STATE OF CONNECTICUT



GOVERNOR NED LAMONT

DEPARTMENT OF ADMINISTRATIVE SERVICES JOSH GEBALLE COMMISSIONER

ROOF REPLACEMENT AND WEATHERPROOFING 460 & 470 CAPITOL AVENUE HARTFORD, CT

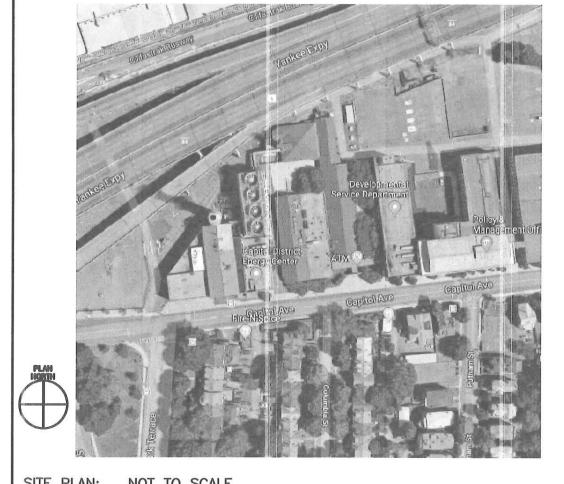
PROJECT NO. BI-2B-433

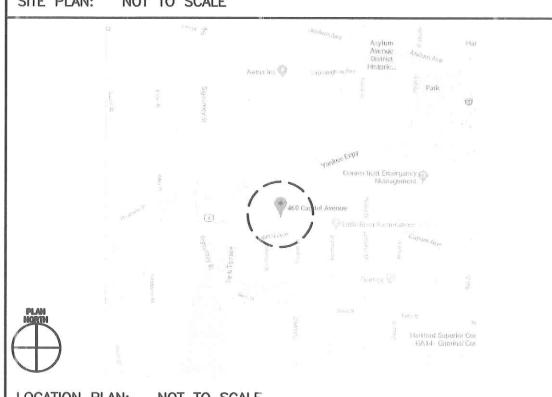
DECEMBER 3, 2018 100% BID DOCUMENTS

ENGINEERS GALE CONSULTANTS, INC. 703 HEBRON AVENUE GLASTONBURY, CONNECTICUT 06033 (860) 430-5660

COVER SHEET GENERAL NOTES AND LEGENDS FLAG POLE PLAN OVERALL ROOF AREA PLAN ROOF AREA PLAN FLOOR PLAN ROOF AREA PLAN PHOTOGRAPHIC ELEVATIONS PHOTOGRAPHIC ELEVATIONS PHOTOGRAPHIC ELEVATIONS PHOTOGRAPHIC ELEVATIONS A502 DETAILS A503 DETAILS A504 DETAILS A505 DETAILS A506 DETAILS A507 DETAILS

CONTRACT DRAWINGS







NOTE: ROOF PLAN SHEET NOTES APPLY TO SHEETS A101, A103, A105, AND A106.

SUPPORT RINGS, SUMP PANS, STRAINERS, AND ASSOCIATED STAINLESS STEEL HARDWARE.

- REMOVE EXISTING ROOF ASSEMBLY DOWN TO THE EXISTING DECK AND PROVIDE NEW ROOF ASSEMBLY PER THE PROPOSED CROSS SECTIONS ON SHEET G101.
- DRAIN REPLACEMENT REMOVE EXISTING ROOF DRAIN BOWLS AND ACCESSORIES. PROVIDE DRAIN LEADER EXTENSIONS AND NEW DRAIN BOWL ASSEMBLIES, RAISED TO ACCOMMODATE NEW/INCREASED ROOF INSULATION. RESTORE EXISTING ROOF DRAIN BOWLS. CLEAN EXISTING DRAIN BOWLS OF DEBRIS, ADHESIVES, ETC. AND CLEAR THE EXISTING LEADERS TO FREE—FLOW CONDITION. PROVIDE NEW CAST IRON ROOF DRAIN COLLAR EXTENSIONS
- REMOVE ALL EXISTING VENT PIPE FLASHINGS. EXTEND VENT PIPES RELATIVE TO FINISHED ROOF SURFACE AS DETAILED AND PROVIDE NEW ROOF FLASHING.

THE EXISTING LEADERS TO FREE-FLOW CONDITION. PROVIDE NEW CAST IRON ROOF DRAIN COLLAR EXTENSIONS,

- REMOVE AND REPLACE EDGE METAL FLASHING. REFASTEN EXISTING WOOD BLOCKING. PROVIDE NEW WOOD

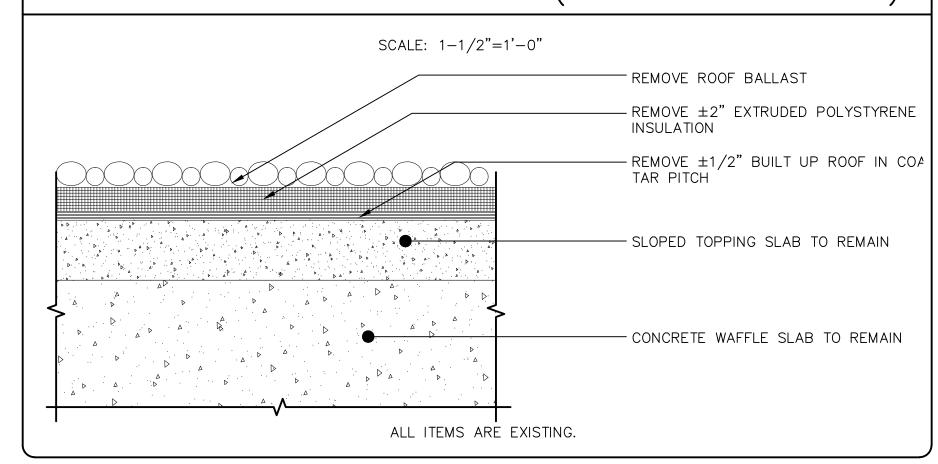
 REPLACE TO ACCOMMODATE NEW (INCREASED BOOK INSULATION PROVIDE 3 PLY STRIPPING OF BOOK FLAN
- BLOCKING TO ACCOMMODATE NEW/INCREASED ROOF INSULATION. PROVIDE 2-PLY STRIPPING OF ROOF FLANGES. REMOVE AND REPLACE ROOF FLASHINGS AT CURBS, TYPICAL. COORDINATE WITH MEP SCOPE REGARDING EXISTING UNITS TO REMAIN, TO BE RAISED ON EXISTING CURBS, TO BE REMOVED OR TO BE REMOVED WITH DECK INFILL.
- $\stackrel{7}{\sim}$ prepare and paint existing exposed steel to remain.
- REMOVE EXISTING POURABLE SEALER BOXES (PITCH POCKETS) AND PIPE SUPPORTS TO DECK LEVEL. PROVIDE NEW ROOF ASSEMBLY CONTINUOUS ACROSS THE ROOF AREA. COORDINATE WITH REMOVAL OF GAS LINE.
- 9 REMOVE EXISTING STEEL DUNNAGE DOWN TO DECK LEVEL.
- 10 provide roof edge overflow scupper by notching the perimeter blocking, 3/A501.
- $\langle 1 \rangle$ provide emergency roof overflow scuppers, detail 2/a505.
- (12) PROVIDE OVERHEAD PROTECTION AT ENTRANCES, EXTEND 8 FEET MINIMUM FROM BUILDING AND/OR ROOF EDGE.
- PROTECT EXISTING OUTDOOR SEATING AND PLANTERS DURING THE PROJECT. COURTYARD IS TO BE CLOSED FOR THE DURATION.
- 44 ACTIVE ROADWAY BELOW THE ROOF EDGE. COORDINATE THE ROOF EDGE WORK WITH THE OWNER.
- EXISTING ROOF NOT IN CONTRACT IS STILL UNDER WARRANTY. THE ROOF REPLACEMENT REQUIRES REPLACING THE TRANSITION BETWEEN THE EXISTING ROOFS. COORDINATE WITH OWNER TO MAINTAIN ROOF WARRANTY.
- (16) ROOF ACCESS DOOR/HATCH IS FOR EMERGENCY ACCESS ONLY.
- (17) CONTRACTOR TO PROVIDE EXTERIOR ROOF ACCESS.
- (18) REFER TO SHEET G103 FOR NEW FLAG POLE AND FOUNDATION.
- CONSTRUCTION ACCESS TO THE ROOF IS FROM THE NORTH SIDE. CONTRACTOR TO PHASE THE WORK, STARTING AT THE SOUTH END OF THE BUILDING AND WORKING NORTH, COORDINATE WITH THE REPLACEMENT OF ROOF AT THE SOUTH END OF THE BUILDING AND WORKING NORTH. COORDINATE WITH THE REPLACEMENT OF ROOF AREAS A AND B SO AS NOT TO TRAFFIC THE NEW ROOFING.
- TRANSITION NEW ALLEY ROOF INTO THE EXISTING ASPHALT SHINGLE ROOF ABOVE. PROVIDE SHEET METAL TRANSITION FLASHING. EXISTING ROOF IS STILL UNDER WARRANTY. COORDINATE WITH OWNER TO MAINTAIN ROOF WARRANTY.
- TERMINATE THE NEW ROOF SYSTEM TO THE CURB AS DETAILED BENEATH THE EXISTING ASPHALT SHINGLE ROOF. PROVIDE NEW COUNTERFLASHING. EXISTING ROOF IS STILL UNDER WARRANTY. COORDINATE WITH OWNER TO MAINTAIN ROOF WARRANTY.
- REMOVE AND REPLACE BUILDING EXPANSION JOINT, FILLER, AND CURB FLASHING. PROVIDE INTERIOR PROTECTION
- REMOVE AND REPLACE SKYLIGHT UNITS WITH OSHA-RATED ASSEMBLIES. PROVIDE WOOD BLOCKING TO ACHIEVE 8 MIN. ROOF FLASHING HEIGHT.
- REMOVE AND DISPOSE OF EXISTING SATELLITE DISH, BALLASTED TRAY, CMU BALLAST, AND CONDUIT.
- EXISTING STAIRS TO REMAIN. REMOVE AND REINSTALL THE ROOF MOUNTING BRACKETS, PROVIDE NEW WOOD

 RECORDED AND MODIES THE EXISTING STAIR BASE TO ACCOMMODATE INCREASED INSULATION SCRAPE BRIM BLOCKING, AND MODIFY THE EXISTING STAIR BASE TO ACCOMMODATE INCREASED INSULATION. SCRAPE. PRIME. AND PAINT STAIRS FULLY.
- CONSTRUCTION ACCESS TO THE ROOF IS FROM THE NORTH SIDE. CONTRACTOR TO PHASE THE WORK, STARTING AT THE SOLITH FUR OF THE BUILDING AND WORKING NORTH COORDINATE REPLACEMENT OF ROOF AREAS D. AND AT THE SOUTH END OF THE BUILDING AND WORKING NORTH. COORDINATE REPLACEMENT OF ROOF AREAS D AND SO AS NOT TO TRAFFIC THE NEW ROOFING.
- RESTORE EXISTING CLERESTORY SKYLIGHTS. PROTECT THE OPENINGS FROM FALL HAZARDS DURING ROOF REPLACEMENT. REPLACE ROOF TO WALL FLASHING, RIDGE FLASHING, AND WALL PANELS AT END WALLS AS DETAILED. REPLACE GLAZING PANELS, NEW PERIMETER SEALS AND MULLION CAPS. SURROUND THE THREE (3) UNITS WITH A BALLASTED SAFETY RAILING AFTER THE RESTORATION IS COMPLETE.
- REMOVE AND REINSTALL SMOKE HATCH UNIT, PROVIDE NEW BLOCKING TO ACCOMMODATE INCREASED ROOF INSULATION. NOTIFY CT DAS/OSFM UPON REINSTALLATION AND PROVIDE ACCESS FOR FUNCTIONAL TEST(S).
- 29 remove and dispose of existing flag pole mount. Remove and cap electric conduit and make safe
- PREPARE AND PAINT THE ROOF ACCESS STAIR. REPLACE/RESEAL THE DOOR THRESHOLD AS DETAILED. REMOVE AND REINSTALL THE ROOF MOUNTING BRACKETS, PROVIDE NEW WOOD BLOCKING, AND MODIFY THE STAIR TO ACCOMMODATE INCREASED INSULATION.
- REMOVE EXISTING CHIMNEY DOWN TO ROOF DECK UP. PROVIDE NEW DECKING/BLOCKING INFILL.
- REMOVE DOOR AND WINDOWS AND PROVIDE WOOD ENCLOSURES AT (1) EACH, 4/A507. PROVIDE LOUVER AT (1) WINDOW, 5/A507.
- REMOVE AND REPLACE WALL BASE FLASHING WITH NEW PLYWOOD SHEATHING, RAISING THE FLASHING HEIGHT TO ACCOMMODATE INCREASED INSULATION.
- REMOVE AND REPLACE ROOF TO WALL FLASHING AS DETAILED WITH NEW PLYWOOD SHEATHING. TERMINATE NEW ROOF MEMBRANE UNDERNEATH EXISTING USING A NEW DRIP EDGE.
- EXTEND ROOF MEMBRANE UP AND OVER THE EXISTING PARAPET AS DETAILED. COORDINATE WITH MASONRY WORK. REFER TO A200 SERIES DRAWINGS.
- PROTECTION DURING MASONRY AND ROOFING WORK ABOVE.
- REMOVE, RAISE, AND REPLACE ROOF COUNTER FLASHING TO ACCOMMODATE NEW ROOF INSULATION. PROVIDE NEW PLYWOOD SHEATHING AND TERMINATE ROOF BASE FLASHING ON RISING WALL BELOW THE COUNTER FLASHING.

