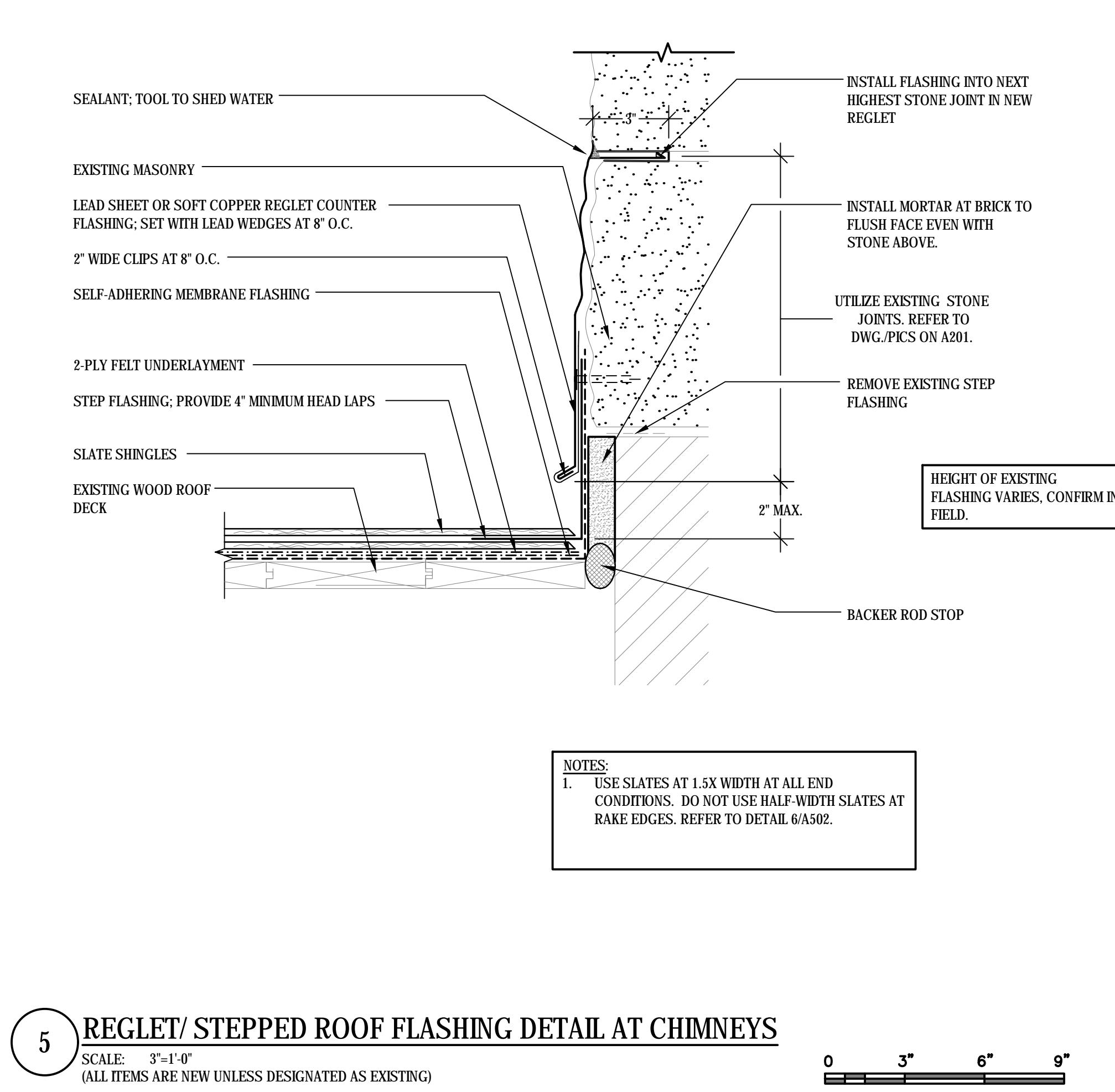
2 VENT PIPE FLASHING ISOMETRIC DETAIL
SCALE: NOT TO SCALE
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



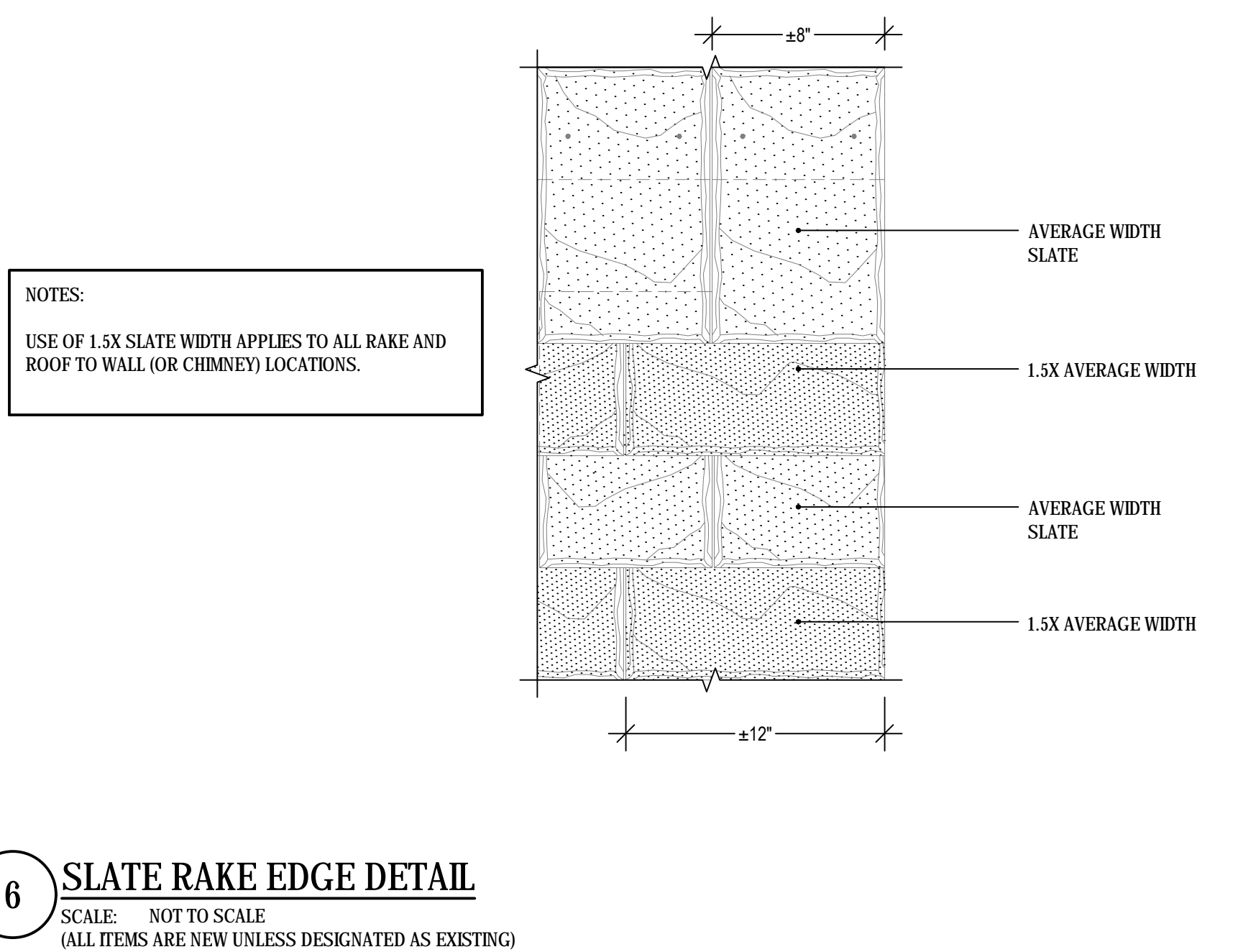
3 VENT PIPE FLASHING AT SLATE
SCALE: 3"-1"0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



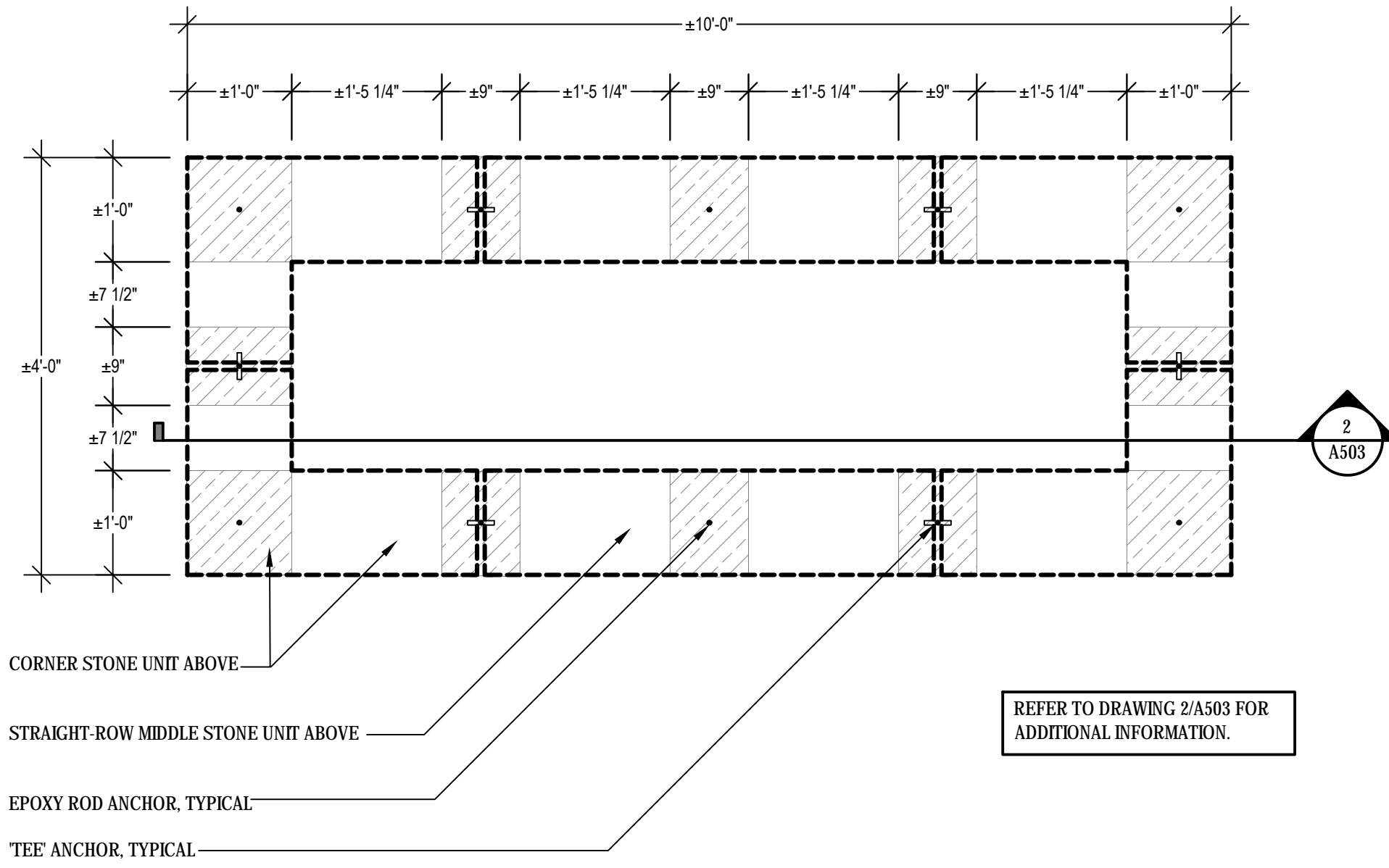
4 HIP END CAP DETAIL
SCALE: NOT TO SCALE
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



5 REGLET/ STEPPED ROOF FLASHING DETAIL AT CHIMNEYS
SCALE: 3"-1"0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

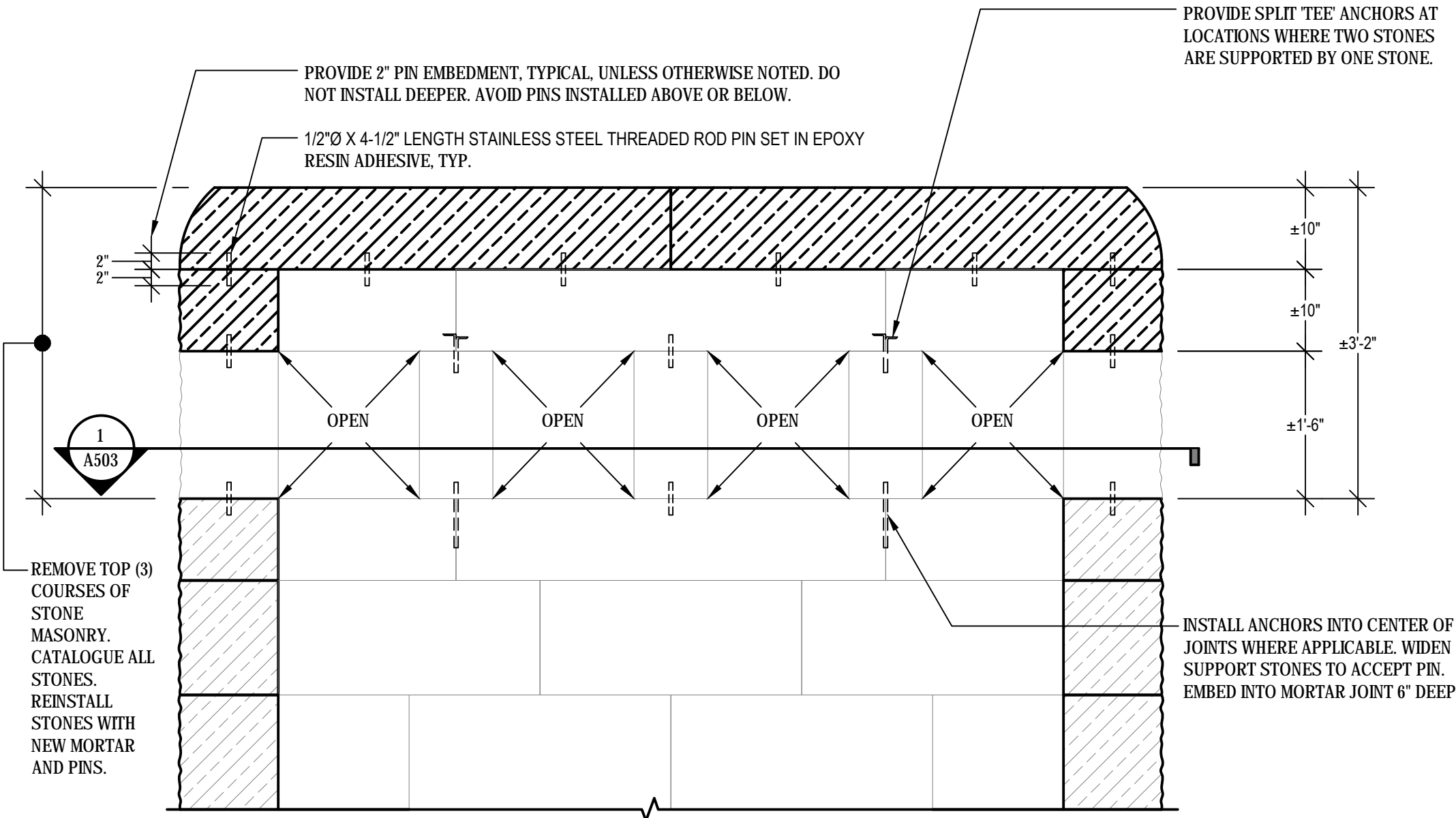
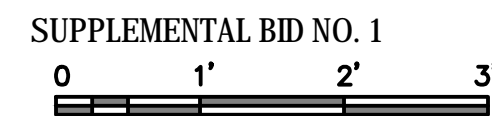


drawing title DETAILS		STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
professional seal	REVISIONS		drawing prepared by GALE CONSULTANTS, INC.
	mark	date	description
project ROOF REPAIR/REPLACEMENT NEW LONDON SUPERIOR COURT 112 BROAD STREET, NEW LONDON CT NEW LONDON, CONNECTICUT		date 12/20/2019	scale AS NOTED
CAD no. BI-JD-369 - 977020 A500s		project no. BI-JD-369	drawing no. A502