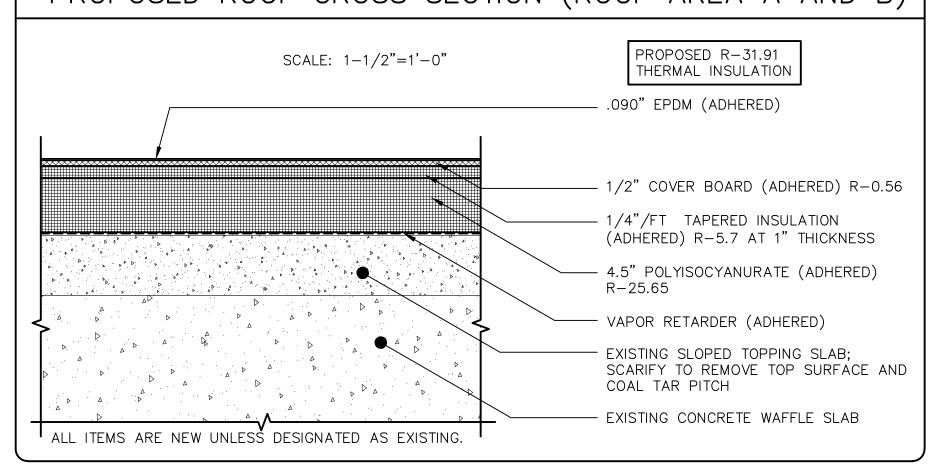
REPLACEMENT OF ROOF AREAS A AND B SO AS NOT TO TRAFFIC THE NEW ROOFING. PROVIDE TEMPORARY

- REMOVE AND REPLACE BUILDING EXPANSION JOINT, FILLER, AND CURB FLASHING. PROVIDE INTERIOR PROTECTION.
- $\stackrel{\textstyle \checkmark}{}_{}^{}$ modify the existing curtain wall sill as detailed in order to raise flashing height.
- 49 remove and reinstall existing conduit in order to replace roof. Coordinate with the owner.
- REMOVE AND REPLACE EXISTING ROOF EDGE SCUPPERS AND DOWNSPOUTS. CONNECT INTO BELOW GRADE LEADER SYSTEM. MATCH EXISTING DOWNSPOUT SIZE AND PROFILES.
- REPLACE ROOF REMOVE EXISTING GRAVEL SURFACED BUILT—UP ROOF DOWN TO THE EXISTING CONCRETE DECK. MECHANICALLY ATTACH INSULATION CRICKETS AND COVER BOARD AND ADHERE NEW 90 MIL ROOF MEMBRANE. PROVIDE NEW EDGE METAL. REMOVE THE EXISTING GUTTER AND DOWNSPOUT AND REPLACE WITH A CENTRAL SCUPPER BOX AND DOWNSPOUT PER 6/A505.
- ROOF AREA NOT IN CONTRACT IS UNDER WARRANTY. COORDINATE WITH THE OWNER, INSTALLER, AND/OR MANUFACTURER TO REMOVE AND DISPOSE OF EXISTING DUCTWORK. PROVIDE NEW DECK INFILL SHEATHING MANUFACTURER TO REMOVE AND DISPOSE OF EXISTING DUCTWORK. PROVIDE NEW DECK INFILL, SHEATHING, UNDERLAYMENT, AND ASPHALT SHINGLES TO MATCH EXISTING. REFER TO EXISTING SHINGLE ROOF INFORMATION.
- MATCH PERIMETER BLOCKING HEIGHT AT LOW CURB WITH ADDITIONAL WOOD BLOCKING LAYERS.
- 45 DISCONNECT, REMOVE, REINSTALL, AND RECONNECT EXISTING WALL-MOUNTED ELECTRICAL BOX AND CONDUIT REPLACE ROOF AND PARAPET FLASHING.
- 46 REMOVE AND DISPOSE OF PARAPET-MOUNTED SAFETY RAILING
- PROVIDE ADHERED ROOF PROTECTION OVERLAY MEMBRANE AT ROOF CURBS AND 3'-0" OUT ONTO ROOF, ALL SIDES. PROVIDE ROOF PAVERS SURROUND AT EACH UNIT.
- REMOVE ABANDONED VENT PENETRATION AND INFILL WALL SHEATHING AND INTERIOR WOOD FINISHES IN ACCORDANCE WITH SECTION 06 10 00.

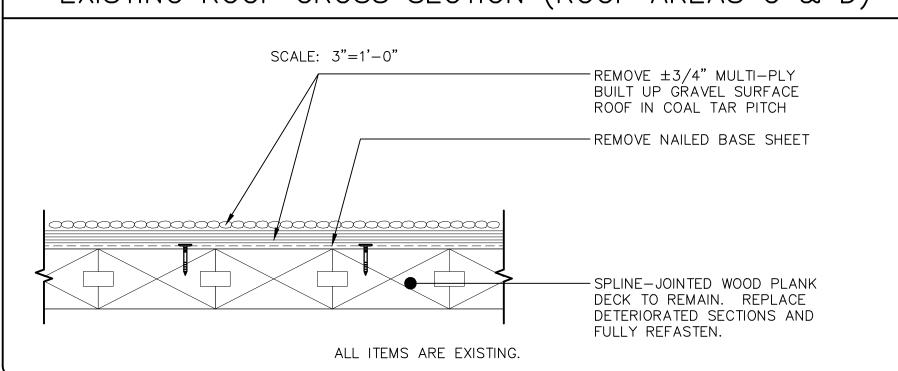
EXISTING ROOF CROSS SECTION (ROOF AREA A AND B)



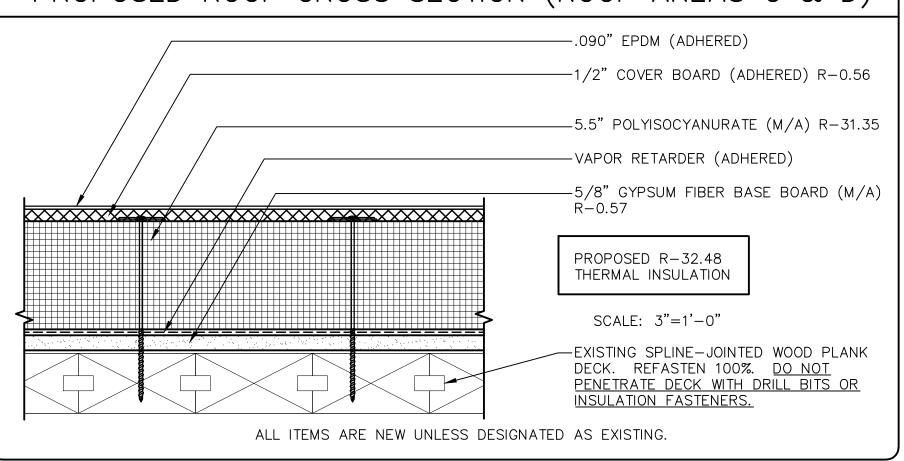
PROPOSED ROOF CROSS SECTION (ROOF AREA A AND B)



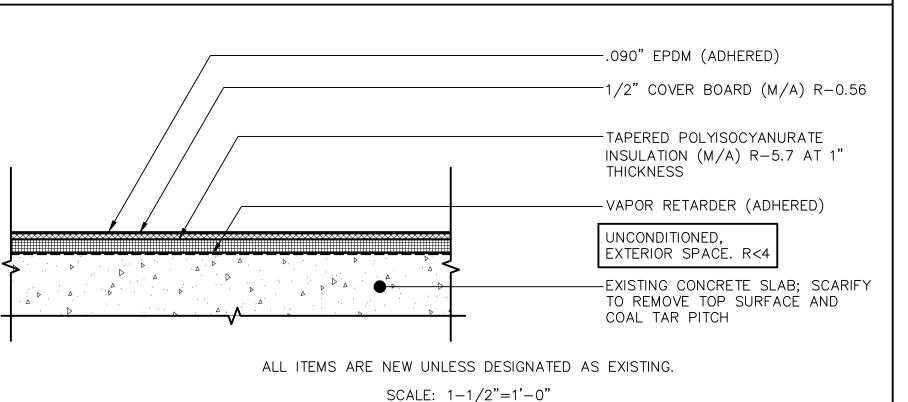
EXISTING ROOF CROSS SECTION (ROOF AREAS C & D)



PROPOSED ROOF CROSS SECTION (ROOF AREAS C & D)



PROPOSED ROOF CROSS SECTION (ROOF AREA E)



GENERAL NOTES

- THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES, AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
- FOR THE SAKE OF CLARITY, EACH INDIVIDUAL DETAIL ON THE ROOF PLAN HAS NOT BEEN INDICATED. INSTALLATION DETAILS HAVE BEEN INDICATED FOR TYPICAL COMPONENTS AT RANDOM LOCATIONS.
- 3. HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED A MEANS FOR QUANTIFYING.
- DISCREPANCIES NOTED BY THE CONTRACTOR IN THE DRAWINGS OR SPECIFICATIONS MUST BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO BID SUBMISSION. THE A/E WILL BE ISSUING ADDENDUM DURING THE BID PHASE. ALL SHALL BE BROUGHT TO THE OWNER'S AND A/E'S ATTENTION IN
- 6. ALL ITEMS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS APPLICABLE TO THE PROJECT.
- THE CONTRACTOR SHALL REPORT DETERIORATED OR UNSUITABLE STRUCTURAL DECK OR SUBSTRATES TO THE OWNER AND A/E IN WRITING PRIOR TO PERFORMING ROOFING INSTALLATION WORK.
- THE CONTRACTOR IS CAUTIONED THAT DUE TO BUILDING OCCUPANCY, THE OWNER REQUIRES COMPLIANCE ON WORK HOURS, SCHEDULING, SET-UP, CLEANUP, PARKING, SECURITY, ETC. REFER TO PROJECT MANUAL FOR OWNER REQUIREMENTS
- S. NOTIFY THE OWNER OF WORK LOCATIONS A MINIMUM OF 72 HOURS IN ADVANCE IN ORDER THAT OCCUPANCY BELOW THE WORK AREAS MAY BE
- ROOFING AND FLASHING SHALL BE 100% WEATHER TIGHT ON A DAILY BASIS. REMOVE ONLY AS MUCH ROOFING AS CAN BE MADE WEATHERTIGHT ON
- D. FOR THE SAKE OF CLARITY, SECUREMENT FASTENERS ARE GENERALLY NOT SHOWN ON THE DETAIL DRAWINGS. REFER TO THE PROJECT MANUAL FOR FASTENER TYPES AND SPACING.
- . REMOVE EXISTING ROOF SYSTEMS. SHEET METAL EDGE COMPONENTS AND ASSOCIATED FLASHINGS AND UNDERLAYMENTS DOWN TO THE EXISTING ROOF
- DECK TO INSTALL THE NEW ROOF SYSTEM. 2. DETAILS NOT DEPICTED SHALL BE CONSTRUCTED IN A MANNER CONSISTENT WITH THE DETAIL DRAWINGS AND SUBMITTED FOR REVIEW OR PER
- INDUSTRY STANDARDS. 3. THE DEFECTS NOTED INDICATE APPROXIMATE LOCATIONS. THEY ARE NOT INTENDED TO DEFINE LIMITS OF WORK. AREAS NOT NOTED ON THESE
- DRAWINGS EXHIBITING SIMILAR DEFECTS AS THOSE SHOWN SHALL BE REPAIRED IN A SIMILAR MANNER. REFER TO SECTION 012000 CONTRACT CONSIDERATIONS FOR UNIT PRICE AND ALLOWANCE WORK.
- 14. REFER TO PROJECT MANUAL FOR SCHEDULE LIMITATIONS OF EXTERIOR WORK.

CODE INFORMATION

ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITIONS OF

MADE RE: 2018 CSBC APPLICABILITY AND OVERFLOW DRAINAGE FOR

ACI 530 — BUILDING CODE REQUIREMENTS FOR MASONRY CONSTRUCTION.

ACI 318 — BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.

AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF

BCSI (BUILDING COMPONENT SAFETY INFORMATION) FOR WOOD TRUSSES.

2005 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS)

ROOF AREAS A & B | ROOF AREAS C, D, E

EXIST. TO REMAIN EXIST. TO REMAIN

ROOF AREA A & B ROOF AREA C, D, &

ROOF AREA A & B ROOF AREA C, D, & |

| 55 PSF - FM-90 | 75 PSF - FM-105 | 85 PSF - FM-120 | 110 PSF - FM-150 |

ACTUAL WEIGHT

DRIFT, SLIDING AND UNBALANCED LOADS IN ACCORDANCE WITH ASCE 7-

135 MPH

B-BUSINESS

TO REMAIN EXIST. TO REMAIN

ACTUAL WEIGHT

35 MPH

B-BUSINESS

64 FEET

48.5 FEET

 $GCPI = \pm 0.55$

• THE 2016 STATE BUILDING CODE (SBC) [CODE MOD REQUESTS HAVE BEEN

- 15. REFER TO PROJECT MANUAL FOR HAZARDOUS MATERIAL DEMOLITION AND HANDLING: SECTIONS 028213, 028300, 028433.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL MATERIALS LISTED AND/OR INDICATED ON THE DRAWINGS OR NOTED IN THE WRITTEN PROJECT MANUAL - TYPICAL.
- 17. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS, CONDITIONS, HEIGHTS, MATERIAL THICKNESSES, ETC., IN THE FIELD PRIOR TO SUBMITTING THEIR BID AND COMMENCING CONSTRUCTION. THE A/E AND OWNER SHALL BE NOTIFIED OF ANY DISCREPANCIES IN WRITING IMMEDIATELY.
- 8. THE BUILDING SHALL BE MAINTAINED IN A DUST FREE CONDITION. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE THE INTERIOR OF THE BUILDING REMAINS DUST FREE. NO DEMOLITION CAN PROCEED UNTIL AN APPROVED TEMPORARY PROTECTION SYSTEM I
- 19. DUE TO THE CONGESTION AROUND THE PROJECT SITE THE CONTRACTOR MUST PROVIDE DETAILED TRAFFIC AND SCAFFOLDING PLANS TO THE OWNER. FOR REVIEW. THE CONTRACTOR WILL ONLY BE ALLOWED THE AREAS SHOWN FOR SETUP AND STORAGE OF MATERIALS.

TEST CUT SUMMARY

TEST CUTS #460 CAPITOL AVE AREAS C, D:

SPLINE JOINTED WOOD PLANK DECK

NAILED BASE SHEET ±3/4" GRAVEL SURFACED BUILT UP ROOF (W/C.T.P.)

THE FOLLOWING BUILDING CODES AND STANDARDS

STRUCTURAL STEEL FOR BUILDINGS.

DESIGN CODE - 2016 STATE BUILDING CODE (SBC)

BASIS OF DESIGN 2012 IBC AS AMENDED BY CSBC

SUSPENDED UTILITIES / MISC.

GROUND SNOW LOAD

IMPORTANCE FACTOR, IS

INTERNAL PRESSURE COEFFICIENT,

PERIMETER / CORNER DIMENSION:

SEISMIC DESIGN CATEGORY

MAPPED SPECTRAL RESPONSE COEFFICIENT, S1 0.064G

2012 IECC - THERMAL PROTECTION - R-25 CI ABOVE DECK, MIN. R-30 IS

MAPPED SPECTRAL RESPONSE COEFFICIENT, SS 0.181G

REFERENCE WIND PRESSURE Q

EXPOSURE FACTOR. CE

THERMAL FACTOR, CT

TEST CUTS #470 CAPITOL AVE AREA B:

CONCRETE WAFFLE SLAB SLOPED TOPPING SLAB $\pm 1/2$ " BUILT UP ROOF (W/C.T.P.) ±2" EXTRUDED POLYSTYRENE BALLAST

EXISTING ROOF AREAS].

TRUSS PLATE INSTITUTE (TPI).

DESIGN LOADS

DEAD LOADS:

LIVE LOADS:

ROOFING

CEILING

STRUCTURE

BASIC WIND SPEED

RISK CATEGORY

UPLIFT:

PROPOSED

WIDTH

HEIGHT

FIELD RATING

PERIMETER RATING

CORNER RATING

OCCUPANCY CLASS

MEAN ROOF HEIGHT

EXPOSURE CATEGORY

TEST CUTS #470 CAPITOL AVE AREA A: TEST CUT NOTE:

CONCRETE WAFFLE SLAB SLOPED TOPPING SLAB $\pm 1/2$ " BUILT UP ROOF (W/C.T.P.) ±2" EXTRUDED POLYSTYRENE

NOTE: A TEST CUT WAS NOT PERFORMED AT ROOF

DIMENSIONS ARE APPROXIMATE AND MAY VARY THROUGHOUT THE ROOF AREA. DIMENSIONS PROVIDED ARE REPRESENTATIVE AT TEST CUT LOCATIONS ONLY AND MAY NOT REFLECT SYSTEM THICKNESS AT OTHER LOCATIONS. CONTRACTOR TO REMOVE ALL INSULATIONS AND EXISTING ROOF SYSTEMS ENCOUNTERED DOWN TO STRUCTURAL ROOF DECK ELEVATIONS.

EXISTING SHINGLE INFORMATION

<u>INSTALLER:</u>

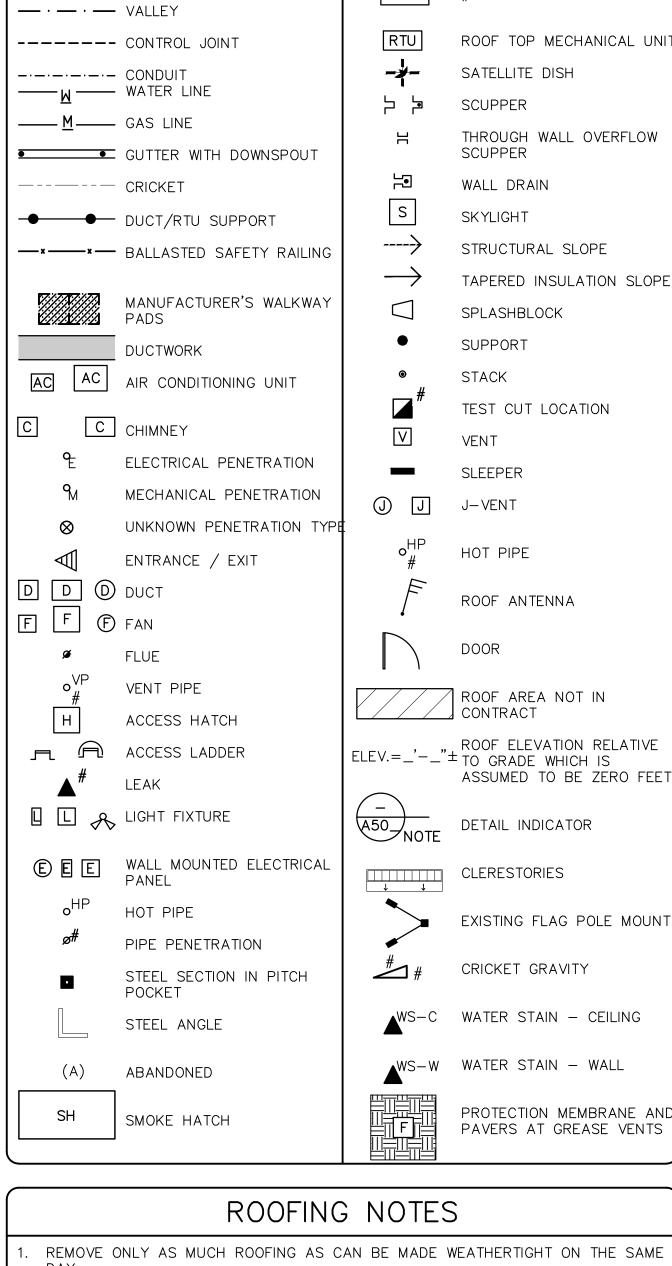
EAGLE ROOF SERVICES, LLC P.O. BOX 535 SUFFIELD, CT 06078

PHONE: (860) 989-8716

EXISTING ROOF INSTALLED 2012 — GAF TIMBERLINE SHINGLES SMART CHOICE LIMITED LIFETIME WARRANTY - 40 YEARS WITH 4 YEAR PROTECTION PERIOD

COAL TAR PITCH

COAL TAR PITCH IS PRESENT ON THE EXISTING CONCRETE ROOF DECKS. CONTRACTOR SHALL REMOVE COAL TAR PITCH FROM THE DECKS BY SCARIFICATION. NEW WORK SHALL NOT BE ACCEPTED UNTIL THE DECK IS ACCEPTED AS SUITABLE BY THE ENGINEER. COAL TAR PITCH REMOVAL SHALL RESULT IN THE CONCRETE DECKS BEING CLEAN, SMOOTH, DRY, FREE OF CONTAMINANTS, AND READY FOR THE INSTALLATION OF THE SPECIFIED ROOFING.



LEGEND

POURABLE SEALER POCKET

INDICATES DIAMETER

ROOF DRAIN WITH SUMP

INDICATES DIAMETER

ROOF DRAIN

ROOF EDGE

PARAPET

— — — RIDGE/HIP LINE

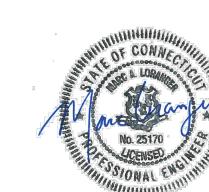
E.J. EXPANSION JOINT

REMOVE ONLY AS MUCH ROOFING AS CAN BE MADE WEATHERTIGHT ON THE SAME

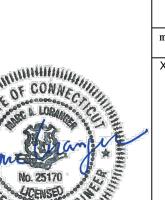
- DISCONNECT, REMOVE, RAISE, REINSTALL AND RECONNECT EXISTING ROOFTOP EQUIPMENT AND ASSOCIATED MECHANICAL/ELECTRICAL PENETRATIONS TO PROVIDE MINIMUM SPECIFIED FLASHING HEIGHTS.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROTECT EXISTING PROPERTY. ANY DAMAGE THAT OCCURS AS A RESULT OF THE CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE
- CONTRACTOR TO VERIFY WITH BUILDING OWNER THE STATUS OF ALL HVAC, MECHANICAL UNITS, AND RELATED ROOFTOP PENETRATIONS. ALL ABANDONED ROOFTOP EQUIPMENT, STACKS, WOOD SLEEPERS, ETC., SHALL BE REMOVED AND LEGALLY DISPOSED OF. ALL ABANDONED CURBS SHALL BE REMOVED - EXISTING ROOF DECK SHALL BE PATCHED AND REPAIRED AND PREPARED TO RECEIVE NEW ROOFING SYSTEM. REFER TO MECHANICAL ROOF AREA PLAN FOR ADDITIONAL INFORMATION.
- FURNISH AND INSTALL NEW REPLACEMENT ROOF DRAINS WHERE INDICATED. RESTORE EXISTING DRAINS WHERE INDICATED. SEE DETAILS 6/A503 AND 3/A503
- WIRE BRUSH CLEAN AND MAKE FREE OF ALL RUST AND CONTAMINANTS ALL EXPOSED STEEL, STEEL SUPPORTS, VENT PIPES, GAS PIPES AND RELATED PIPE FITTINGS. PRIME SURFACES AND APPLY CONTINUOUS ZINC RICH RUST PROOF
- MISSING FASTENERS. REMOVE AND REPLACE ALL DETERIORATED SLEEPERS WITH NEW CURBS AND CONDUIT SUPPORTS. RELOCATE PIPE SUPPORTS AND SLEEPERS TO PROVIDE PROPER ATTACHMENT OF THE FASTENERS AND SUPPORT TO THE PIPES - TYPICAL

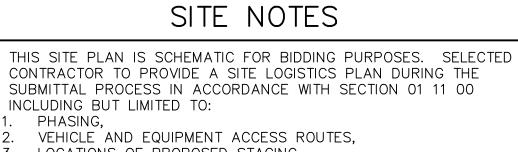
RESECURE ALL PIPES, CONDUITS, ETC. REPLACE ALL FAILED, DETERIORATING, AND

- PORTIONS OF THE EXISTING FLASHINGS AND ROOFING MEMBRANE HAVE BEEN TESTED AND FOUND TO CONTAIN ASBESTOS CONTAINING MATERIALS (ACM). FOR CLARIFICATION, REFER TO SECTION 02 82 13 ASBESTOS CONTAINING MATERIAL REMOVAL.
- LEAD CONTAINING MATERIALS WERE IDENTIFIED AT THE WORK SITE. REFERENCE INSPECTION REPORT IN SECTION 50 30 00 HAZARDOUS BUILDING MATERIALS INSPECTION AND INVENTORY. LEAD CONTAINING MATERIALS SHALL BE MANAGED AND DISPOSED BY THE CONTRACTOR IN STRICT ACCORDANCE TO APPLICABLE LOCAL, STATE, AND FEDERAL LAWS.
- 10. TESTING FOR POLYCHLORINATED BIPHENYLS (PCBS) IS NOT REQUIRED ON THIS PROJECT. THE EXISTING GLAZING AND SEALANTS AT THE CLERESTORY SKYLIGHT UNITS AT ROOF AREA C ARE TO BE REMOVED BY THE CONTRACTOR AND DISPOSED OF AS PCB WASTE.



STATE OF CONNECTICUT GENERAL NOTES AND LEGENDS DEPARTMENT OF ADMINISTRATIVE SERVICES REVISIONS mark date description drawing prepared by GALE ASSOCIATES, INC. 12/03/18 X.X.X X.X.X X.X.X 703 HEBRON AVE. N.T.S. GLASTONBURY, CT 06033 JSD/ETH ROOF REPLACEMENT AND WEATHER PROOFING, 460 & 470 CAPITOL AVE HARTFORD, CT drawing no. project no. BI-2B-433 H:\976820





- 1.1. PHASING, 1.2. VEHICLE AND EQUIPMENT ACCESS ROUTES,
- 1.3. LOCATIONS OF PROPOSED STAGING 1.4. LAYDOWN AREAS
- 1.5. DELIVERY ACCESS/AREAS 1.6. IDENTIFICATION AND MAINTENANCE OF EXISTING BUILDING EGRESS
- 1.7. TEMPORARY ACCESS-WAYS 1.8. CONSTRUCTION FENCING AND GATES

BE SUBJECT TO CHANGE.

- 1.9. PROTECTION MEASURES 1.10. PEDESTRIAN TRAFFIC FLOWS AND BARRIERS
- 1.11. PROPOSED ROOF ACCESS POINTS AND METHODS
- 1.12. PROPOSED PROTECTION OF TREES, SHRUBS, PLANTINGS, ETC. THE CONTRACTOR SHALL BASE STAGING REQUIREMENTS ON THE INFORMATION SHOWN. THE LOCATIONS ARE APPROXIMATE AND MAY
- CONTRACTOR SHALL PROVIDE ALL OVERHEAD PROTECTION AT BUILDING ENTRANCE WAYS IN ACCORDANCE WITH OSHA, LOCAL, STATE, AND FEDERAL GUIDELINES.
- CONTRACTOR SHALL PROVIDE ALL TEMPORARY BARRICADES TO PREVENT PEDESTRIANS FROM ACCESSING THE WORK AREA OR FROM WALKING UNDER WORK LOCATIONS.
- ALL OVERHEAD PROTECTION SHALL EXTEND A MINIMUM OF 8'-0" BEYOND THE BUILDINGS. BEYOND 8'-0", PROVIDE FENCING TO A POINT BEYOND THE CONTRACT LIMIT LINE.
- CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AT PEDESTRIAN WALKWAYS. CONTRACTOR WILL BE REQUIRED TO PROVIDE A MONITOR AT GROUND LEVEL TO WARN PEDESTRIAN TRAFFIC OF ABOVE ROOF LINE WORK.
- THE CONTRACTOR IS CAUTIONED THAT THE DRIVES AND WALKWAYS IMMEDIATELY ADJACENT TO THE CONTRACT LIMIT LINE WILL BE ACTIVE AND OCCUPIED DURING CONSTRUCTION. CONTRACTOR SHALL ACCOMMODATE OWNER'S VEHICLE AND PEDESTRIAN REQUIREMENTS. AND SHALL COORDINATE ACCESS TO ADJACENT BUILDINGS.
- ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED SHALL RESTORED. GRASS AREAS TO BE LOAMED AND SEEDED WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL.

SHEET NOTES

- (1) CONTRACTOR LAYDOWN AREA. SURROUND WITH FENCING.
- 2 STAIR TOWER ROOF ACCESS BY CONTRACTOR.
- PROVIDE COVERED PEDESTRIAN PATHWAY FOR EGRESS FROM 470
- 4 PROVIDE EDGE/OVERHEAD PROTECTION DURING WORK. (5) MAINTAIN ACTIVE VEHICLE LANE.
- ENTRANCE PROVIDE OVERHEAD PROTECTION DURING WORK.

EROSION CONTROL NOTES:

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STATE REGULATIONS AND ALL TOWN REGULATIONS AND PERMIT CONDITIONS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH STAKED SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION. OTHERWISE SPOIL MATERIAL SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND DISPOSED OF LEGALLY AND IN CONFORMANCE TO ALL TOWN REGULATIONS.
- EROSION CONTROL DEVICES MAY BE ADDED OR REDUCED IN THE FIELD AS DIRECTED BY THE OWNER/ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR REESTABLISHING ANY EROSION CONTROL DEVICE WHICH THEY DISTURB. THE CONTRACTOR SHALL NOTIFY THE OWNER/ENGINEER OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES WHICH MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO, EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, POINTS, SOLVENTS, GREASES, FUEL AND LUBE OIL, PESTICIDES, AND SOLID WASTE MATERIALS.