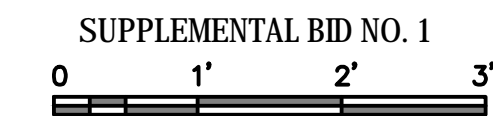
1 CHIMNEY CAP REBUILD - PLAN SECTION

SCALE: 3/4"=1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



2 CHIMNEY CAP REBUILD - VERTICAL SECTION

SCALE: 3/4"=1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



- NOTES:
- CENTER PINS IN STONES. PROVIDE PINS IN ALL STONE-TO-STONE LOCATIONS.
 - PROVIDE 1-1/2" MIN. COVER ON PINS IN ALL CASES.
 - ALL STONES RESET SHALL BE SET IN FULL BED OF MORTAR.
 - SOUND/INSPECT REMOVED STONES AND SUPPORTING STONES FOR DAMAGES/CRACKS, SPALLS, SPLITS. REPORT DEFECTS IN STONES TO OWNER/ENGINEER.
 - REMOVE ALL EXISTING PINS IN STONES REMOVED AND THOSE EXPOSED DURING THE WORK.

LEGEND

L - LENGTH OF SLATE SHINGLE
E - EXPOSURE OF SLATE
H - HEADLAP OF SLATE (AMOUNT OF SHINGLE COVERED BY SHINGLE TWO COURSES ABOVE)
W - WIDTH OF SLATE SHINGLE

SLATE COLOR

BLACK

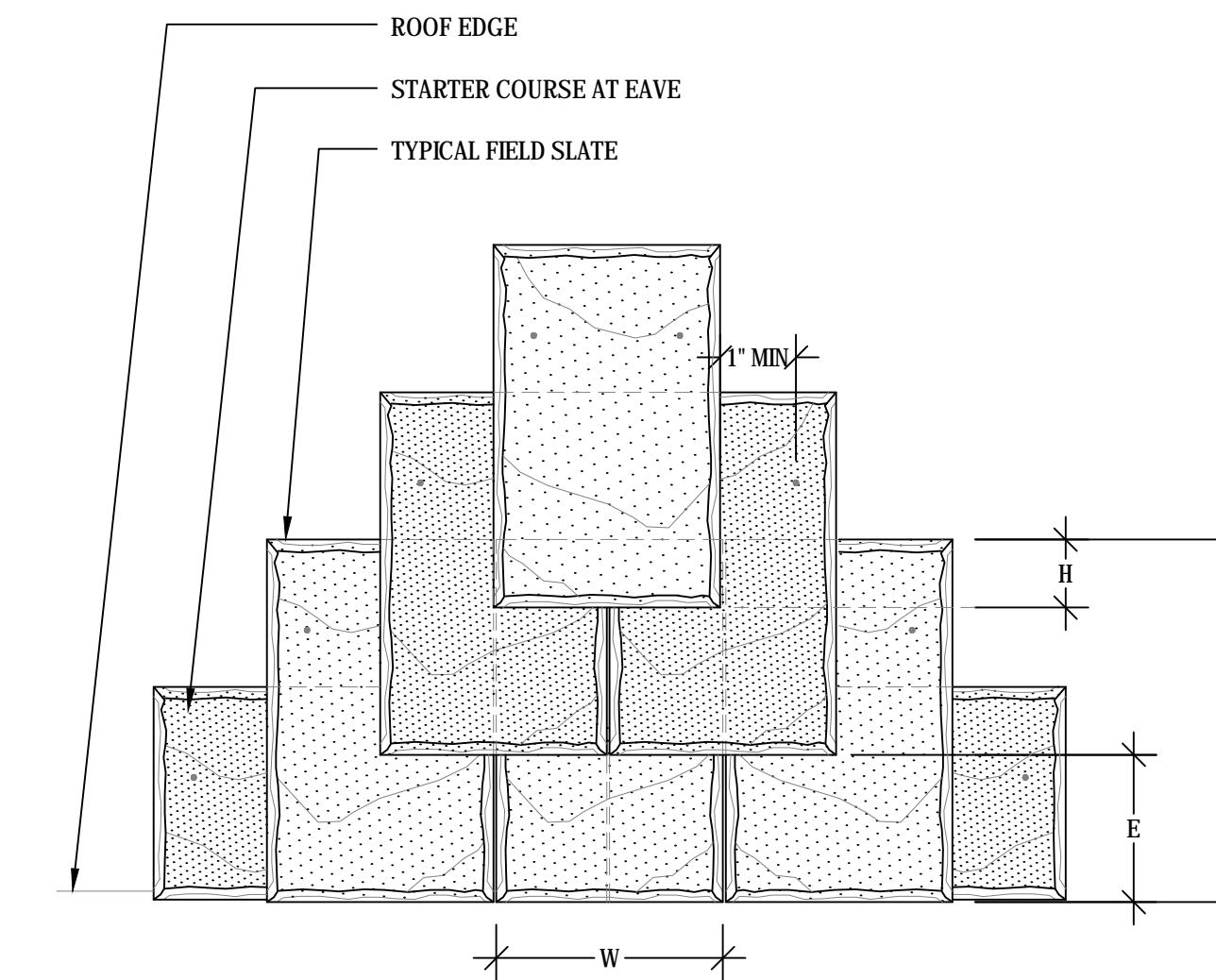
100%

FIELD SLATE

SLATE LENGTH	SLATE WIDTHS	SLATE EXPOSURE	HEAD LAP
22"	11"	9"	4"

STARTER SLATE

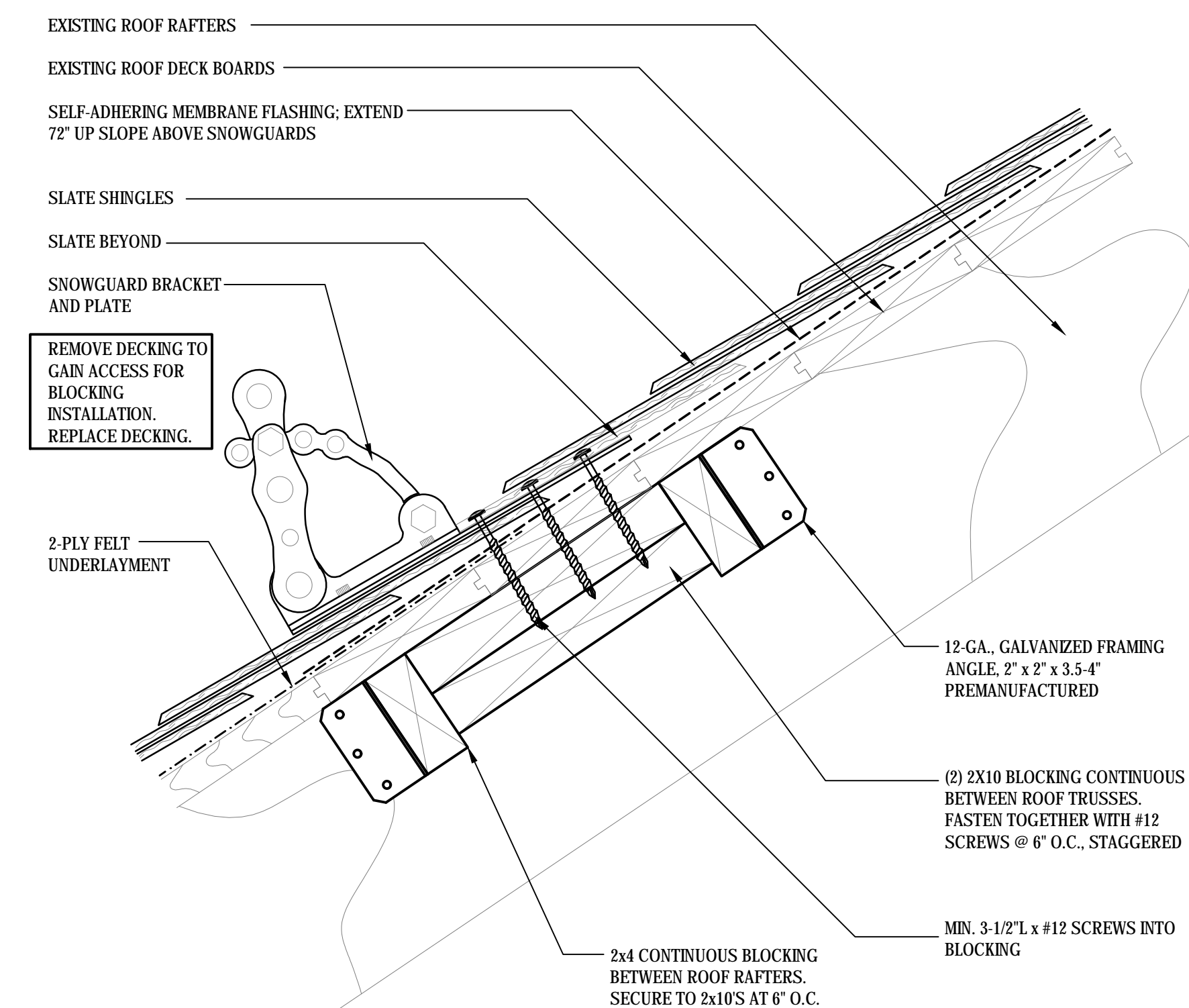
SLATE LENGTH	SLATE WIDTH	SLATE EXPOSURE	HEAD LAP
11"	22"	9"	4"



3 SLATE LAYOUT - MAIN ROOF AND DORMERS

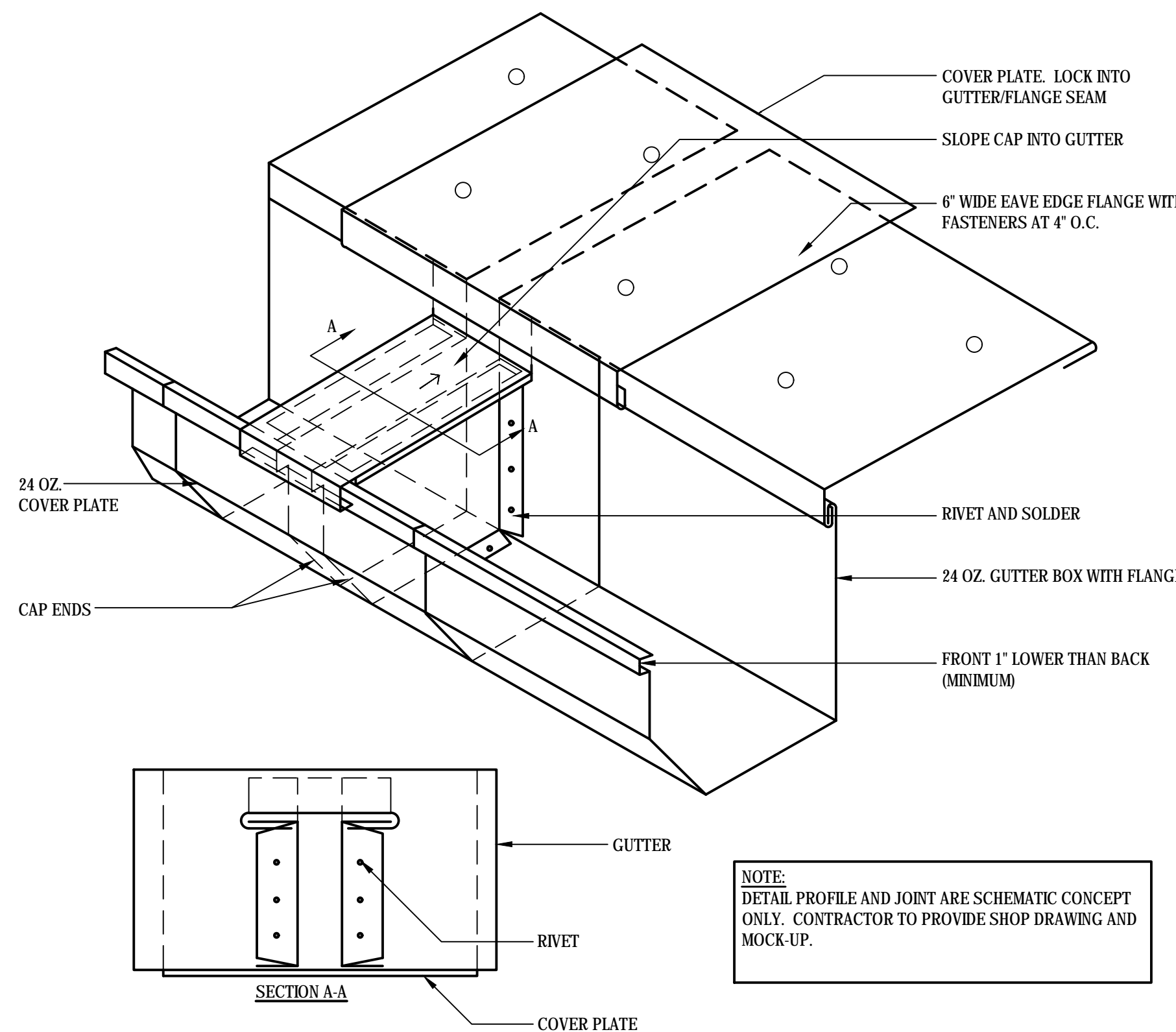
SCALE: NOT TO SCALE
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

ROOF AREAS: B, C, D, E, F, J, K, & L
DORMER ROOF AREAS: A, H, G, & I



4 PIPE-STYLE SNOWGUARD BLOCKING DETAIL

SCALE: 3"=1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



NOTE: DETAIL PROFILE AND JOINT ARE SCHEMATIC CONCEPT ONLY. CONTRACTOR TO PROVIDE SHOP DRAWING AND MOCK-UP.