EROSION CONTROL LEGEND

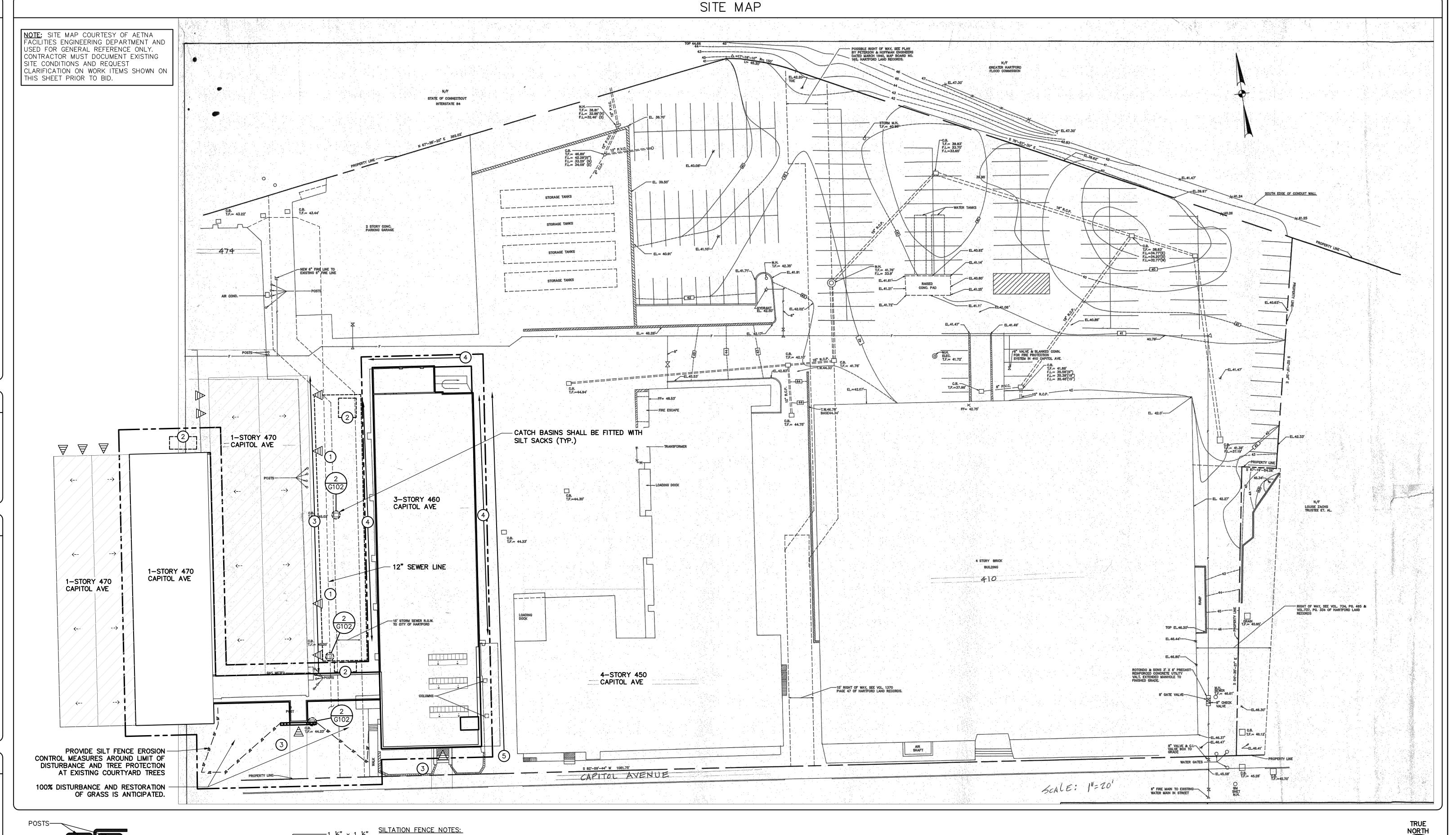
____ SF ____ SF ____ SF ____

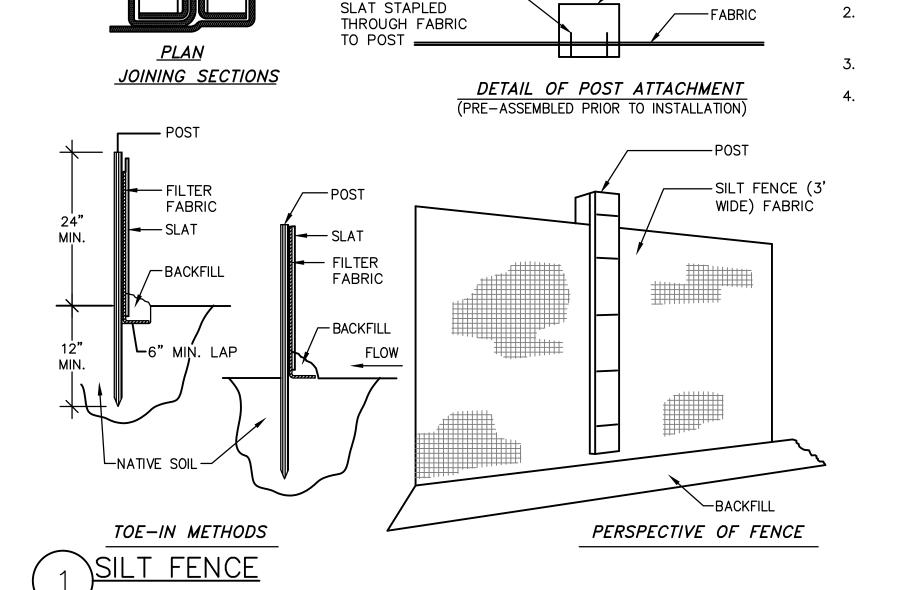
APPROXIMATE LIMITS OF SILT FENCE EROSION CONTROL MEASURES.

STRUCTURE, UTILITY, OR SITE FEATURE TO REMAIN AND BE PROTECTED. CATCH BASINS SHALL BE FITTED WITH SILT

CONTRACT LIMIT LINE

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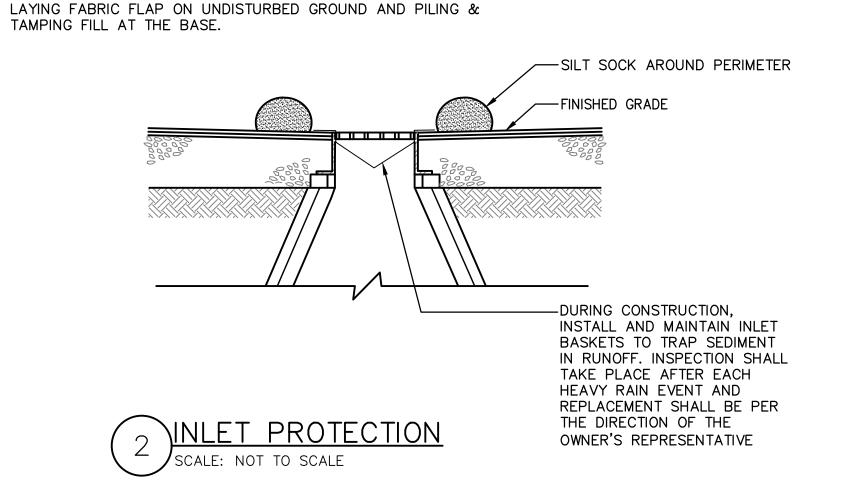




WOOD OR PLASTIC -

EXCAVATE A 6"x6" TRENCH ALONG THE LINE OF EROSION CONTROL OF THE AREA INDICATED. UNROLL SILTATION FENCE AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM FLOW DIRECTION).

DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS LAYING ACROSS THE TRENCH BOTTOM. LAY THE TOE-IN FLAP OF THE FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY



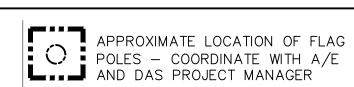
SITE PLAN STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES

REVISIONS drawing prepared by GALE ASSOCIATES, INC. 12/03/18 X.X.X X.X.X X.X.X 703 HEBRON AVE. N.T.S. GLASTONBURY, CT 06033 JSD/ETH ROOF REPLACEMENT AND WEATHERapproved by PROOFING, 460 & 470 CAPITOL AVE MAL HARTFORD, CT drawing no. project no. BI-2B-433 H:\976820



SHRUB OR TREE

PEDESTRIAN EGRESS / ACCESS



SITE NOTES

SEE SHEET G102 FOR SITE NOTES

GEOTECHNICAL NOTES

- THE OWNER IS TO ENGAGE A SPECIAL INSPECTOR (PE/GE) TO PERFORM REVIEW AND CLASSIFICATION OF EXISTING SUBSURFACE SOILS AND VERIFICATION OF SUITABLE SOILS FOR THE NEW FLAGPOLE FOUNDATIONS.
- THE CONSTRUCTION PHASE OF THE EXCAVATION, PLACEMENT OF CONTROLLED FILL, AND FLAGPOLE FOUNDATION PORTION OF THIS PROJECT MUST INCLUDE AMPLE FIELD REVIEW SERVICES OF THE STATE'S SPECIAL INSPECTOR, OR THEIR REPRESENTATIVE, TO OBSERVE, RECOMMEND CORRECTIVE ACTIONS, REPORT, AND ASSESS THAT SUBSURFACE SOILS CONFORMS WITH THE PROJECT SPECIFIC REQUIREMENTS.
- THE SPECIAL INSPECTOR'S FIELD SERVICES MUST INCLUDE THE FOLLOWING AS A
- OBSERVE REPRESENTATIVE SOIL OVER-EXCAVATION PROCEDURES, IF REQUIRED, TO ASSESS THAT ALL UNSUITABLE MATERIALS HAVE BEEN SUFFICIENTLY
- ASSESS THAT THE UNDERLYING SOILS (AFTER REMOVAL OF UNSUITABLE) MATERIALS) ARE ACCEPTABLE TO PROVIDE LATERAL SOIL PRESSURE OF 200 PSF, BEARING CAPACITY OF 1,500 PSF, MINIMUM, AND THAT NO EVIDENCE OF GROUNDWATER IS PRESENT.
- SOIL CLASSIFICATION AND GRADATION TESTS OF EXISTING SUBSURFACE SOILS. A FIELD REPORT FOR EACH SITE VISIT PERFORMED BY THE SPECIAL INSPECTOR OR THEIR REPRESENTATIVE SHALL BE WRITTEN AND SUBMITTED TO THE OWNER, ARCHITECT/ENGINEER AND/OR CONSTRUCTION ADMINISTRATOR. THE REPORT SHALL INCLUDE THE DATE, PERSONNEL PRESENT AT THE SITE, WEATHER, TIME, PURPOSE OF SITE VISIT, AREAS INCLUDED IN THE SITE OBSERVATIONS WITH PLAN SKETCH, CORRECTIVE RECOMMENDATIONS MADE, AND RESULTS OF ANY TESTS
- UPON COMPLETION OF THE SPECIAL INSPECTOR'S FIELD OBSERVATION WORK, AND SUBMISSION OF ALL FIELD REPORTS AND SITE TEST RESULTS (IF REQUIRED). THE SPECIAL INSPECTOR SHALL SUBMIT AN ENGINEERS SEALED LETTER OF PROFESSIONAL OPINION STATING THAT THE SOILS OBSERVED, CLASSIFIED, AND TESTED BY THEM ARE IN ACCORDANCE WITH THE PROJECT REQUIREMENTS.
- THE OWNER IS REQUIRED TO HIRE AND PAY FOR ALL SPECIAL INSPECTION SERVICES THROUGH THE DURATION OF THIS PORTION OF THE PROJECT.
- THE CONTRACTOR IS REQUIRED TO CONTACT, COORDINATE, PROVIDE ACCESS FOR, SCHEDULE, AND ASSIST THE SPECIAL INSPECTOR FOR ALL FIELD REVIEW AND TESTING WORK TO AVOID DELAYS IN THE CONSTRUCTION.

CONCRETE FOUNDATION NOTES

- THE OWNER IS TO ENGAGE A SPECIAL INSPECTOR (ACI/ICC CERTIFIED INSPECTOR/TECHNICIAN) TO PERFORM REVIEW AND VERIFICATION OF CAST-IN-PLACE CONCRETE FOR THE NEW FLAGPOLE FOUNDATIONS.
- THE CONTRACTOR IS REQUIRED TO CONTACT, COORDINATE, PROVIDE ACCESS FOR, SCHEDULE, AND ASSIST THE SPECIAL INSPECTOR FOR ALL FIELD REVIEW AND TESTING WORK TO AVOID DELAYS IN THE CONSTRUCTION.
- THE STRUCTURAL ENGINEER ASSUMES NO RESPONSIBILITY FOR THE VALIDITY OF THE EXISTING SUBSURFACE CONDITIONS.
- 4. NO CONCRETE SHALL BE PLACED IN WATER OR ON FROZEN GROUND.

PROCEDURES IN ACCORDANCE WITH ALL CURRENT A.C.I. STANDARDS.

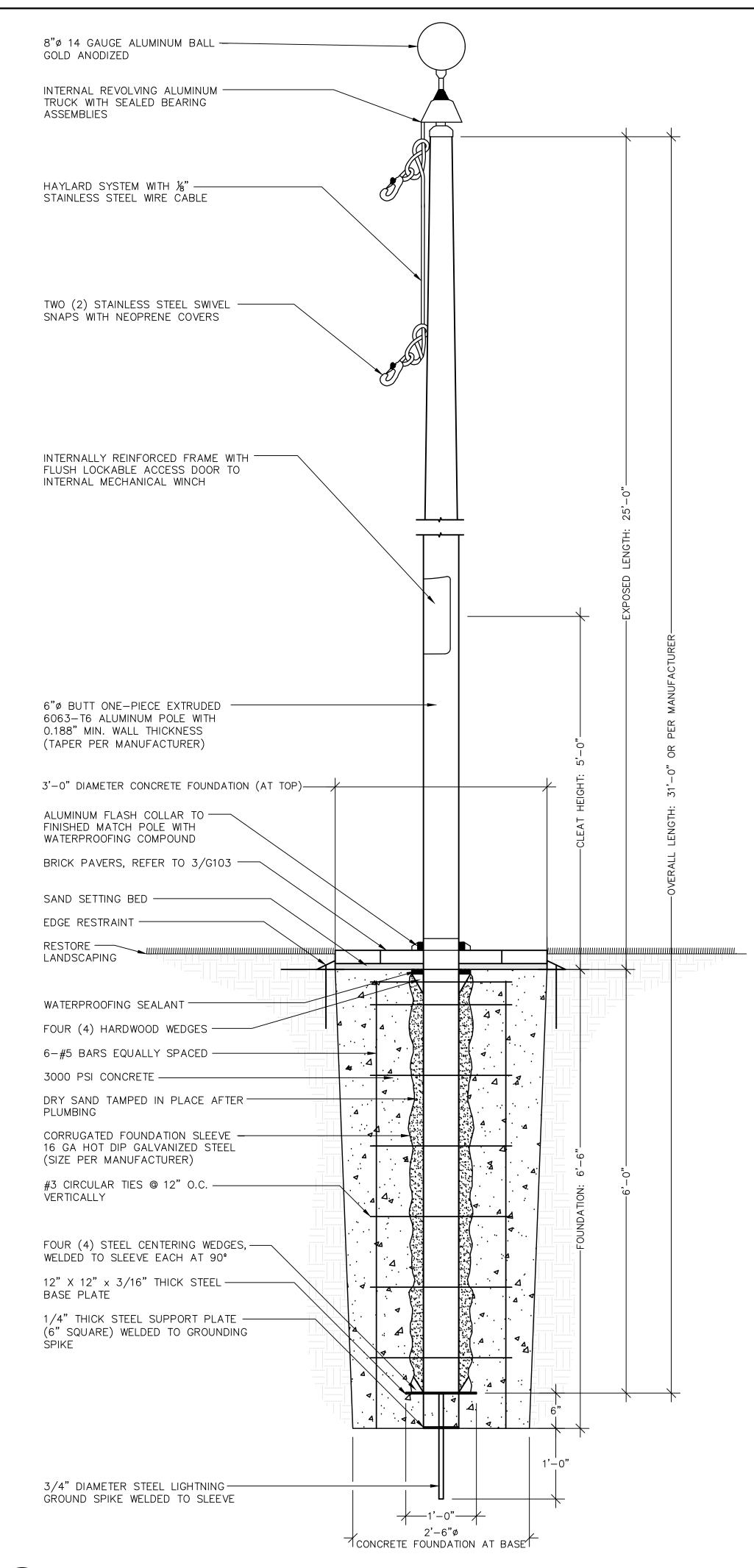
- ALL CONCRETE SHALL BE PROTECTED AGAINST FROST UNTIL PROJECT IS COMPLETED. FOUNDATION AND SLAB CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS WITH A SLUMP OF NO MORE THAN 4" AND AIR ENTRAINMENT OF 4½-7½%. THE USE OF CALCIUM CHLORIDE IS NOT PERMITTED. PROVIDE PROPER CONCRETE PROTECTION OR HEAT IN COLD WEATHER AND MAINTAIN PROPER CURING
- CONCRETE SHALL NOT CONTAIN SLAG OR SILICA FUME. IF USING FLY-ASH, THE MAXIMUM QUANTITY PER WEIGHT OF CEMENT SHALL BE 20%. SUBMIT FLY-ASH CERTIFICATION FOR APPROVAL WITH MIX DESIGN.
- SUBMIT CONCRETE MIX DESIGN (INCLUDING ALL ADDITIVES AND THEIR CONTENT) TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ORDERING CONCRETE.
- ADDITION OF WATER TO CONCRETE MIXES AT THE SITE IS NOT ALLOWED. SUCH CONCRETE SHALL BE IMMEDIATELY REJECTED. MID-RANGE, OR HIGH RANGE, OR SUPERPLASTICIZERS ARE ALLOWED IN THE MIX TO ASSIST IN WORKABILITY AND PUMPING
- 10. CONCRETE CEMENT SHALL BE TYPE I OR II PORTLAND CEMENT. MAXIMUM AGGREGATE SIZE IN CONCRETE SHALL BE 3/4".

1. ALL CONCRETE SHALL BE READI-MIXED AT PLANT COMPLYING WITH ASTM C94 AND

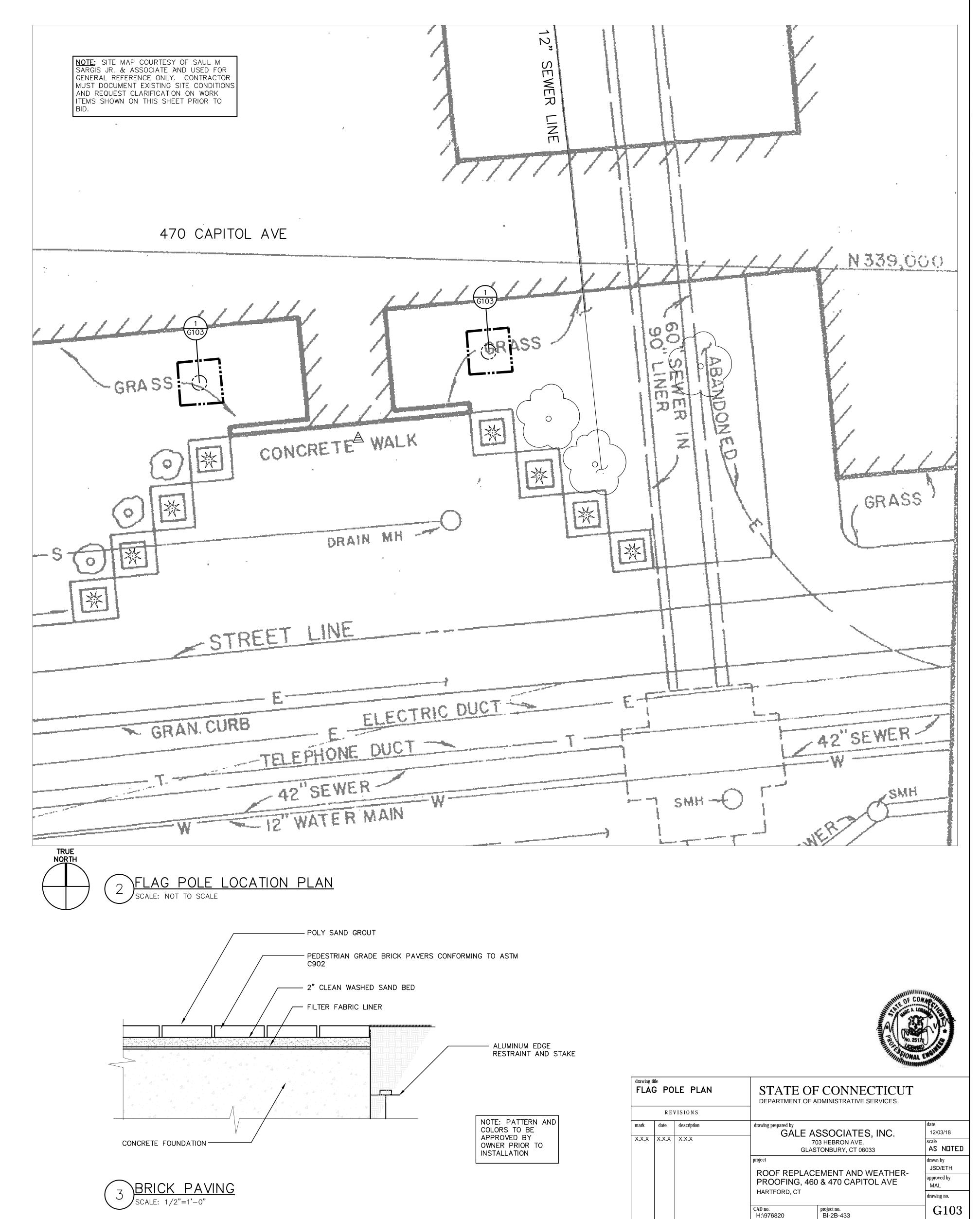
- ASTM C1116. SITE MIXING IS NOT ALLOWED. 12. STEEL REINFORCEMENT SHALL CONFORM TO ASTM 615, GRADE 60, DEFORMED BARS.
- 13. SUBMIT ALL GEOTECHNICAL REPORTS TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCING WITH PLACEMENT OF CONCRETE, REINFORCING STEEL, ETC. SUBMIT CONCRETE TEST RESULTS FROM TESTING AGENCY TO THE ENGINEER. OBTAIN ENGINEER'S APPROVAL OF ALL SUBMITTALS PRIOR TO COMMENCING WITH WORK.

FLAG POLE NOTES

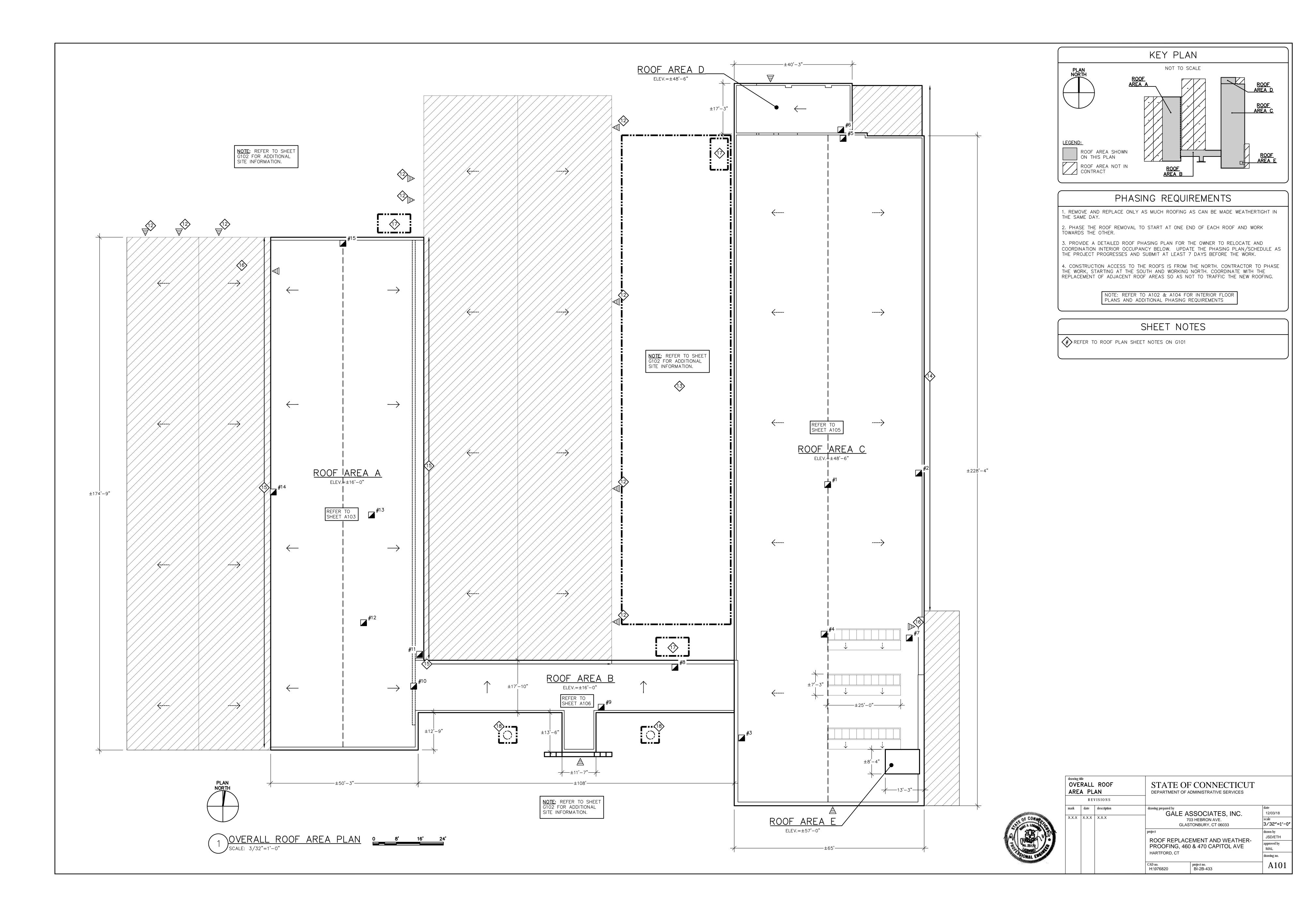
- . FLAGPOLE DESIGN IS IN ACCORDANCE WITH NAAMM FP 1001-07 "GUIDE SPECIFICATIONS FOR DESIGN OF METAL FLAGPOLES".
- 2. 50-YR MEAN DESIGN WIND SPEED $V_{ASD} = 89 \text{ MPH}$
- ALUMINUM POLE SHALL BE EXTRUDED TUBING COMPLYING WITH ASTM B221, ALLOY 6063-T6, TENSILE STRENGTH OF 30,000 PSI AND YIELD STRENGTH OF 25,000 PSI. HEAT TREAT AFTER FABRICATION IN COMPLIANCE WITH ASTM B597, TEMPER T6. POLE SHALL BE A SINGLE PIECE. FINISH TO BE SELECTED BY OWNER.
- 4. DESIGN ASSUMES 25-FOOT MOUNTING HEIGHT WITH 5'X9.5' FLAG SIZE (G-SPEC).
- CONCRETE FOUNDATION DESIGN IS IN ACCORDANCE WITH 2012 IBC SECTION 1807 AND ASSUMES LATERAL SOIL PRESSURE = 200 PSF AND UNCONSTRAINED CONDITION AT GROUND SURFACE. SEE CONCRETE FOUNDATION AND GEOTECHNICAL NOTES.
- SUITABLE SOIL CONDITIONS TO BE CONFIRMED IN WRITING BY GEOTECHNICAL ENGINEER DURING CONSTRUCTION. SEE GEOTECHNICAL NOTES ON THIS SHEET.

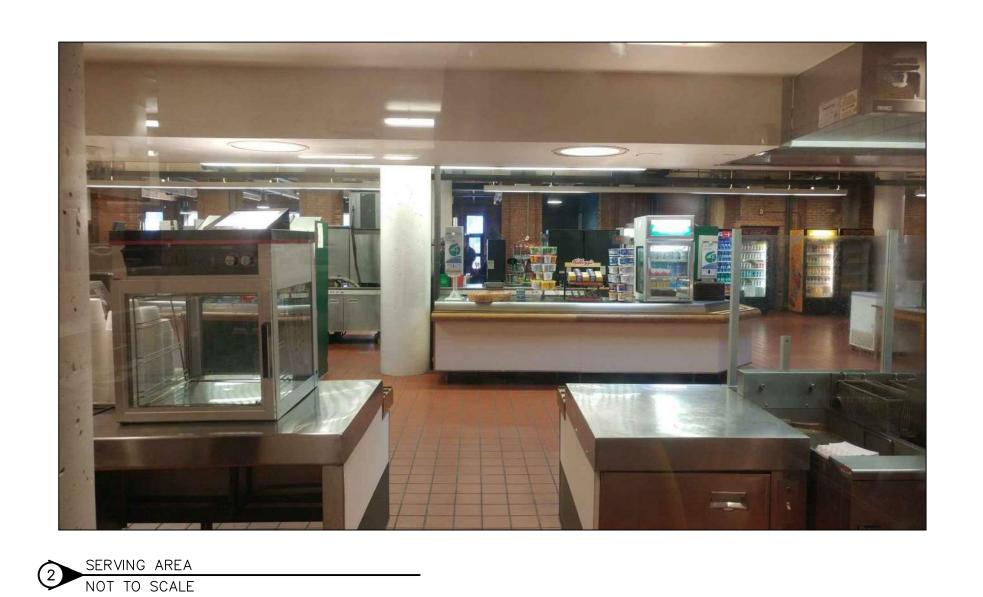


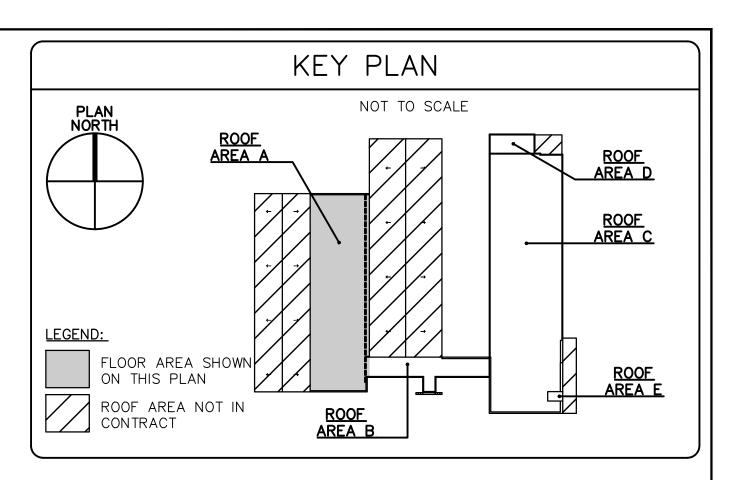
GROUND SET FLAG POLE DETAIL SCALE: 1"=1'-0" (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



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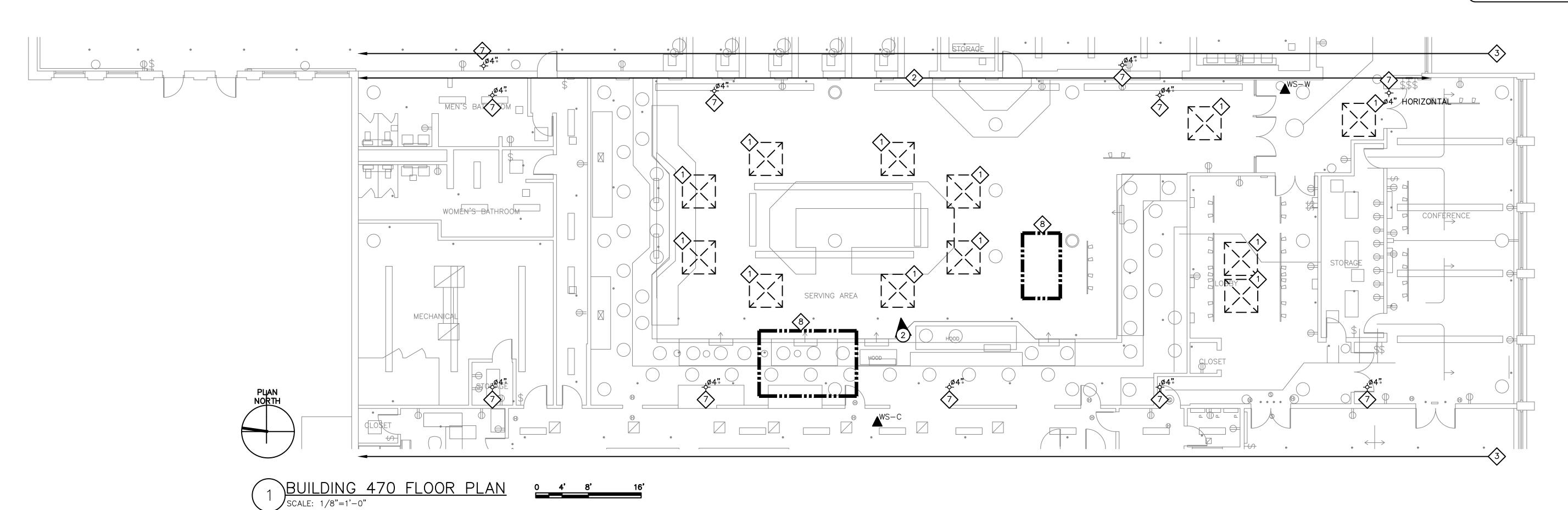


FLOOR PLAN SHEET NOTES

THESE NOTES APPLY TO FLOOR PLANS, SHEETS A102 AND A104.