5 GUTTER EXPANSION JOINT DETAIL

SCALE: NOT TO SCALE
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

LEGEND

L - LENGTH OF SLATE SHINGLE
E - EXPOSURE OF SLATE
H - HEADLAP OF SLATE (AMOUNT OF SHINGLE COVERED BY SHINGLE TWO COURSES ABOVE)
W - WIDTH OF SLATE SHINGLE

SLATE COLOR

BLACK

100%

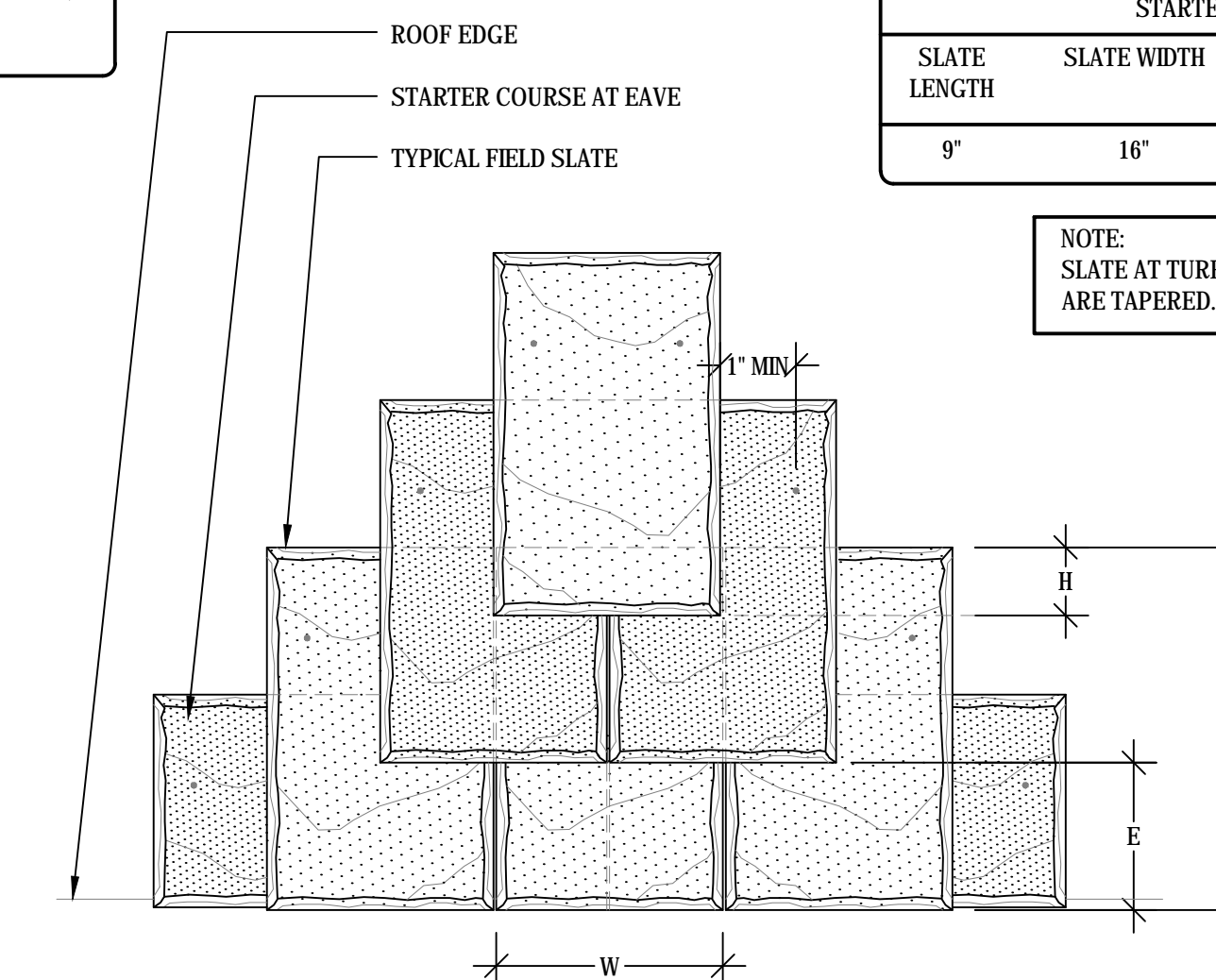
FIELD SLATE

SLATE LENGTH	SLATE WIDTHS	SLATE EXPOSURE	HEAD LAP
16"	9"	6 1/2"	3"

STARTER SLATE

SLATE LENGTH	SLATE WIDTH	SLATE EXPOSURE	HEAD LAP
9"	16"	6 1/2"	3"

NOTE: SLATE AT TURRETS VARY IN WIDTH AND ARE TAPERED. SEE DETAIL 5/A504.

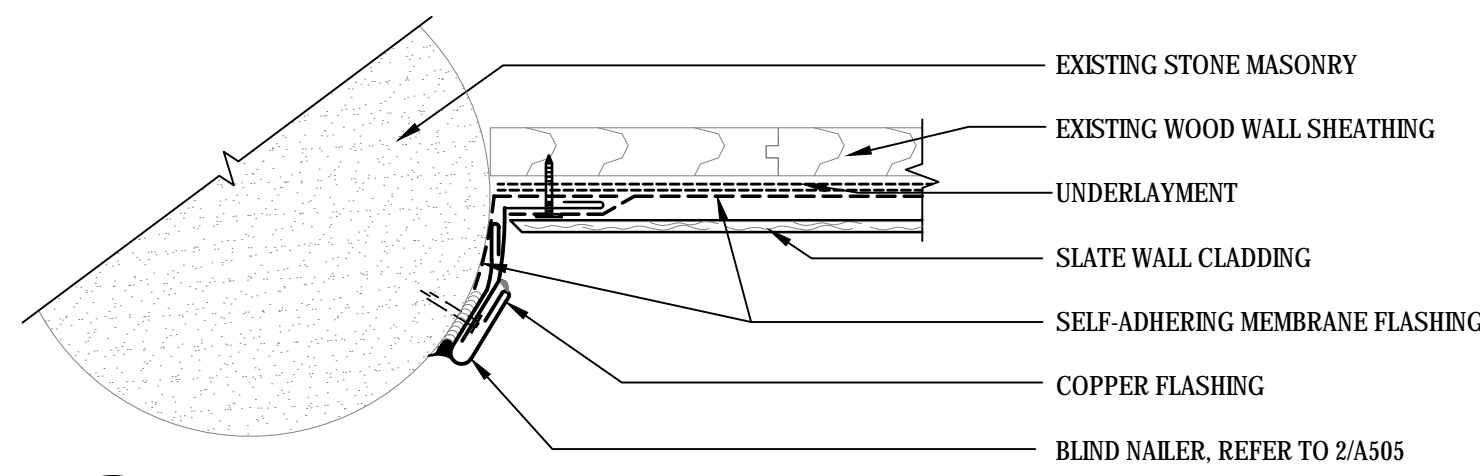


6 SLATE LAYOUT - TURRETS AND DORMER WALLS

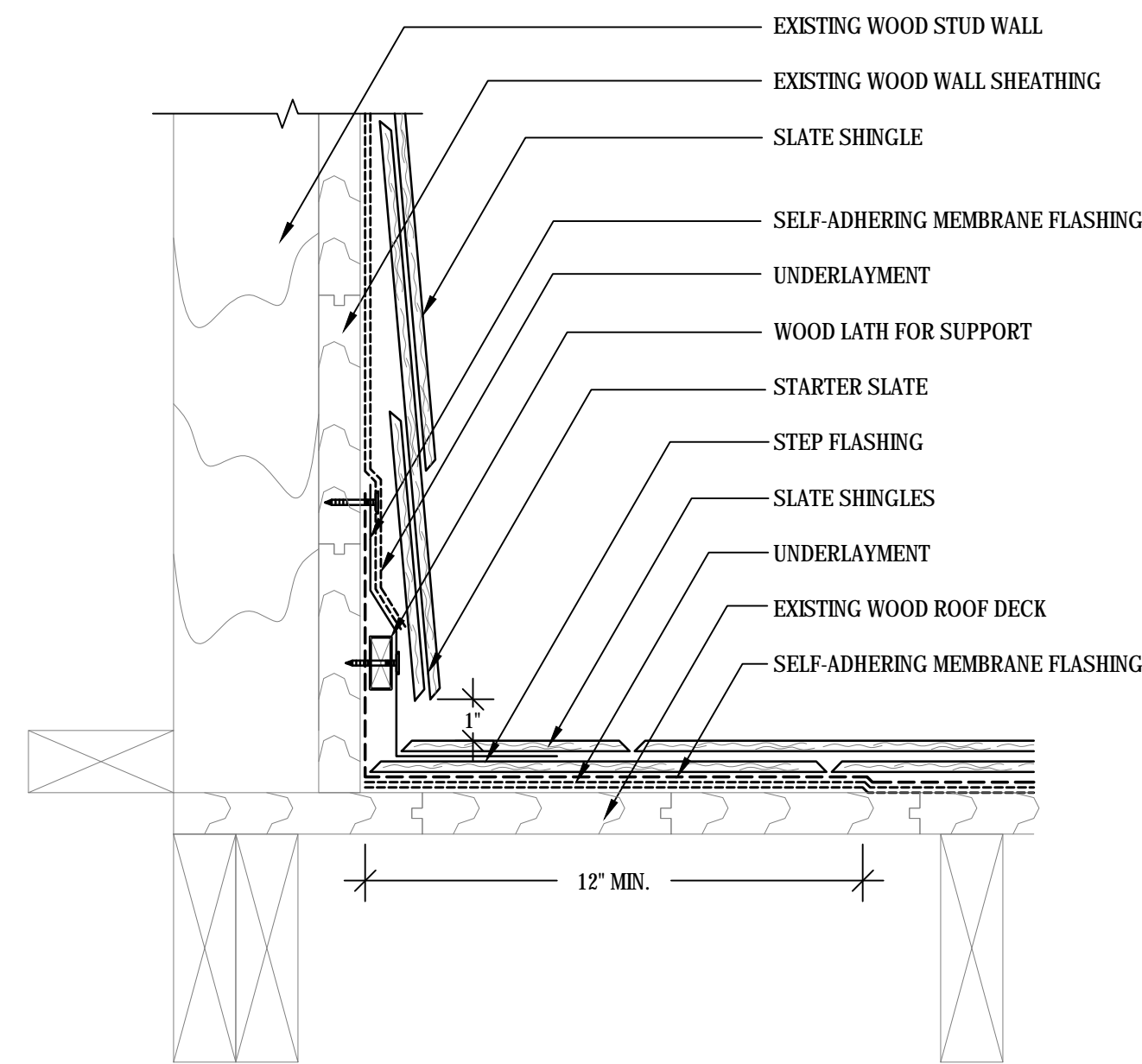
SCALE: NOT TO SCALE
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

TURRET ROOF AREAS: M & N

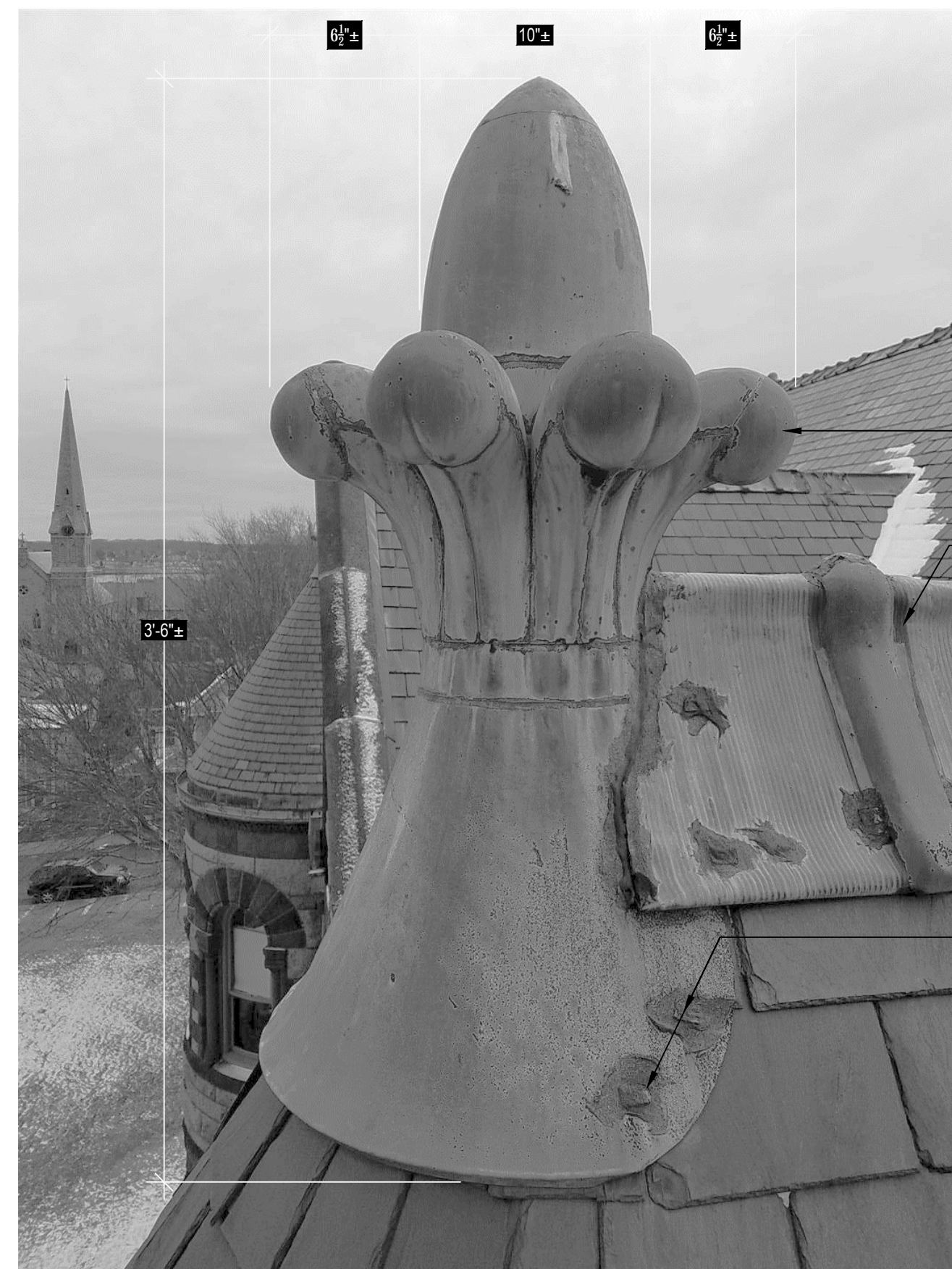
drawing title DETAILS		STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
professional seal	REVISIONS	drawing prepared by GALE CONSULTANTS, INC. 703 HEBRON AVENUE GLASTONBURY, CONNECTICUT 06033	date 12/20/2019
	mark	date	description
	project ROOF REPAIR/REPLACEMENT NEW LONDON SUPERIOR COURT 112 BROAD STREET, NEW LONDON CT NEW LONDON, CONNECTICUT CAD no. BI-JD-369 - 977020 A500s project no. BI-JD-369 GALE NO. 977020		
drawing no. A503			AS NOTED drawn by JSD/MDF approved by MAL drawing no.



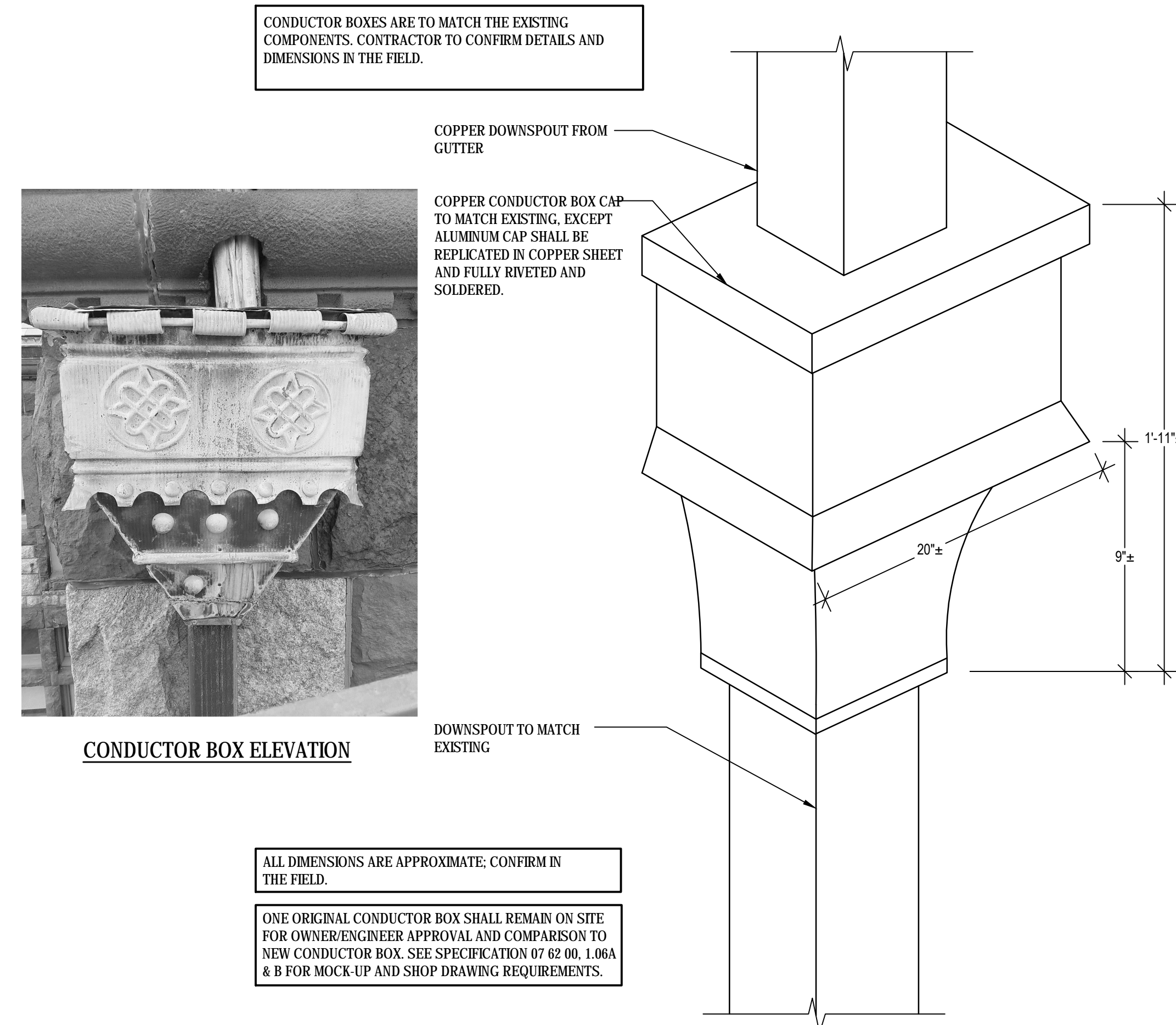
1.A SLATE TO STONE MASONRY FLASHING DETAIL - PLAN VIEW
SCALE: 3"-1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



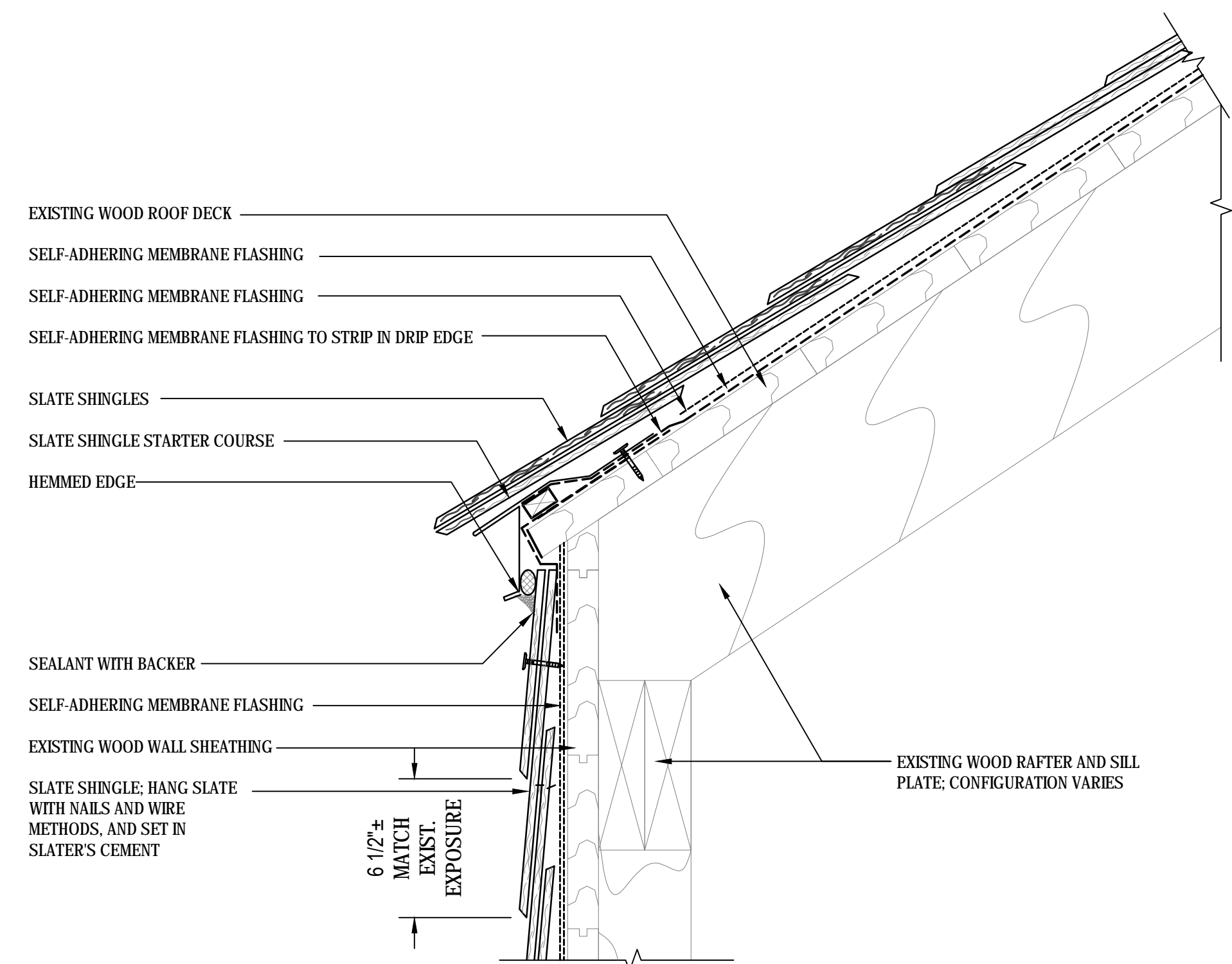
1 ROOF TO DORMER WALL DETAIL
SCALE: 3"-1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



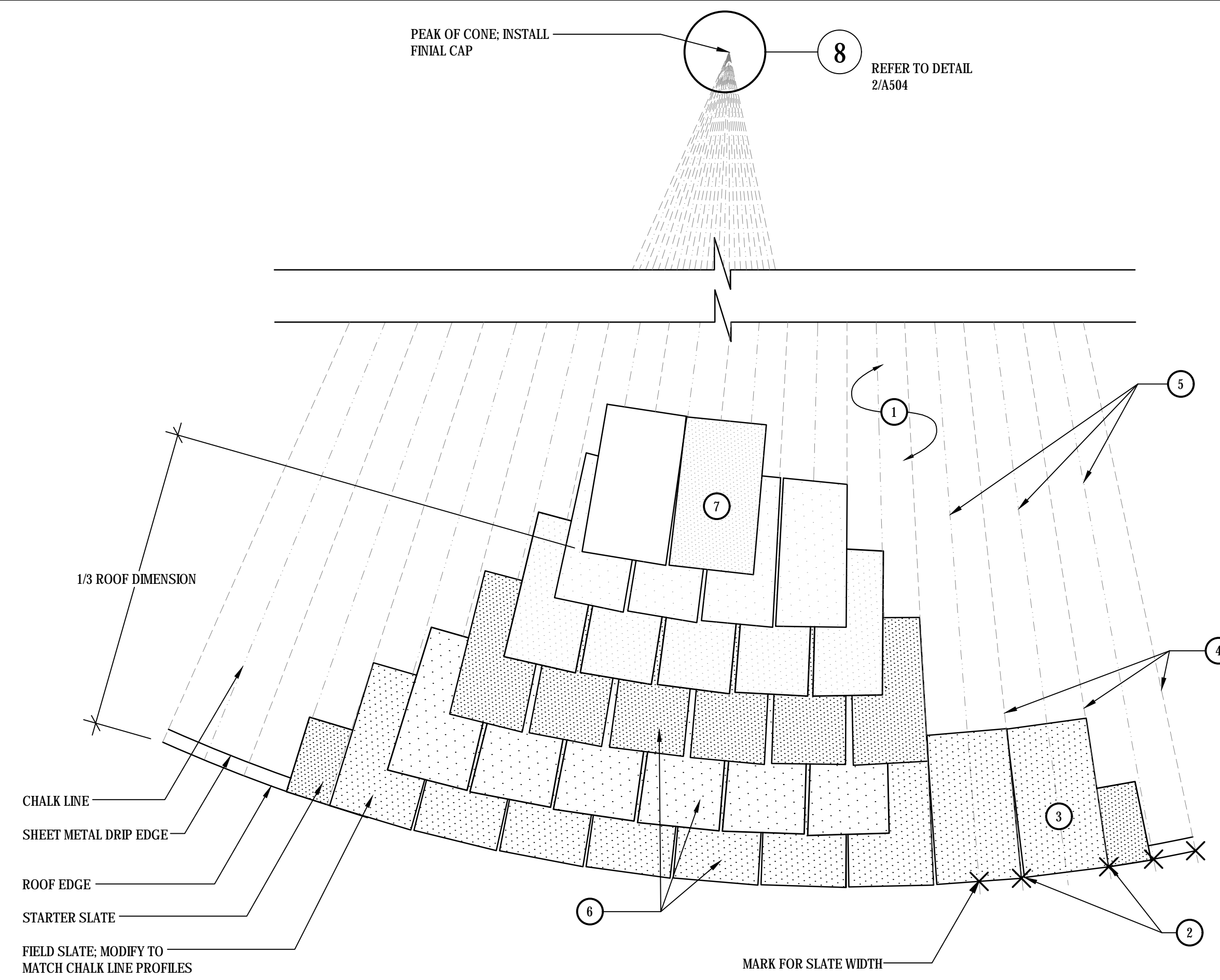
2 FINIAL CAP ELEVATION PHOTO
SCALE: NOT TO SCALE
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



3 CONDUCTOR BOX ISOMETRIC DETAIL
SCALE: NOT TO SCALE
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



4 ROOF TO WALL DORMER EAVE DETAIL
SCALE: 3"-1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



5 TURRET/CONE INSTALLATION DIAGRAM
SCALE: NOT TO SCALE
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

- INSTALLATION NOTES:
- INSTALL THE UNDERLAYMENTS ON THE ROOF DECK AND SNAP CHALK LINES PERPENDICULAR TO ROOF EDGE FROM THE PEAK OF THE CONE.
 - MEASURE FROM THE SNAPPED LINE, AND MARK IN INCREMENTS OF THE SLATE SHINGLE WIDTH AROUND CONE PERIMETER (TAKE INTO ACCOUNT FOR DRIP EDGE CONFIGURATION).
 - ADJUST WIDTH OF THE SLATE LAYOUT LINES WHERE CONES MEET FLAT SLOPED ROOF IF EQUAL INCREMENTS CAN NOT BE OBTAINED. IF ADJUSTMENTS ARE REQUIRED, REDUCE BY NO MORE THAN ONE INCH (1") PER MARK.
 - SNAP ALL VERTICAL LINES BASED ON THE MARK LAYOUTS FROM THE ROOF EDGE TO THE PEAK OF THE CONE. WIDTHS OF SLATES SHALL REDUCE AS COURSES ARE INSTALLED UP AND LINES BECOME NARROWER. TAPER EDGES TO ALIGN ACCURATELY WITH LINES.
 - PERFORM THE TASKS OUTLINED ABOVE FOR ALL SUBSEQUENT SLATE SHINGLE COURSEINGS USING DIFFERENT COLORED CHALK LINES. TASKS ARE TO BE CARRIED TO THE PEAK OF THE CONE.
 - BEGIN INSTALLATION OF THE SLATE STARTER COURSES AND SLATE SHINGLES OVER THE UNDERLAYMENT BY CUTTING THE SLATES TO MATCH THE PROFILE OF THE CHALK LINES.
 - AT 1/3 INTERVALS UP THE CONE ROOF, INSTALL LARGER "JUMPER" SLATES TO MATCH ALIGN EVERY OTHER VERTICAL REFERENCE LINE. DO NOT SIZE JUMPER SLATES ANY CLOSER THAN 1" FROM VERTICAL JOINTS BELOW.
 - INSTALL METAL FINIAL CAP ON THE PEAK OF THE CONE TO COVER THE UPPER SLATE SHINGLE COURSE. REFER TO DETAIL 2/A504.