- SKYLIGHT ROOF OPENING ABOVE. PROVIDE INTERIOR PROTECTION DURING ROOF REPLACEMENT WORK AT SKYLIGHTS. COORDINATE THE WORK WITH THE OWNER. PROVIDE SIGNAGE AND BARRIERS FOR OCCUPANTS.
- PROVIDE INTERIOR PROTECTION BENEATH EXPANSION JOINT DURING REPLACEMENT. PROVIDE SIGNAGE AND BARRIERS FOR OCCUPANTS.
- PROVIDE INTERIOR PROTECTION DURING PHASED ROOF REPLACEMENT AND COORDINATE DEMOLITION SCHEDULE WITH THE OWNER. CONSTRUCTION ACCESS TO THE ROOF IS FROM THE NORTH SIDE. CONTRACTOR TO PHASE THE WORK STARTING AT THE SOUTH END OF THE BUILDING AND WORKING NORTH. CONTRACTOR IS RESPONSIBLE FOR PROVIDING INTERIOR AND EXTERIOR BARRIERS AND SIGNAGE TO DIRECT OCCUPANTS AND PEDESTRIANS AWAY FROM WORK AREAS.
- PROVIDE INTERIOR PROTECTION DURING ROOF REPLACEMENT WORK AT CLERESTORY SKYLIGHTS. COORDINATE THE WORK WITH THE OWNER.
- PROVIDE HEAVY DUTY TEMPORARY PARTITION/ENCLOSURE AROUND INTERIOR STAIR DURING REPLACEMENT TO CONTROL AND CONTAIN DUST, DEBRIS, MOISTURE, ETC. AT THE 3RD FLOOR. PROVIDE SIGNAGE AND BARRIERS FOR OCCUPANTS.
- 6 PROVIDE INTERIOR PROTECTION AT INTERIOR STAIRS TO CONTROL AND CONTAIN DUST, DEBRIS, MOISTURE, ETC. AT THE 3RD FLOOR. PROVIDE SIGNAGE/BARRIERS TO RESTRICT ACCESS.
- 7 ROOF DRAIN LEADER PENETRATION ABOVE. PROVIDE TEMPORARY INTERIOR PROTECTION DURING ROOF DRAIN REPLACEMENT. PROVIDE SIGNAGE/BARRIERS TO RESTRICT ACCESS.

 8 BARRICADE AREA BENEATH UNIT/DUNNAGE DURING REMOVAL.
- PROVIDE INTERIOR PROTECTION AT PERIMETER DURING PHASED ROOF REPLACEMENT. CONNECT PROTECTION TO INSIDE FACE OF WALL AND UNDERSIDE OF DECK $\pm 3'-0$ " FROM WALL.
- NOTE: CONFIGURATION OF PARTITIONS AND FURNITURE MAY VARY FROM WHAT IS SHOWN HERE. CONTRACTOR IS RESPONSIBLE FOR REVIEW AT PRE-BID WALK THROUGH AND REQUEST WRITTEN CLARIFICATION DURING BID PERIOD.



AT BUILDING 470
CONSTRUCTION DEBRIS PROTECTION IS CRITICAL ABOVE FOOD SERVICE AREAS.

PROVIDE TEMPORARY PROTECTION AND SIGNAGE AT EXISTING SKYLIGHT OPENINGS, EXISTING ROOF PENETRATIONS, EXISTING DRAINS TO BE RESTORED, AND THE EXISTING EXPANSION JOINT ALONG THE EAST SIDE OF ROOF AREA A TO BE REPLACED.

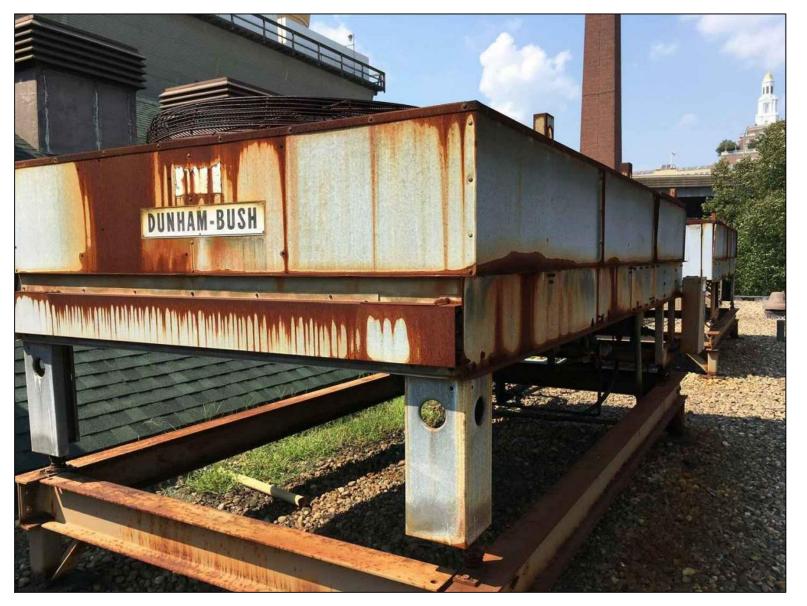
WORK ABOVE THE CAFETERIA SERVING, COOKING, AND CHECKOUT LANES SHALL BE LIMITED TO WEEKENDS OR WEEKDAYS AFTER 2:00 PM TO AVOID IMPACT TO FOOD SERVICE, PREPARATION, AND CLEANUP. TEMPORARY PROTECTION IS STILL REQUIRED.



| drawing FLO | ng title OOR PLAN REVISIONS | | STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES | | |
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| mark | date | description | drawing prepared by | date | |
| X.X.X | X.X.X | X.X.X | GALE ASSOCIATES, INC. 703 HEBRON AVE. GLASTONBURY, CT 06033 | scale SCALI | |
| | | | ROOF REPLACEMENT AND WEATHER- | drawn by JSD/ETH approved by | |

project no. BI-2B-433

CAD no. H:\976820



5 EXISTING CONDENSER TO BE REMOVED - INFORMATION NOT TO SCALE



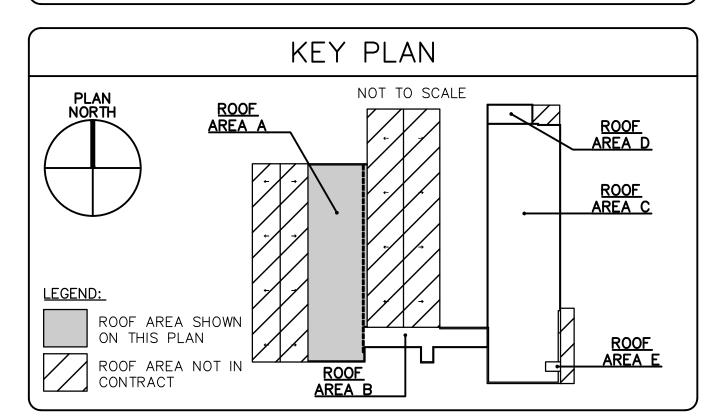
9 EXISTING RTU TO BE REMOVED - INFORMATION NOT TO SCALE



EXISTING GAS LINE TO BE REMOVED - INFORMATION NOT TO SCALE



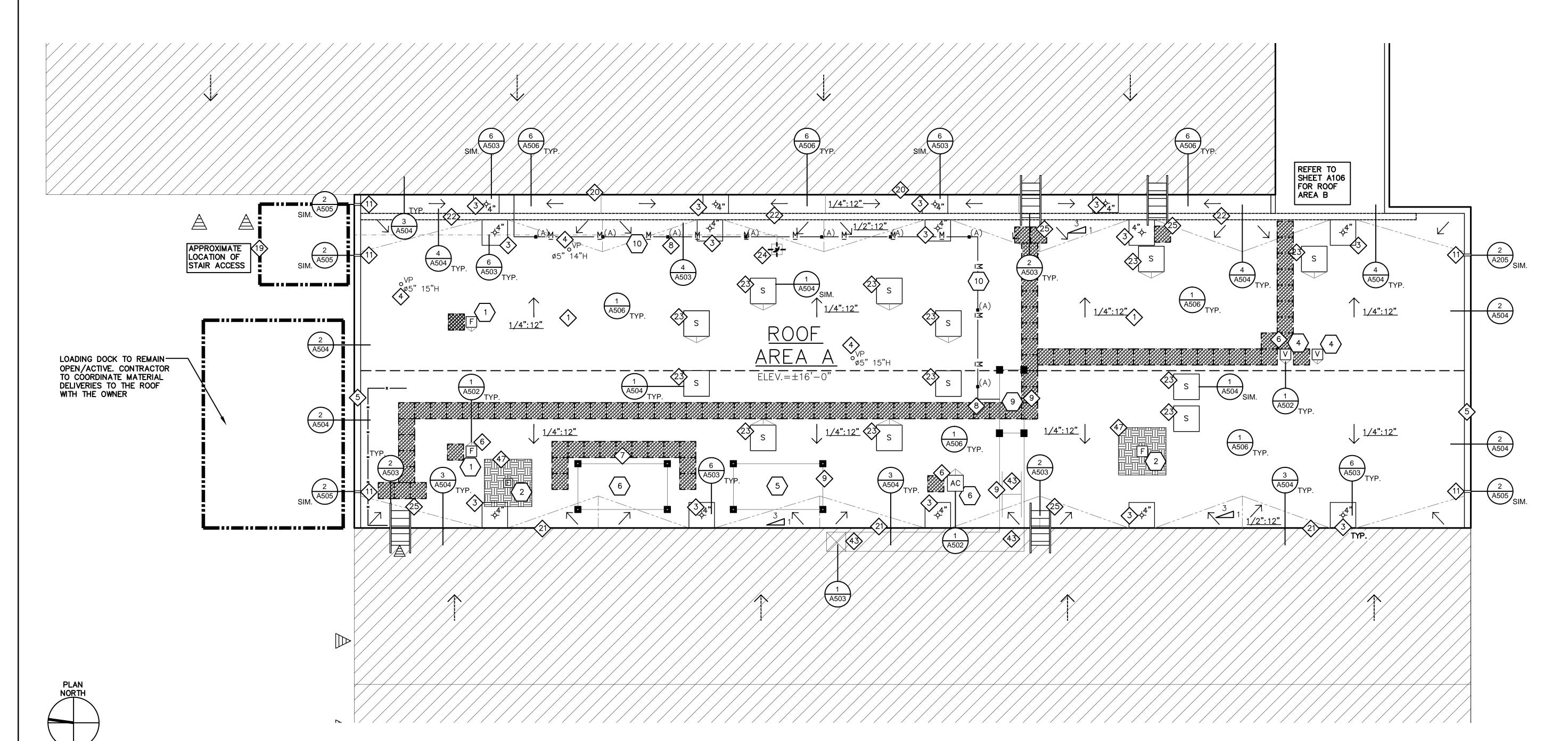
#>REFER TO ROOF PLAN SHEET NOTES ON G101