NOTE:
SLATE VERTICAL EDGES TO BE TAPERED FOLLOWING VERTICAL LAYOUT LINES.

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project ROOF REPAIR/REPLACEMENT NEW LONDON SUPERIOR COURT 112 BROAD STREET, NEW LONDON CT		drawing no. JSD/MDF	approved by MAL
NEW LONDON, CONNECTICUT		drawing no. A504	
CAD no. BI-JD-369 - 977020 A500s	project no. BI-JD-369	GALE NO. 977020	

NOTES:

1. CENTER PINS IN STONES. PROVIDE PINS IN ALL STONE-TO-STONE LOCATIONS.
2. PROVIDE 1-1/2" MIN. COVER ON PINS IN ALL CASES.
3. ALL STONES RESET SHALL BE SET IN FULL BED OF MORTAR.
4. SOUND/INSPECT REMOVED STONES AND SUPPORTING STONES FOR DAMAGES/CRACKS, SPALLS, SPLITS. REPORT DEFECTS IN STONES TO OWNER/ENGINEER.
5. REMOVE ALL EXISTING PINS IN STONES REMOVED AND THOSE EXPOSED DURING THE WORK.



STONE TYPE 'B'
REPLACE SPLIT STONE

REPLACE STONE

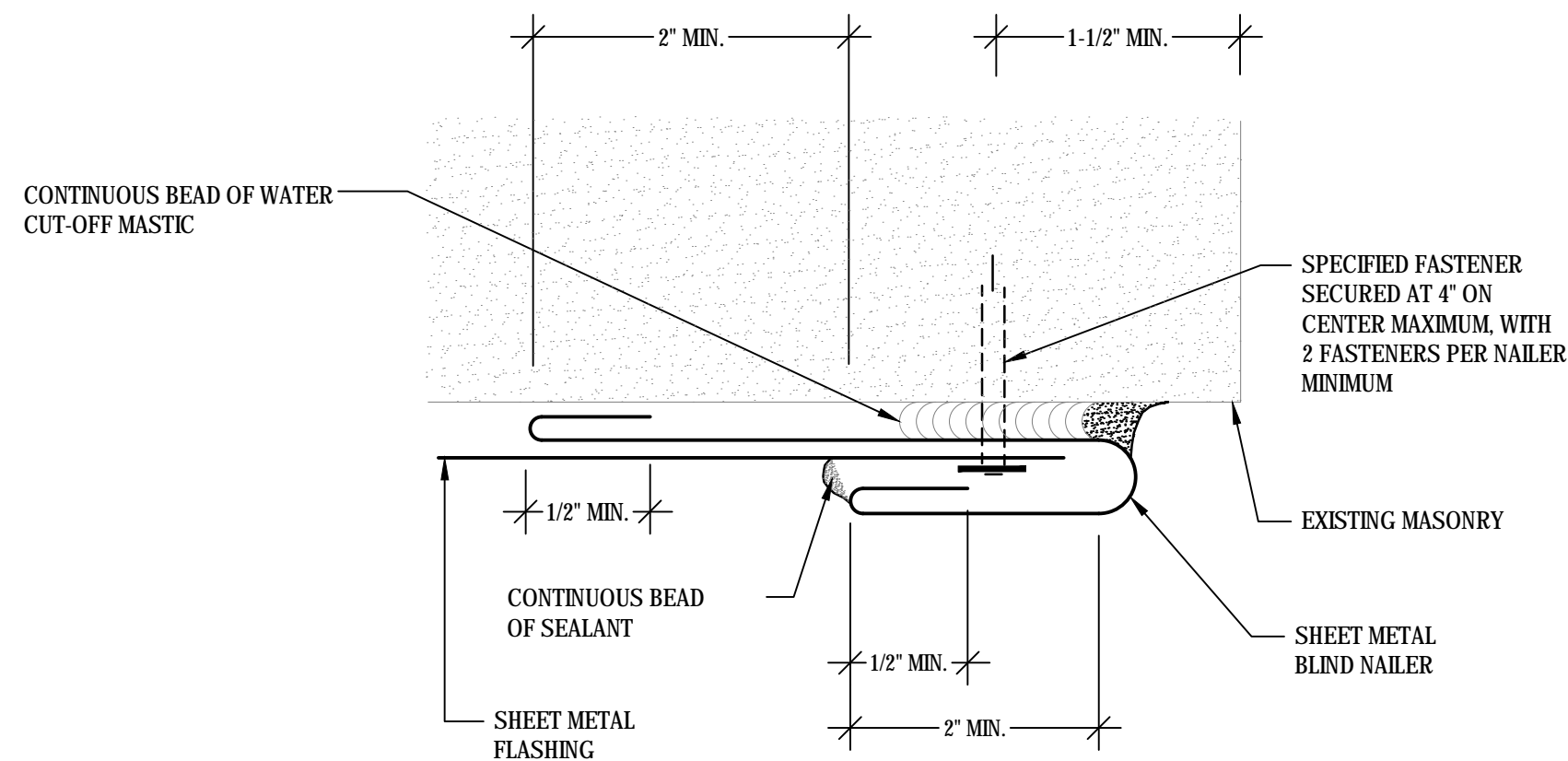
AS PART OF STONE TYPE 'A' REPLACEMENT. REMOVE AND REINSTALL ADJACENT STONES.

STONE TYPE 'A'
REPLACE SPLIT STONE

PHOTO IS FOR REFERENCE FOR TYPICAL STONE TYPE SHAPES AND CONFIGURATIONS AND DOES NOT INDICATE ACTUAL UNITS TO BE REPLACED.

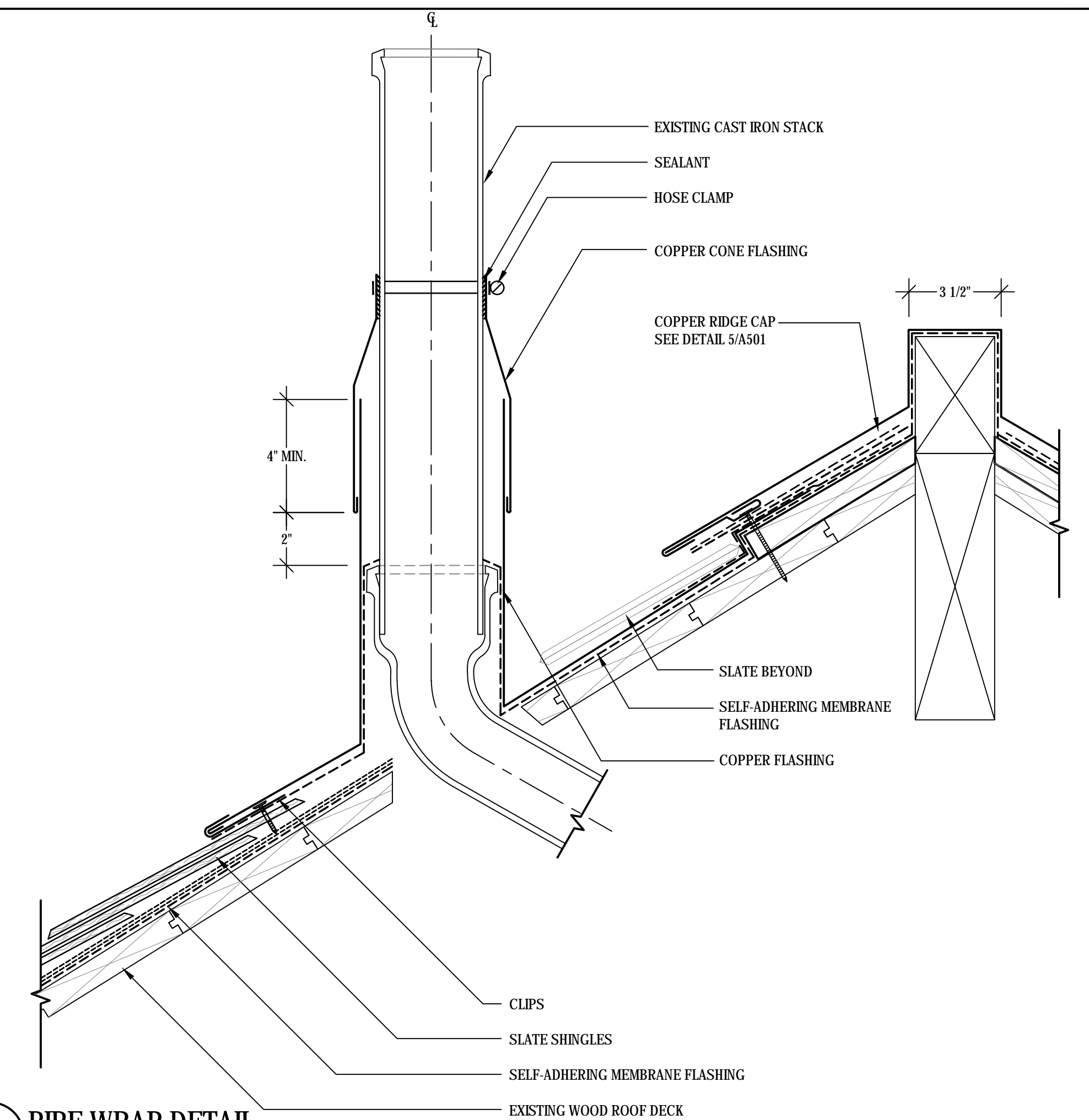
1 STONE TYPES

SCALE: NOT TO SCALE



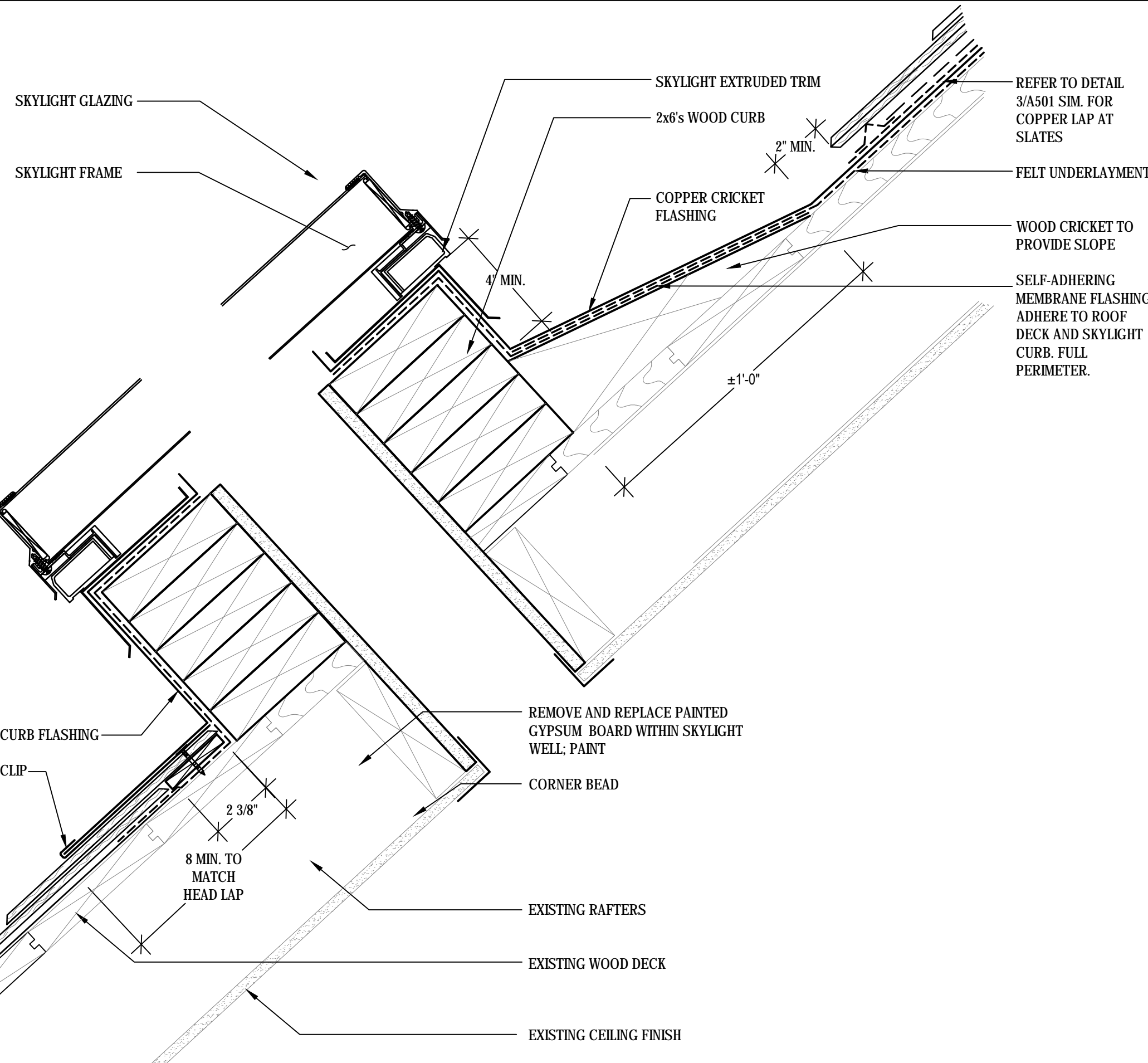
2 BLIND NAILER

SCALE: 3"-1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



3 PIPE WRAP DETAIL

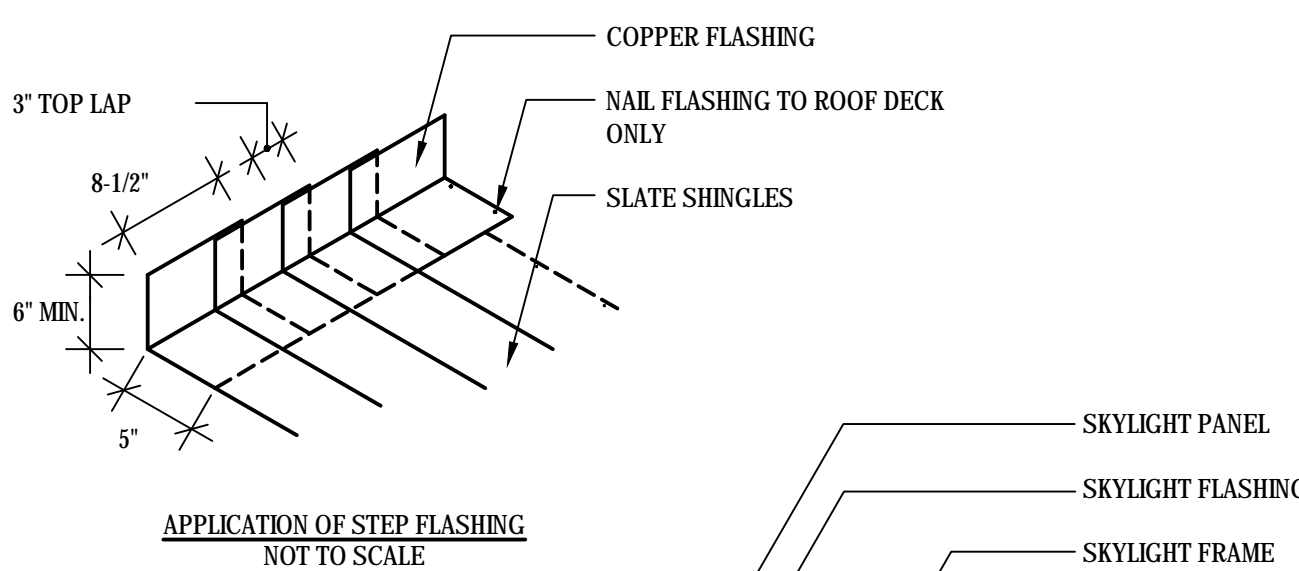
SCALE: 3"-1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



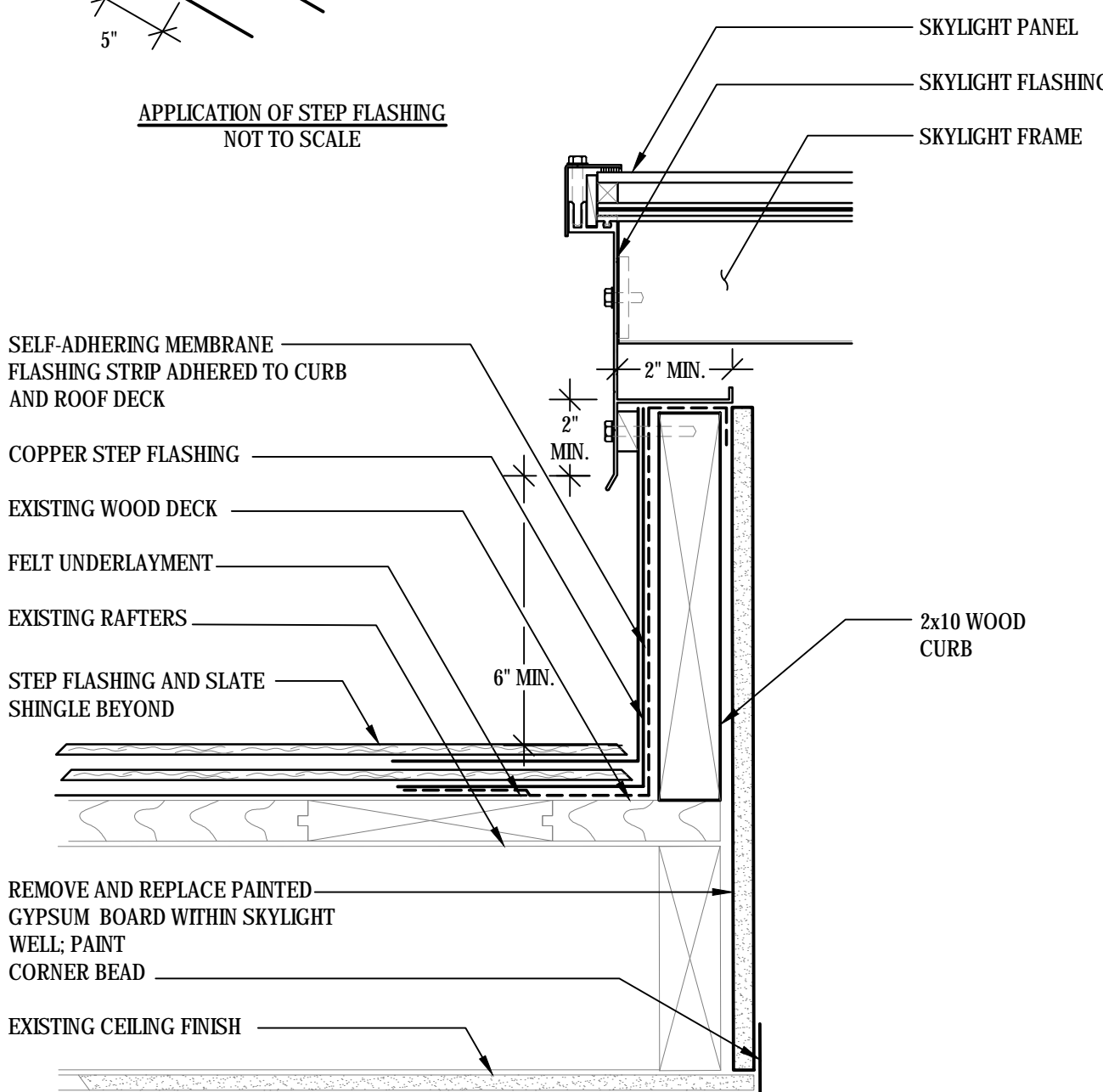
4 SKYLIGHT DETAIL

SCALE: 3"-1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

SUPPLEMENTAL BID NO. 2 SHOWN;
SUPPLEMENTAL BID NO. 3: PROVIDE COPPER CLAD SKYLIGHT
BASE BID: REPLACE CURB FLASHINGS; SKYLIGHT SHALL REMAIN.



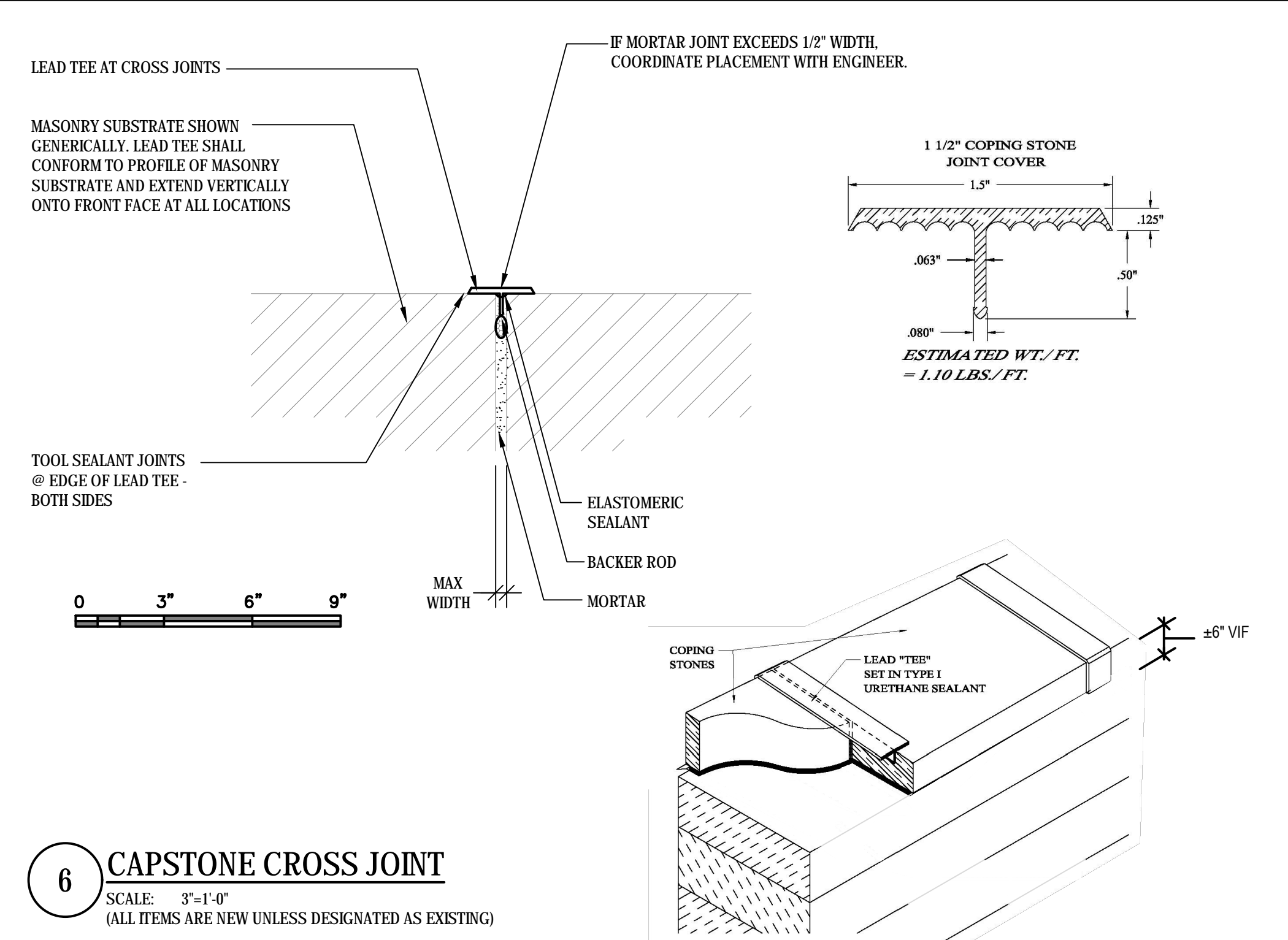
APPLICATION OF STEP FLASHING
NOT TO SCALE



5 SKYLIGHT STEPPED JAMB FLASHING DETAIL

SCALE: 3"-1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

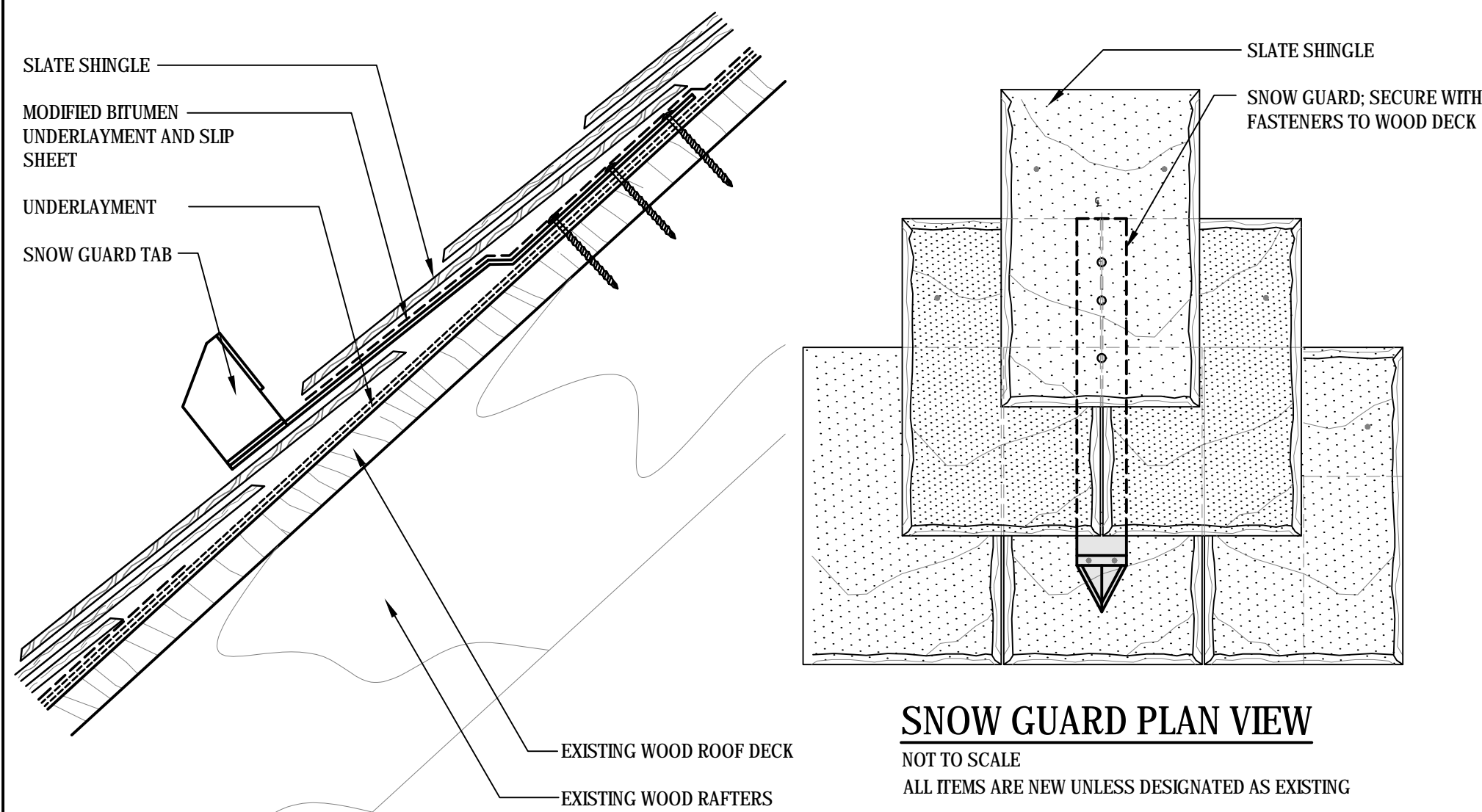
SUPPLEMENTAL BID NO. 2:
SUPPLEMENTAL BID NO. 3: PROVIDE COPPER CLAD SKYLIGHT
BASE BID: REPLACE CURB FLASHINGS ONLY; SKYLIGHT SHALL REMAIN.