MECHANICAL NOTES

MECHANICAL NOTES APPLY TO ROOF AREA PLANS, SHEETS A103, A105,

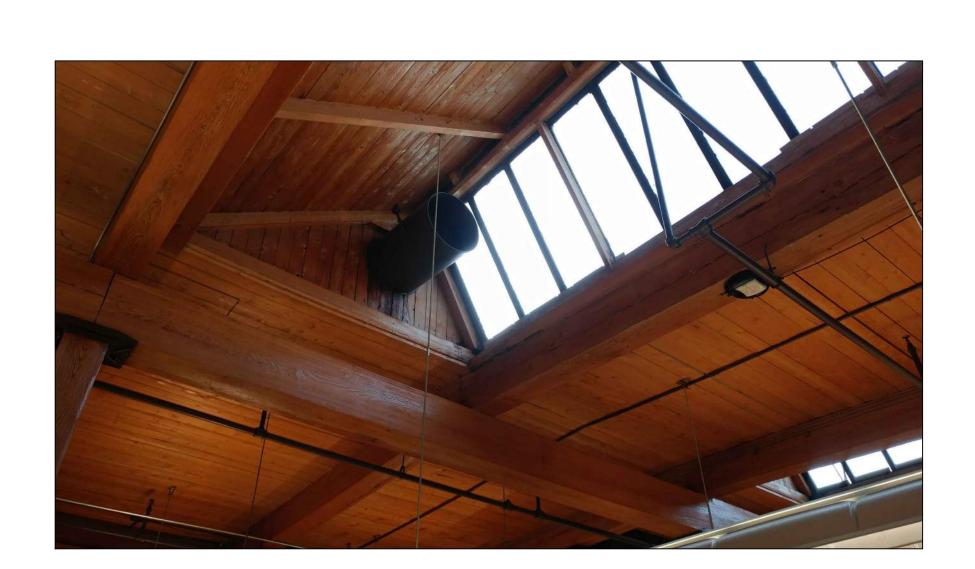
- ROOF EXHAUST FAN EXISTING TO REMAIN. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE EXHAUST FAN FROM CURB AND STORE ON SITE FOR RE—INSTALL. RAISE EXISTING CURB ON NEW BLOCKING. CLEAN FAN WHEEL AND HOUSING. PROVIDE NEW ROOF CURB DISCONNECT SWITCH AND BACK DRAFT DAMPER. EXTEND AND RECONNECT POWER AND CONTROL WIRING AND START FAN.
- QREASE ROOF EXHAUST FAN EXISTING TO REMAIN. COORDINATE WITH OWNER TO DISCONNECT AND RECONNECT FANS WHILE KITCHEN EQUIPMENT IS NOT IN USE. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE EXHAUST FAN FROM CURB AND STORE ON SITE FOR RE—INSTALL. CLEAN FAN WHEEL AND HOUSING. PROVIDE NEW ROOF CURB DISCONNECT SWITCH AND BACK DRAFT DAMPER. EXTEND AND RECONNECT POWER AND CONTROL WIRING AND START FAN.
- $\langle 3 \rangle$ NOT USED
- GRAVITY HOODS EXISTING TO REMAIN. DISCONNECT AND MAKE SAFE FOR RE—INSTALL. REMOVE HOOD AND STORE ON PROJECT SITE FOR RE—INSTALL. RAISE EXISTING CURB ON NEW BLOCKING, RESET GRAVITY HOOD AND RECONNECT WIRING, IF ANY. PROVIDE NEW STAINLESS STEEL MESH HOOD BIRD SCREEN AS REQUIRED FOR ANY DAMAGED OR MISSING.
- CONDENSER UNIT— EXISTING TO BE REMOVED. DISCONNECT POWER AND CONTROL WIRING BACK TO ITS SOURCE BELOW ROOF AND MAKE SAFE. REMOVE REFRIGERANT AND OIL FROM SYSTEM AND DISPOSE OF PER EPA REQUIREMENTS (±80 LBS OF R-22 REFRIGERANT). DISCONNECT REFRIGERANT PIPING, REMOVE CONDENSER AND DUNNAGE. REMOVE FROM PROJECT SITE AND DISPOSE OF PER EPA REQUIREMENTS.
- CONDENSER EXISTING TO REMAIN. REVIEW FOR REFRIGERANT LEAKS PRIOR TO WORK. DOCUMENT AND REPORT CONDITIONS TO A/E AND OWNER. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE REFRIGERANT AND OIL FROM SYSTEM PER EPA REQUIREMENTS. (±80 LBS OF R-22 REFRIGERANT). DISCONNECT REFRIGERANT PIPING. RE-INSTALL CONDENSER ON EXISTING SUPPORT, COORDINATE WITH ROOFING CONTRACTOR, RECONNECT REFRIGERANT PIPING, TRIPLE EVACUATE AND RECHARGE REFRIGERANT SYSTEM. REVIEW FOR REFRIGERANT LEAKS AND REPAIR AS ENCOUNTERED. RECONNECT POWER AND CONTROL WIRING AND RESTART SYSTEM IN ACCORDANCE WITH OWNER'S MANUAL. DOCUMENT AND REPORT STARTUP TO A/E. CONDENSER FANS SHALL BE CHECKED FOR PROPER OPERATION AND ROTATION.
- MITSUBISHI CONDENSING UNITS EXISTING TO REMAIN. REVIEW FOR REFRIGERANT LEAKS PRIOR TO WORK. DOCUMENT AND REPORT CONDITIONS TO A/E AND OWNER. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE REFRIGERANT AND OIL FROM SYSTEM PER EPA REQUIREMENTS. (±20 LBS OF R410A REFRIGERANT EACH) DISCONNECT REFRIGERANT PIPING. RE—INSTALL CONDENSING UNIT ON NEW CURBS, COORDINATE WITH ROOFING CONTRACTOR, RECONNECT REFRIGERANT PIPING, TRIPLE EVACUATE AND RECHARGE SYSTEM. REVIEW FOR REFRIGERANT LEAKS AND REPAIR AS ENCOUNTERED. RECONNECT POWER AND CONTROL WIRING AND RESTART SYSTEM IN ACCORDANCE WITH OWNER'S MANUAL. DOCUMENT AND REPORT STARTUP TO A/E. CONDENSER FANS SHALL BE CHECKED FOR PROPER OPERATION AND ROTATION.
- 8 COOLING TOWER EXISTING TO BE REMOVED. DISCONNECT WATER MAKE UP, SUPPLY AND RETURN WATER PIPING AND CAP BELOW ROOF. DISCONNECT POWER AND CONTROL WIRING BACK TO ITS SOURCE AND MAKE SAFE. REMOVE COOLING TOWER AND DUNNAGE FROM PROJECT SITE AND DISPOSE OF PER EPA REQUIREMENTS.
- GAS FIRED RTU EXISTING TO BE REMOVED. PRIOR TO WORK, CONTACT UTILITY PROVIDER AN ENSURE GAS IS SHUT—OFF AND THE PIPES ARE CLEARED PER MEP NOTE 10 BELOW. DISCONNECT DUCTWORK, CAP ON ROOF AND MAKE WATERTIGHT. REMOVE GAS FIRED FURNACE AND DUNNAGE FROM PROJECT SITE AND DISPOSE OF IN A LEGAL AND LAWFUL MANNER PER EPA REQUIREMENTS.
- NATURAL GAS PIPING EXISTING TO BE REMOVED. PRIOR TO WORK, CONTACT UTILITY PROVIDER AN ENSURE GAS IS SHUT—OFF. PURGE—OUT—OF—SERVICE EXISTING GAS LINES FROM THE MAIN TO THE ROOFTOP UNIT IN ACCORDANCE WITH IFGS REQUIREMENTS. CAP EXISTING INTERIOR GAS LINE AT THE MAIN AND ON THE INSIDE OF THE ROOF PENETRATION AND ABANDONED IN PLACE. PURGE—OUT—OF—SERVICE, REMOVE, AND DISPOSE OF ROOFTOP GAS LINE
- 11 > CHILLED WATER PIPING EXISTING TO REMAIN. DISCONNECT, DRAIN, CLEARANCE TO 12" ABOVE NEW FINISHED ROOF. PROVIDE ADDITIONAL SCHEDULE 40 BLACK IRON PIPING, INSULATION AND JACKETING OF SAME DIAMETER AS REQUIRED TO RECONNECT ALL PIPING. FURNISH AND INSTALL NEW LINE CABLING WITH GFIC PLUG-IN, MATCHING THE VOLTAGE OF THE EXISTING HEAT TRACE. RECONNECT PIPING, INSULATION AND JACKETING TO EXISTING PIPING INSIDE BUILDING AT BOTH ENDS. PROVIDE NEW BUILDING PENETRATIONS AS REQUIRED FOR THE NEW PIPING ENTRANCE INTO BUILDING. PROVIDE EXTENSIONS TO ALL MATERIALS AS REQUIRED TO COMPENSATE FOR ADDITIONAL LENGTHS. NEW BUILDING PENETRATIONS SHALL BE MADE WATERTIGHT, REPAIR EXTERIOR WALL AT EXISTING AND NEW PENETRATIONS AS NECESSARY TO MAINTAIN PRE-CONSTRUCTION APPEARANCE. PRESSURE TEST PIPING TO 150 PSIG PRIOR TO APPLYING INSULATION, HEAT TAPE AND JACKETING. DOCUMENT AND REPORT CONDITIONS TO A/E AND
- $\left| \left\langle 12 \right\rangle 13 \right\rangle$ NOT USE
- AND CONTROL WIRING BACK TO ITS SOURCE AND MAKE SAFE. REMOVE EXHAUST FAN AND CURB FROM PROJECT SITE AN DISPOSE OF PER EPA REQUIREMENTS. REPLACE/INFILL ROOF DECK IN ACCORDANCE WITH SECTION 06 10 00.







| _ | drawing to | F AR | VISIONS | STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES | | |
|---|------------|-------------------|-------------|--|---------------------|--|
| | mark | date | description | drawing prepared by GALE ASSOCIATES, INC. | date 12/03/18 | |
| | X.X.X | (.X X.X.X X.X | .X X.X.X | 703 HEBRON AVE. GLASTONBURY, CT 06033 | scale 1/8"=1'-0" | |
| | | | | ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE | drawn by JSD/ETH | |
| | | | | | approved by MAL | |
| | | | | HARTFORD, CT | drawing no. | |
| | | | | CAD no. project no. BI-2B-433 | A103 | |



EXISTING ABANDONED VENT TO BE REMOVED NOT TO SCALE

AT BUILDING 460

CONSTRUCTION DEBRIS TO BE LIMITED TO AND CONTAINED ON OR ABOVE THE THIRD (TOP) FLOOR LEVEL. THE OWNER ANTICIPATES VACATING THE THIRD FLOOR OF EMPLOYEES, THEIR COMPUTERS, PERSONAL ITEMS, AND CRITICAL DOCUMENTS FOR THE DURATION OF THE PROJECT.

CONTRACTOR TO:

- PROTECT DESKS, REMAINING FURNITURE, CARPETS, HORIZONTAL SURFACES, VERTICAL SURFACES, PARTITIONS, AND ITEMS NOT REMOVED BY DAS
- RESTRICT ACCESS TO THE THIRD FLOOR AT ELEVATORS AND STAIRS, INCLUDING THE-CENTRAL INTERIOR STAIR USING SIGNAGE AND BARRIERS.
- PROVIDE TEMPORARY PARTITION(S), ENCLOSURE, AND SIGNAGE AT/ABOVE THE CENTRAL INTERIOR STAIR TO PROTECT THE LOWER FLOOR AND STAIR LEVEL'S FROM CONSTRUCTION
- DEBRIS FOR THE DURATION OF THE PROJECT. MAINTAIN ACCESS BETWEEN FIRST AND SECOND FLOORS FOR THE BUILDING OCCUPANTS
- PROVIDE TEMPORARY PROTECTION AND SIGNAGE AT THE INTERIOR STAIR TOWERS AT THE
- NORTHEAST AND SOUTHWEST CORNERS OF THE BUILDING, ELEVATOR DOORS, AND ROOF-TO-WALL PERIMETER (REFLECTING THE ACM LOCATION PLAN), TO CONTROL AND
- CONTAIN DEBRIS.

 PROVIDE TEMPORARY PROTECTION AND SIGNAGE BENEATH THE EXISTING CLERESTORY SKYLIGHTS, EXISTING CHIMNEYS TO BE PARTIALLY REMOVED, EXISTING ROOF PENETRATIONS, AND EXISTING DRAINS TO BE REPLACED DURING THE RESTORATION WORK.

FLOOR PLAN SHEET NOTES

KEY PLAN

NOT TO SCALE

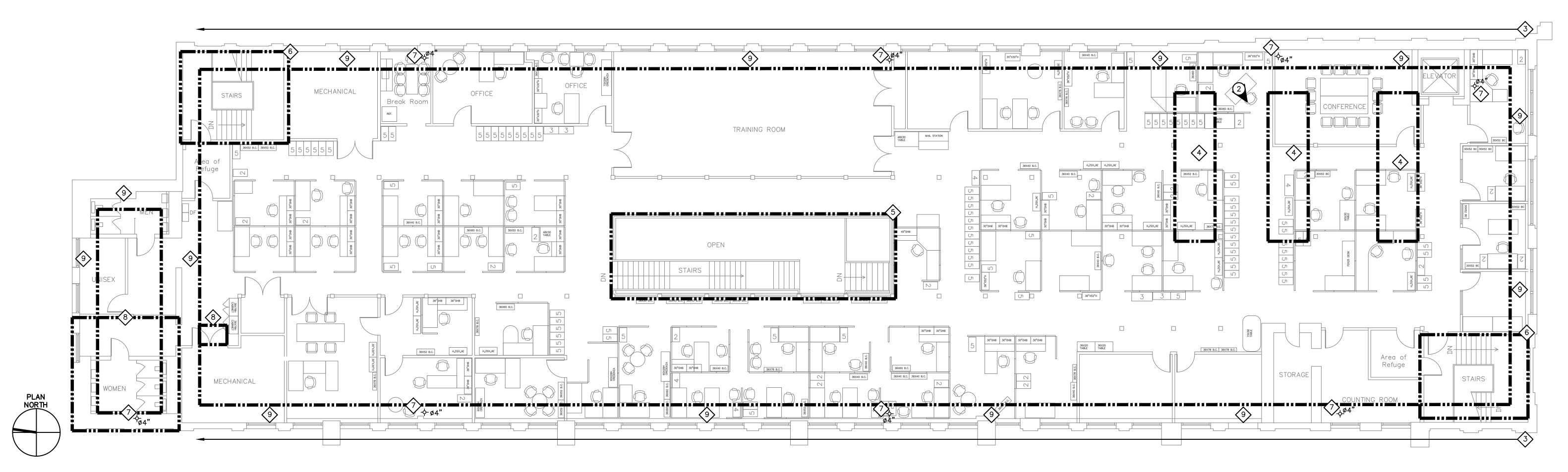
THESE NOTES APPLY TO FLOOR PLANS, SHEETS A102 AND A104.

LEGEND:

FLOOR AREA SHOWN ON THIS PLAN

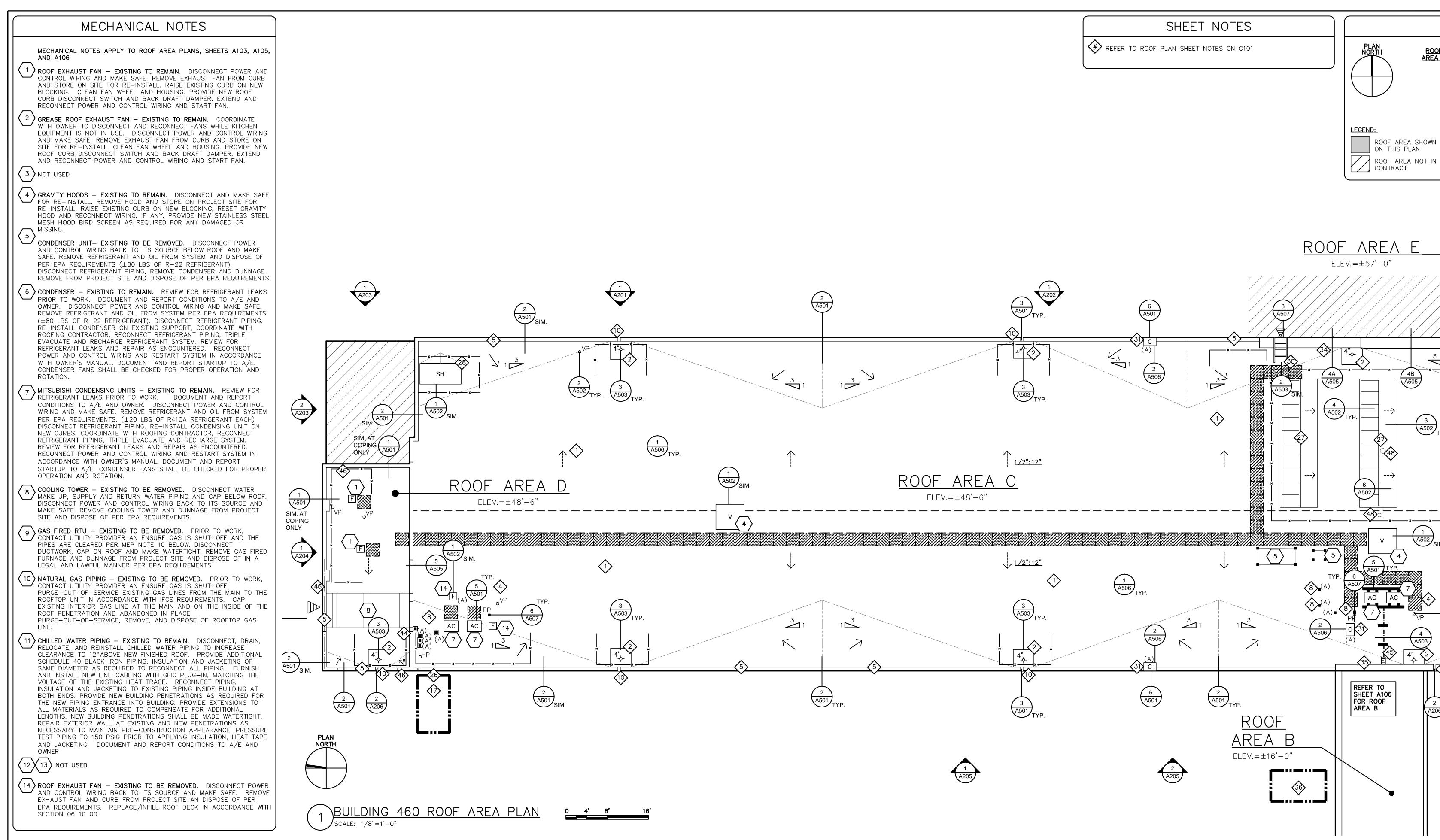
ROOF AREA NOT IN CONTRACT

- SKYLIGHT ROOF OPENING ABOVE. PROVIDE INTERIOR PROTECTION DURING ROOF REPLACEMENT WORK AT SKYLIGHTS. COORDINATE THE WORK WITH THE OWNER. PROVIDE SIGNAGE AND BARRIERS FOR OCCUPANTS.
- PROVIDE INTERIOR PROTECTION BENEATH EXPANSION JOINT DURING REPLACEMENT. PROVIDE SIGNAGE AND BARRIERS FOR OCCUPANTS.
- PROVIDE INTERIOR PROTECTION DURING PHASED ROOF REPLACEMENT AND COORDINATE DEMOLITION SCHEDULE WITH THE OWNER. CONSTRUCTION ACCESS TO THE ROOF IS FROM THE NORTH SIDE. CONTRACTOR TO PHASE THE WORK STARTING AT THE SOUTH END OF THE BUILDING AND WORKING NORTH. CONTRACTOR IS RESPONSIBLE FOR PROVIDING INTERIOR AND EXTERIOR BARRIERS AND SIGNAGE TO DIRECT OCCUPANTS AND PEDESTRIANS AWAY FROM WORK AREAS.
- PROVIDE INTERIOR PROTECTION DURING ROOF REPLACEMENT WORK AT CLERESTORY SKYLIGHTS. COORDINATE THE WORK WITH THE OWNER.
- PROVIDE HEAVY DUTY TEMPORARY PARTITION/ENCLOSURE AROUND INTERIOR STAIR DURING REPLACEMENT TO CONTROL AND CONTAIN DUST, DEBRIS, MOISTURE, ETC. AT THE 3RD FLOOR. PROVIDE SIGNAGE AND BARRIERS FOR OCCUPANTS.
- PROVIDE INTERIOR PROTECTION AT INTERIOR STAIRS TO CONTROL AND CONTAIN DUST, DEBRIS, MOISTURE, ETC. AT THE 3RD FLOOR. PROVIDE SIGNAGE/BARRIERS TO RESTRICT ACCESS.
- ROOF DRAIN LEADER PENETRATION ABOVE. PROVIDE TEMPORARY INTERIOR PROTECTION DURING ROOF DRAIN REPLACEMENT. PROVIDE SIGNAGE/BARRIERS TO RESTRICT ACCESS.
- 8 BARRICADE AREA BENEATH UNIT/DUNNAGE DURING REMOVAL.
- 9 provide interior protection at perimeter during phased roof replacement. Connect protection to inside face of wall and underside of deck $\pm 3'-0"$ from wall.
- NOTE; CONFIGURATION OF PARTITIONS AND FURNITURE MAY VARY FROM WHAT IS SHOWN HERE. CONTRACTOR IS RESPONSIBLE FOR REVIEW AT PRE—BID WALK THROUGH AND REQUEST WRITTEN CLARIFICATION DURING BID PERIOD.