6 CAPSTONE CROSS JOINT

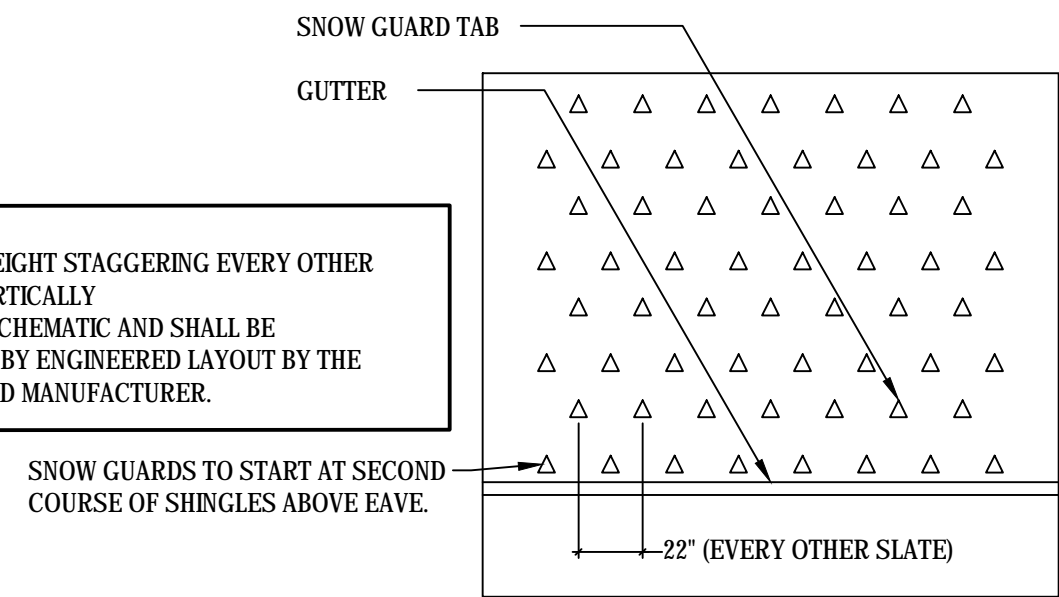
SCALE: 3"-1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

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drawing no. A505			date 12/20/2019 scale 3"-1'-0" drawn by JSD/MDF approved by MAL drawing no. A505
CAD no. BI-JD-369 - 977020 A500s		project no. BI-JD-369 GALE NO: 977020	



SNOW GUARD PLAN VIEW
NOT TO SCALE
ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING

NOTE:
1. RUN FULL HEIGHT STAGGERING EVERY OTHER COURSE VERTICALLY
2. LAYOUT IS SCHEMATIC AND SHALL BE CONFIRMED BY ENGINEERED LAYOUT BY THE SNOW GUARD MANUFACTURER.



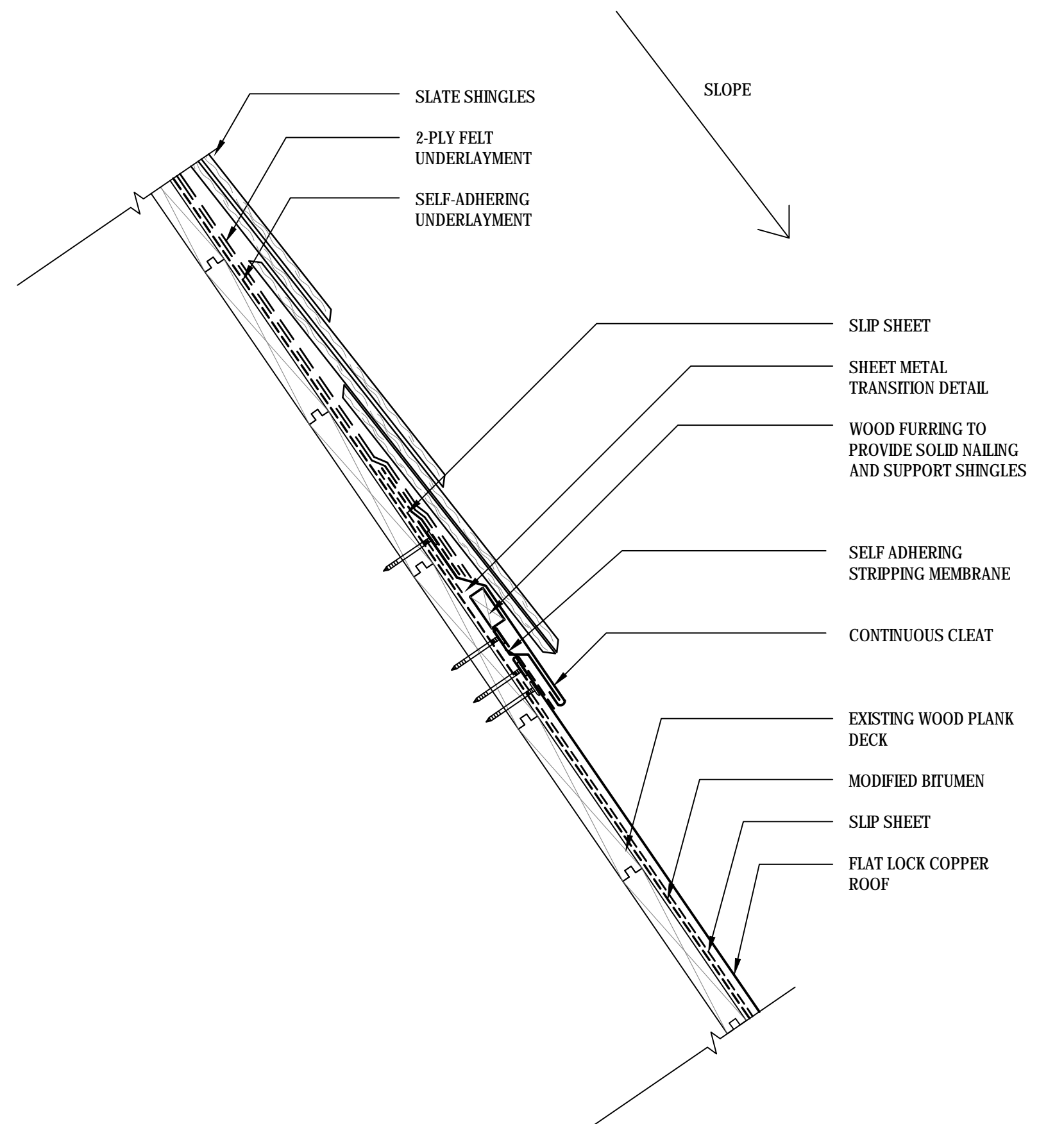
1 SNOW GUARD TAB
SCALE: NOT TO SCALE
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

LAYOUT CONCEPT PLAN OF SNOW GUARDS

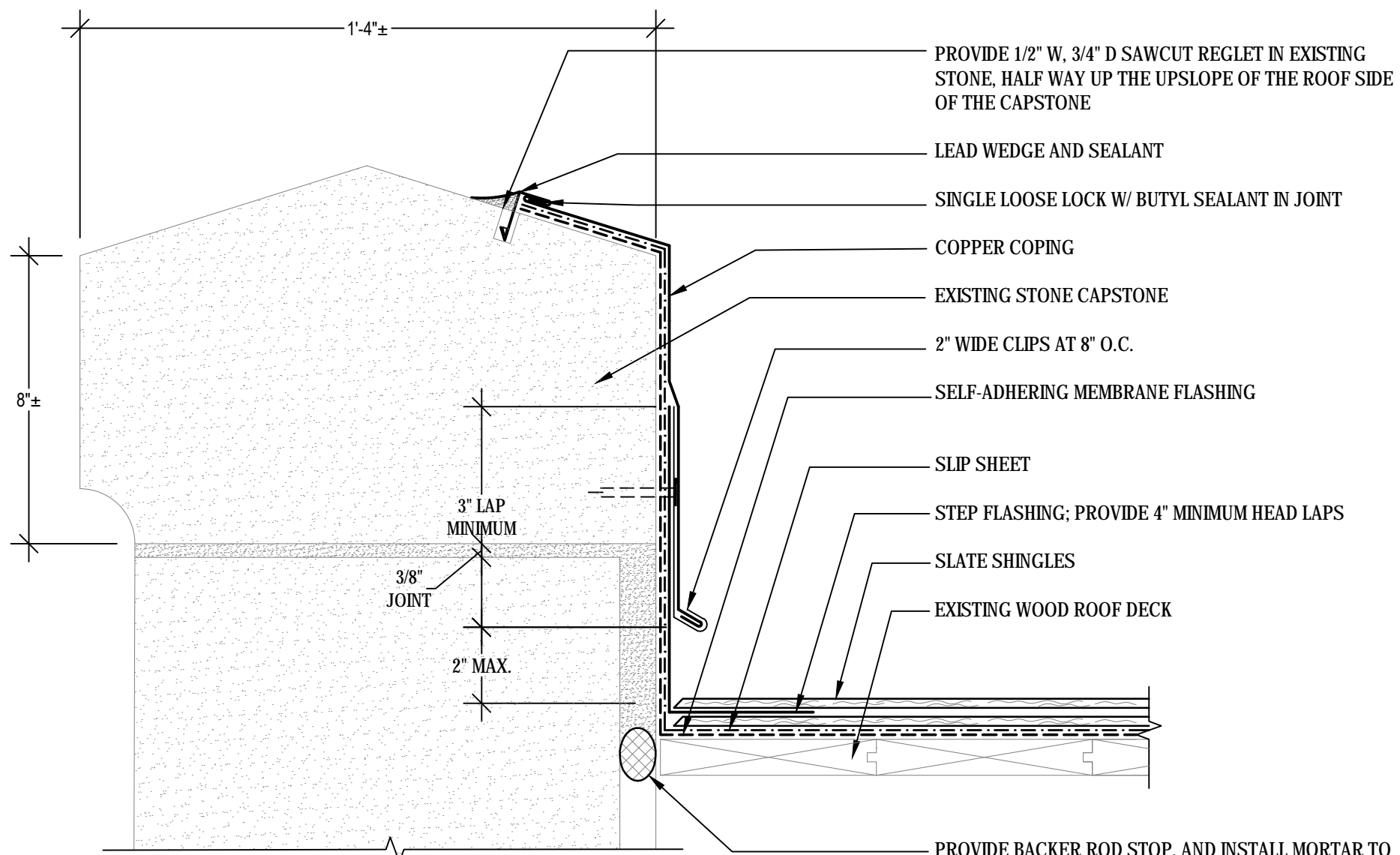


NOTES:
1. UTILIZE EXISTING VENTILATOR TO REPLICATE NEW VENTILATOR IN-KIND. DETAILS ARE TO BE SUBMITTED AND REVIEWED PRIOR TO FABRICATION. NEW UNIT SHALL BE 20 OZ. RED COPPER.
2. FLASH BASE IN ACCORDANCE WITH DETAIL 2/A502.

2 VENTILATOR DETAIL
SCALE: NO SCALE



3 SLATE TO FLAT LOCK ROOFING TRANSITION
SCALE: 3"=1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



PROVIDE 1/2" W. 3/4" D SAWCUT REGLET IN EXISTING STONE, HALF WAY UP THE UPSLOPE OF THE ROOF SIDE OF THE CAPSTONE
LEAD WEDGE AND SEALANT
SINGLE LOOSE LOCK W/ BUTYL SEALANT IN JOINT
COPPER COPING
EXISTING STONE CAPSTONE
2" WIDE CLIPS AT 8" O.C.
SELF-ADHERING MEMBRANE FLASHING
SLIP SHEET
STEP FLASHING, PROVIDE 4" MINIMUM HEAD LAPS
SLATE SHINGLES
EXISTING WOOD ROOF DECK
PROVIDE BACKER ROD STOP, AND INSTALL MORTAR TO FLUSH OUT WITH VERTICAL STONE SURFACE

NOTE: CONDITION SHOWN IS OF SOUTH ROOF ADJACENT TO CHIMNEY C. CAPSTONE PROFILES VARY SLIGHTLY. CAPSTONES AT OTHER LOCATIONS SHALL RECEIVE IDENTICAL WORK AS SHOWN HERE, ADJUSTED SLIGHTLY FOR THE MINOR VARIANCES.

4 SOUTH ROOF CHIMNEY CAPSTONE FLASHING DETAIL
SCALE: 3"=1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



PROVIDE REPLACEMENT COPPER FLASHING INTO EXISTING STONE REGLETTED JOINT. UTILIZE SOFT COPPER TO CONFORM TO STONE SHAPE. PROVIDE BLIND NAILER ON VERTICAL.
MAINTAIN SLATE PATTERN AT CORNER BY ELIMINATING ONE COURSE FOR TRANSITION BETWEEN EAVE AND WALL. REFER TO DETAIL 2/A501 FOR EAVE FLASHING - INSTALL UP ONE COURSE BEYOND LOWEST SLATE ACCORDINGLY.
PROVIDE END DAM AT END RUN OF GUTTERS, TYP. PROVIDE GUTTER STRAP TO REPLACE EXISTING.

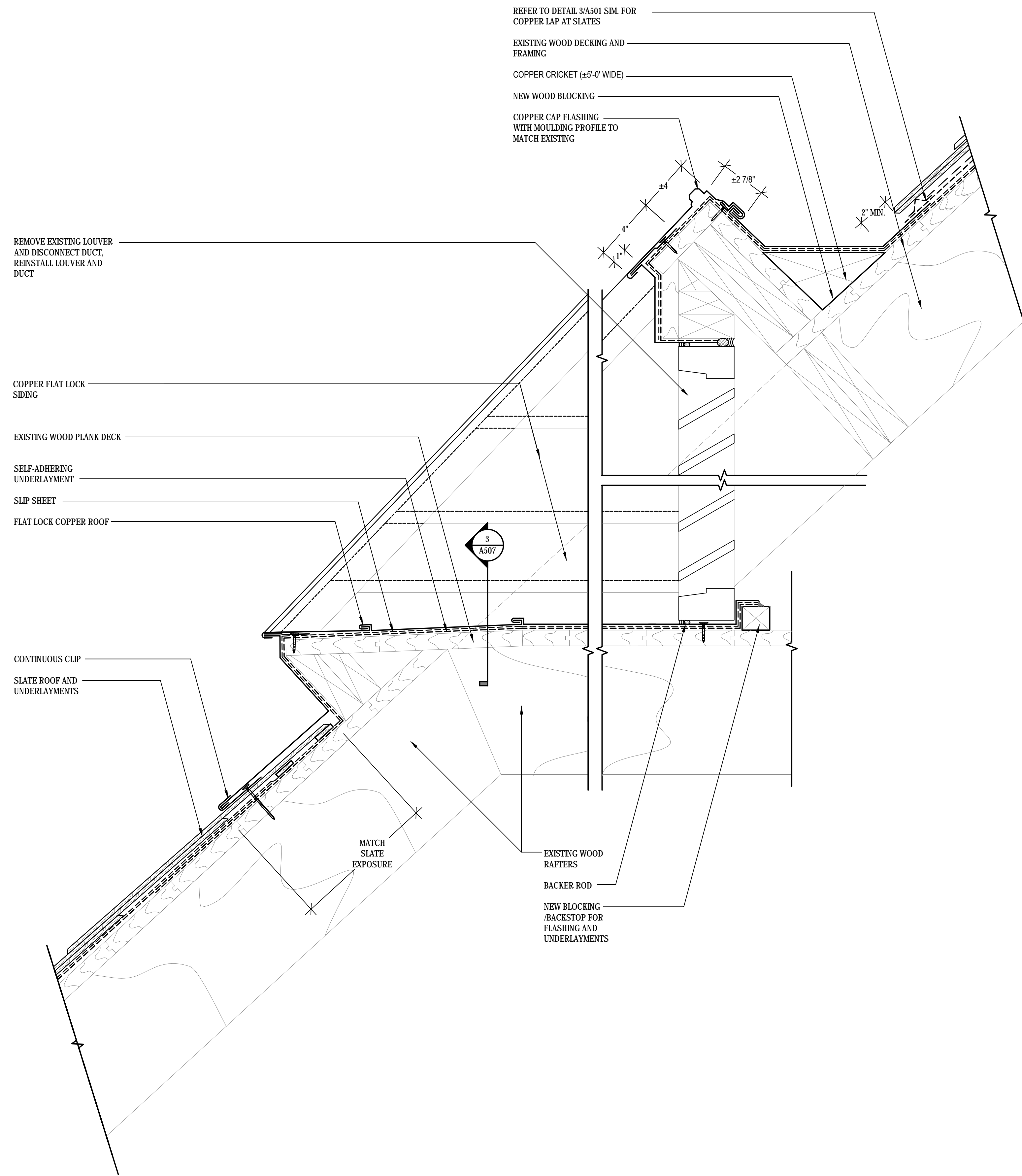
5 PHOTO: ROOF TO STONE POST FLASHING
SCALE: NO SCALE



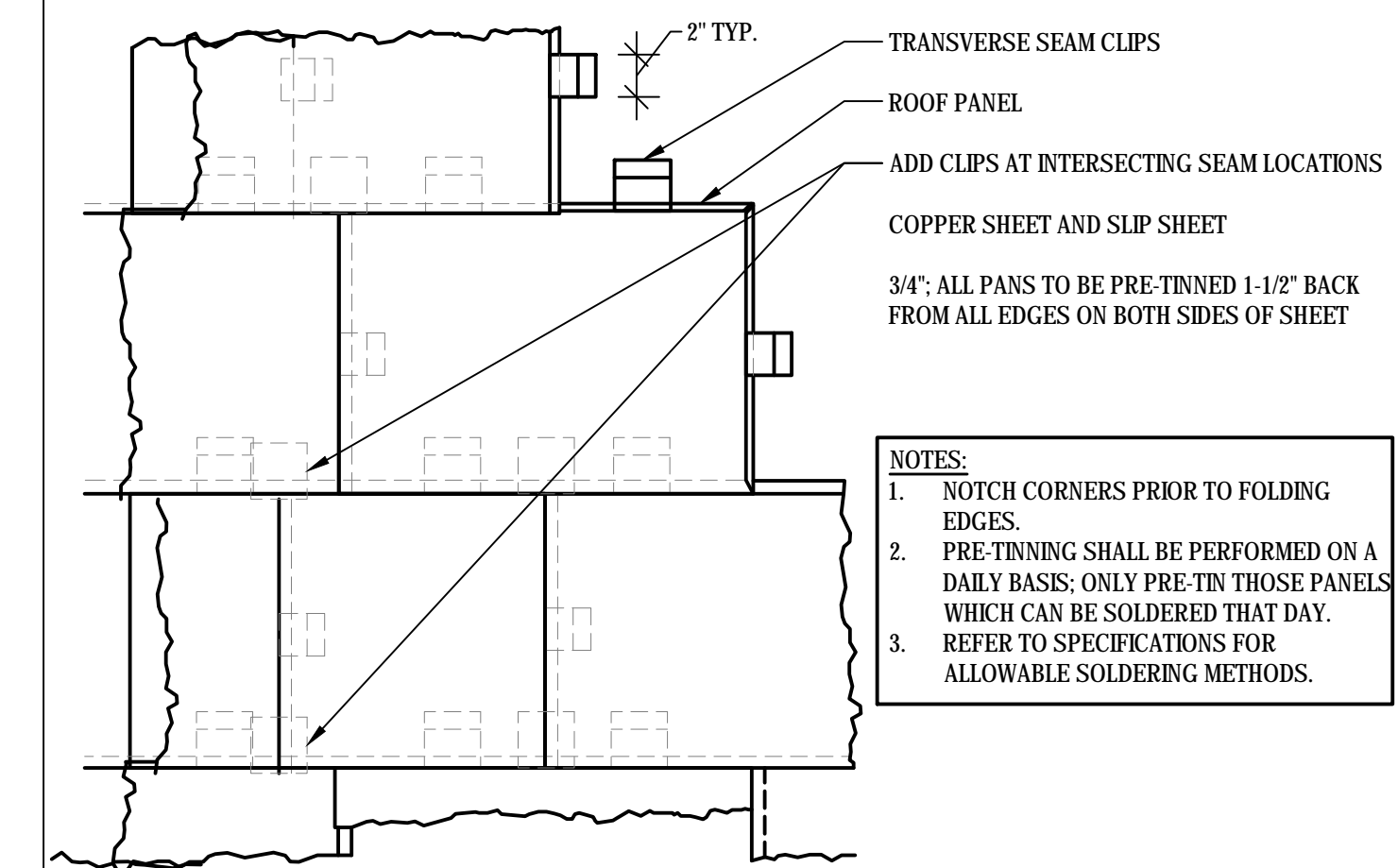
REPLACE STONE TYPE 'B'. SEE DETAIL 1/A505.
REGLETTED COPPER CAPSTONE FLASHING. SEE DETAIL 4/A506.
PROVIDE COPPER FLASHING LAPPED SHINGLE STYLE TO COVER STONE AND CONTINUE ROOFING STEP COUNTERFLASHINGS. TERMINATE INTO NEWLY SAWCUT STONE REGLET AT TOP SURFACE OF STONE. PROVIDE BLIND NAILER ON VERTICAL SURFACE.
PROVIDE COPPER FLASHING TO COVER STONE POST AND CONTINUE ROOFING STEP COUNTERFLASHING. PROVIDE BLIND NAILER ON VERTICAL SURFACE. SIM. TO DETAIL 1/A504.

6 PHOTO: ROOF TO POST BASE FLASHING
SCALE: NO SCALE

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	mark	project ROOF REPAIR/REPLACEMENT NEW LONDON SUPERIOR COURT 112 BROAD STREET, NEW LONDON CT NEW LONDON, CONNECTICUT CAD no. BI-JD-369 - 977020 A500s	scale 3"=1'-0"
	date		drawn by JSD/MDF approved by MAL drawing no. A506
		project no. BI-JD-369 - 977020 A500s	GALE NO: 977020

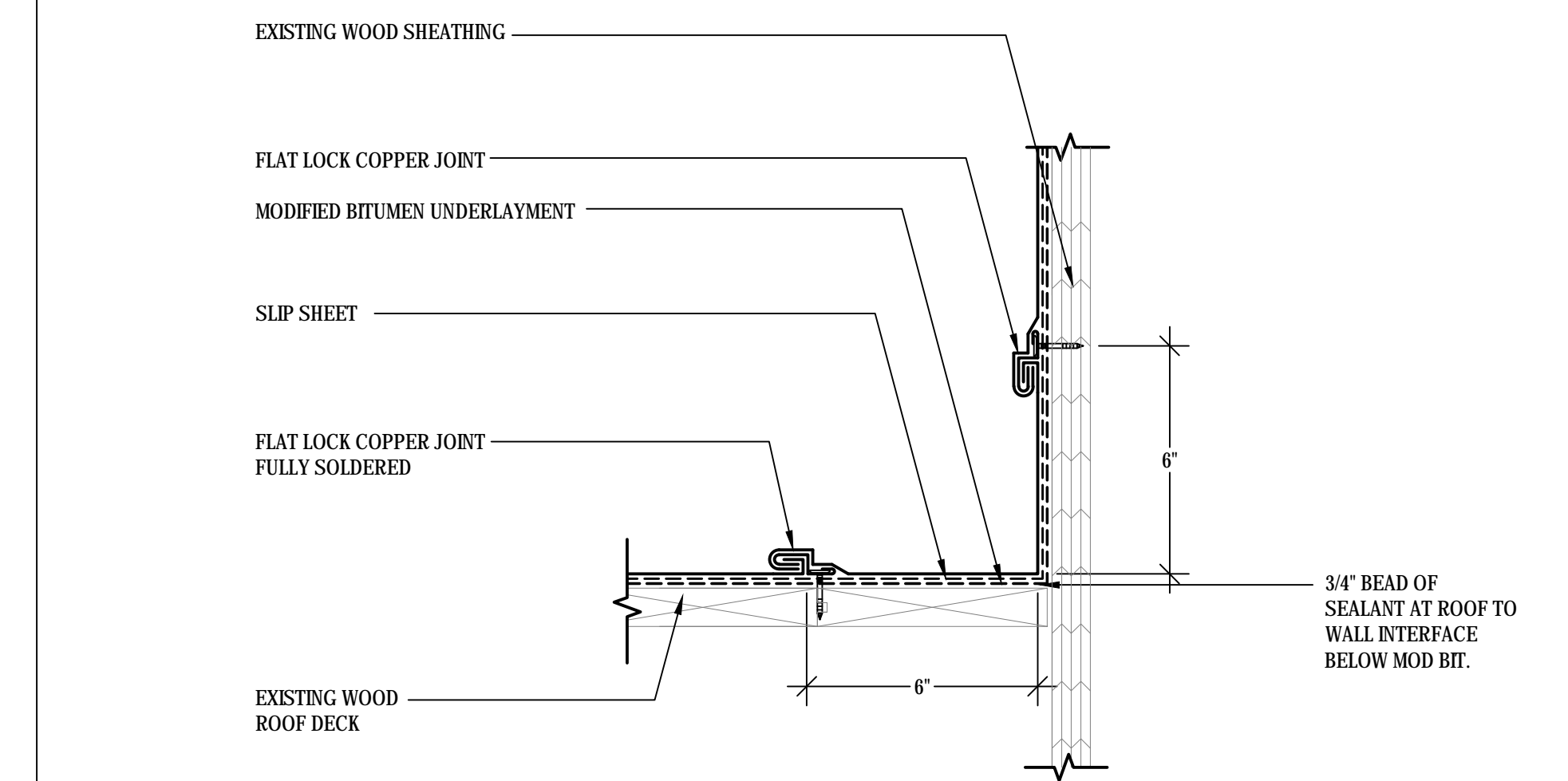


1 RECESSED LOUVER DORMER SECTION
SCALE: 3"=1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

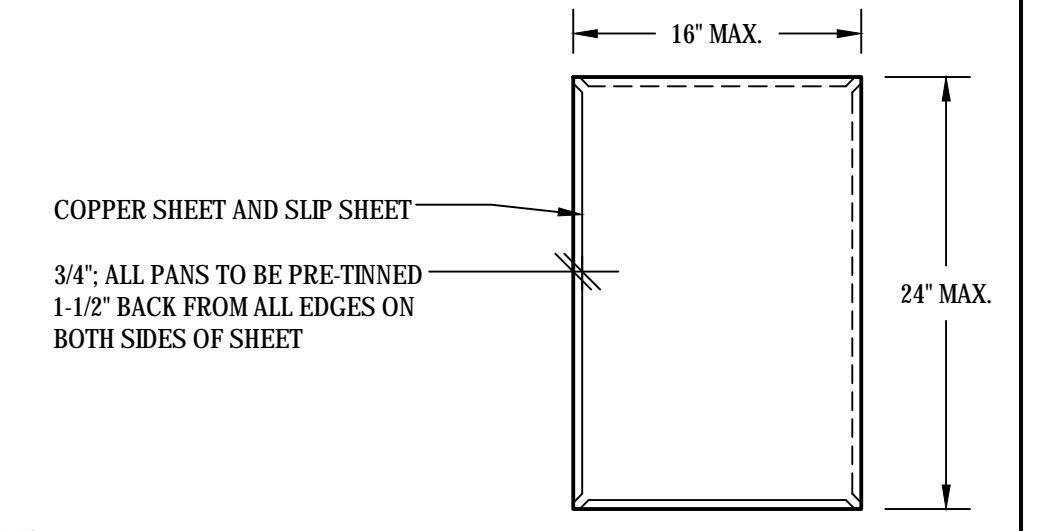


TYPICAL FLAT LOCKED ROOF LAYOUT

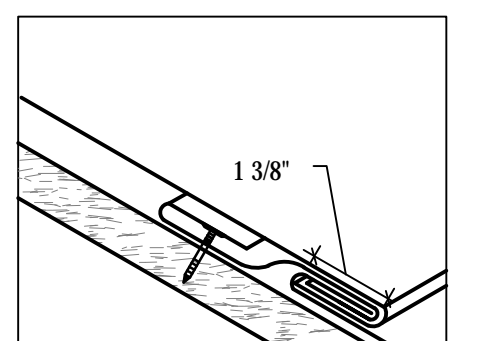
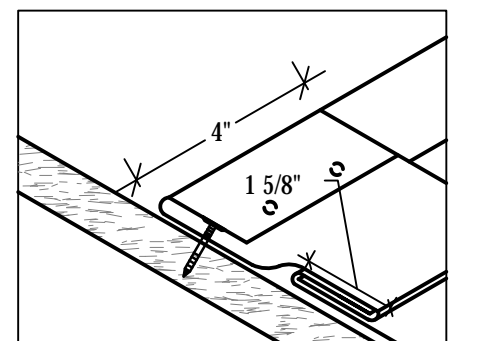
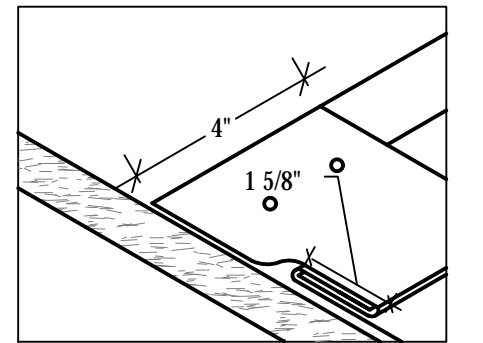
2 SHEET METAL ROOFING DETAILS
SCALE: NOT TO SCALE
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



3 COPPER FLAT LOCK
SCALE: 3"=1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



ROOFING SHEET



FLAT SEAM CONSTRUCTION

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NEW LONDON, CONNECTICUT		approved by MAL	drawing no. A507
CAD no. BI-JD-369 - 977020 A500s	project no. BI-JD-369	GALE NO: 977020	