BUILDING 460 3RD FLOOR PLAN 64 8' 16'

| | FLOOR PLAN REVISIONS | | | STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES | | | |
|----------------|-----------------------|-------|-------------|--|--|---------------------|--|
| | mark | date | description | diawing prepared by | | date 12/03/18 | |
| THE OF COMMO | X.X.X X.X.X | X.X.X | X.X.X | 70 | OSOCIATES, INC. OS HEBRON AVE. TONBURY, CT 06033 | scale 1/8"=1'- | |
| A DIM | | | | project | EMENT AND WEATHER | drawn by JSD/ETH | |
| P. No. 25170 | | | | ROOF REPLACEMENT AND WEATHER- PROOFING, 460 & 470 CAPITOL AVE | | approved by MAL | |
| MAL ENGLISHED | | | | HARTFORD, CT | | drawing no. | |
| 2 2 million 15 | | | | CAD no. H:\976820 | project no. BI-2B-433 | A10 | |

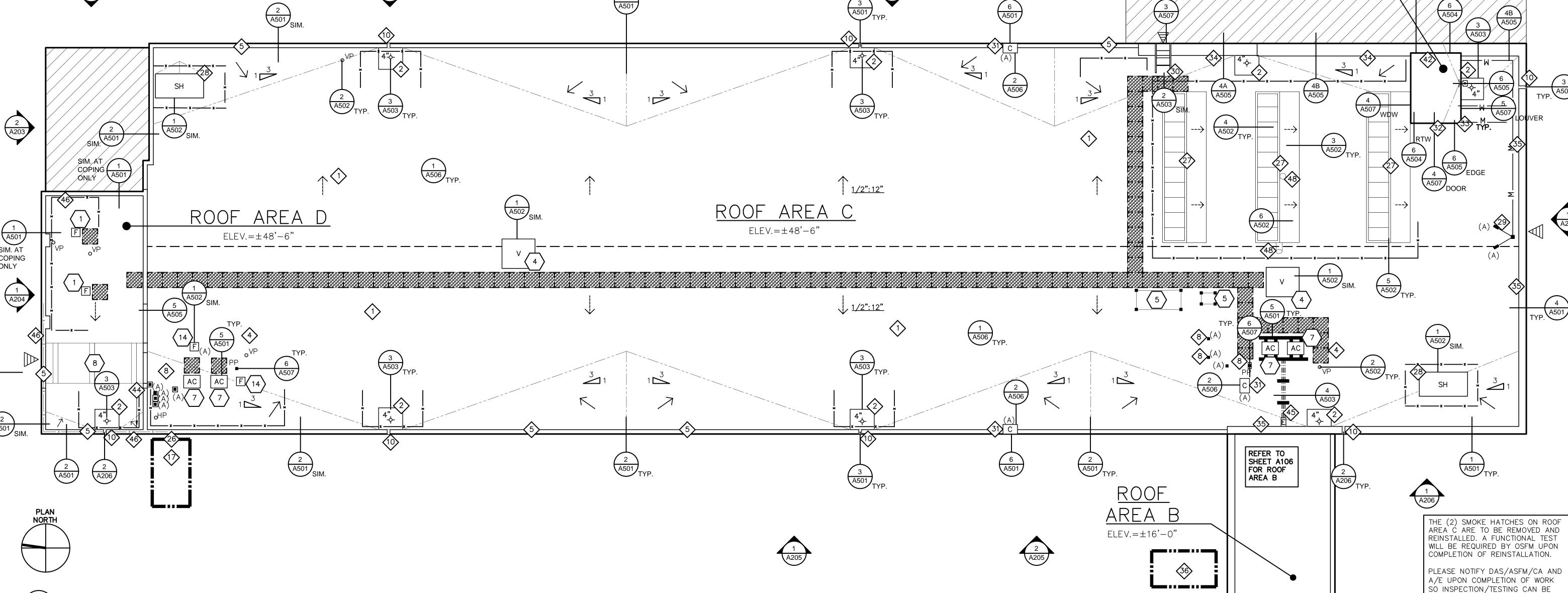


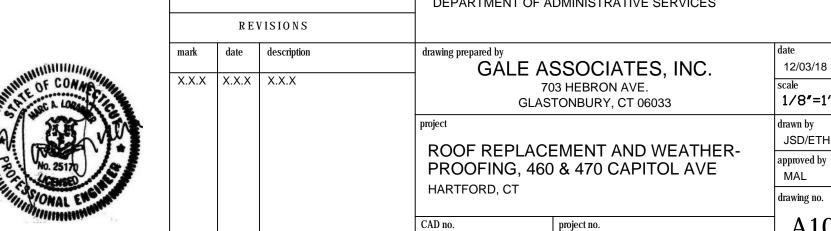
ROOF AREA PLAN STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES REVISIONS drawing prepared by
GALE ASSOCIATES, INC. 12/03/18 X.X.X X.X.X X.X.X 703 HEBRON AVE. 1/8"=1'-0" GLASTONBURY, CT 06033 JSD/ETH ROOF REPLACEMENT AND WEATHERapproved by PROOFING, 460 & 470 CAPITOL AVE MAL HARTFORD, CT drawing no. A105 CAD no. H:\976820 project no. BI-2B-433

CONDUCTED.

KEY PLAN

NOT TO SCALE





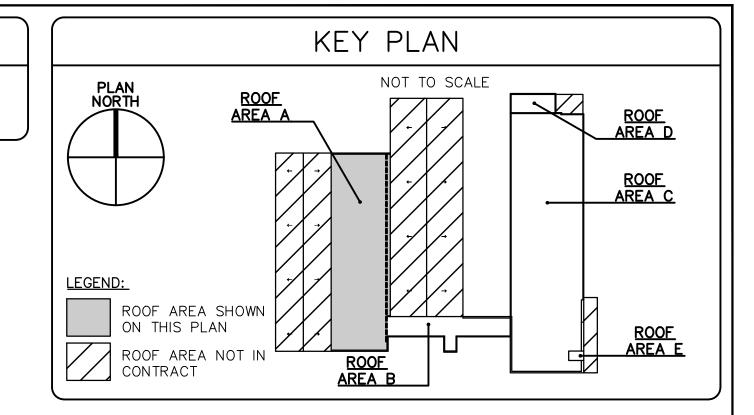
MECHANICAL NOTES

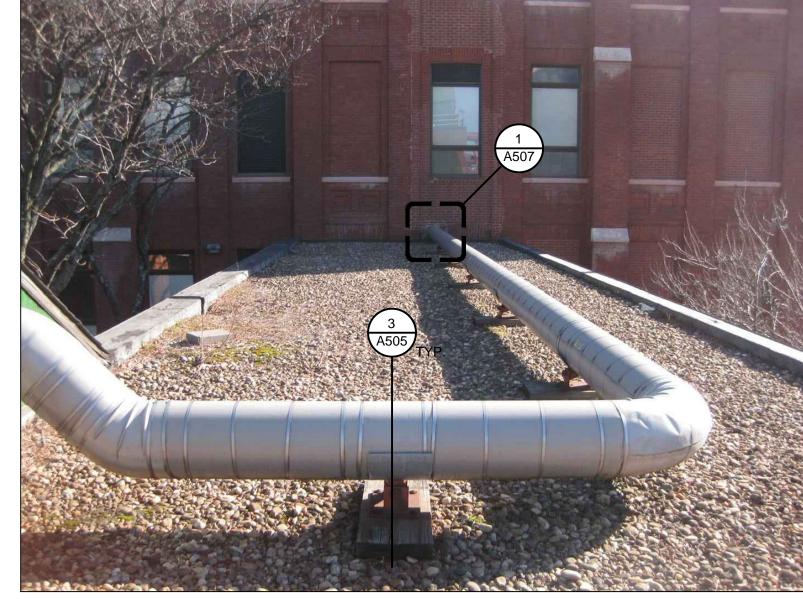
MECHANICAL NOTES APPLY TO ROOF AREA PLANS, SHEETS A103, A105,

- 1 ROOF EXHAUST FAN EXISTING TO REMAIN. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE EXHAUST FAN FROM CURB AND STORE ON SITE FOR RE—INSTALL. RAISE EXISTING CURB ON NEW BLOCKING. CLEAN FAN WHEEL AND HOUSING. PROVIDE NEW ROOF CURB DISCONNECT SWITCH AND BACK DRAFT DAMPER. EXTEND AND RECONNECT POWER AND CONTROL WIRING AND START FAN.
- GREASE ROOF EXHAUST FAN EXISTING TO REMAIN. COORDINATE WITH OWNER TO DISCONNECT AND RECONNECT FANS WHILE KITCHEN EQUIPMENT IS NOT IN USE. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE EXHAUST FAN FROM CURB AND STORE ON SITE FOR RE—INSTALL. CLEAN FAN WHEEL AND HOUSING. PROVIDE NEW ROOF CURB DISCONNECT SWITCH AND BACK DRAFT DAMPER. EXTEND AND RECONNECT POWER AND CONTROL WIRING AND START FAN.
- $\sqrt{3}$ NOT USED
- GRAVITY HOODS EXISTING TO REMAIN. DISCONNECT AND MAKE SAFE FOR RE—INSTALL. REMOVE HOOD AND STORE ON PROJECT SITE FOR RE—INSTALL. RAISE EXISTING CURB ON NEW BLOCKING, RESET GRAVITY HOOD AND RECONNECT WIRING, IF ANY. PROVIDE NEW STAINLESS STEEL MESH HOOD BIRD SCREEN AS REQUIRED FOR ANY DAMAGED OR
- CONDENSER UNIT— EXISTING TO BE REMOVED. DISCONNECT POWER AND CONTROL WIRING BACK TO ITS SOURCE BELOW ROOF AND MAKE SAFE. REMOVE REFRIGERANT AND OIL FROM SYSTEM AND DISPOSE OF PER EPA REQUIREMENTS (±80 LBS OF R-22 REFRIGERANT). DISCONNECT REFRIGERANT PIPING, REMOVE CONDENSER AND DUNNAGE. REMOVE FROM PROJECT SITE AND DISPOSE OF PER EPA REQUIREMENTS.
- 6 CONDENSER EXISTING TO REMAIN. REVIEW FOR REFRIGERANT LEAKS PRIOR TO WORK. DOCUMENT AND REPORT CONDITIONS TO A/E AND OWNER. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE REFRIGERANT AND OIL FROM SYSTEM PER EPA REQUIREMENTS. (±80 LBS OF R-22 REFRIGERANT). DISCONNECT REFRIGERANT PIPING. RE-INSTALL CONDENSER ON EXISTING SUPPORT, COORDINATE WITH ROOFING CONTRACTOR, RECONNECT REFRIGERANT PIPING, TRIPLE EVACUATE AND RECHARGE REFRIGERANT SYSTEM. REVIEW FOR REFRIGERANT LEAKS AND REPAIR AS ENCOUNTERED. RECONNECT POWER AND CONTROL WIRING AND RESTART SYSTEM IN ACCORDANCE WITH OWNER'S MANUAL. DOCUMENT AND REPORT STARTUP TO A/E. CONDENSER FANS SHALL BE CHECKED FOR PROPER OPERATION AND ROTATION.
- MITSUBISHI CONDENSING UNITS EXISTING TO REMAIN. REVIEW FOR REFRIGERANT LEAKS PRIOR TO WORK. DOCUMENT AND REPORT CONDITIONS TO A/E AND OWNER. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE REFRIGERANT AND OIL FROM SYSTEM PER EPA REQUIREMENTS. (±20 LBS OF R410A REFRIGERANT EACH) DISCONNECT REFRIGERANT PIPING. RE—INSTALL CONDENSING UNIT ON NEW CURBS, COORDINATE WITH ROOFING CONTRACTOR, RECONNECT REFRIGERANT PIPING, TRIPLE EVACUATE AND RECHARGE SYSTEM. REVIEW FOR REFRIGERANT LEAKS AND REPAIR AS ENCOUNTERED. RECONNECT POWER AND CONTROL WIRING AND RESTART SYSTEM IN ACCORDANCE WITH OWNER'S MANUAL. DOCUMENT AND REPORT STARTUP TO A/E. CONDENSER FANS SHALL BE CHECKED FOR PROPER OPERATION AND ROTATION.
- 8 COOLING TOWER EXISTING TO BE REMOVED. DISCONNECT WATER MAKE UP, SUPPLY AND RETURN WATER PIPING AND CAP BELOW ROOF. DISCONNECT POWER AND CONTROL WIRING BACK TO ITS SOURCE AND MAKE SAFE. REMOVE COOLING TOWER AND DUNNAGE FROM PROJECT SITE AND DISPOSE OF PER EPA REQUIREMENTS.
- GAS FIRED RTU EXISTING TO BE REMOVED. PRIOR TO WORK, CONTACT UTILITY PROVIDER AN ENSURE GAS IS SHUT—OFF AND THE PIPES ARE CLEARED PER MEP NOTE 10 BELOW. DISCONNECT DUCTWORK, CAP ON ROOF AND MAKE WATERTIGHT. REMOVE GAS FIRED FURNACE AND DUNNAGE FROM PROJECT SITE AND DISPOSE OF IN A LEGAL AND LAWFUL MANNER PER EPA REQUIREMENTS.
- NATURAL GAS PIPING EXISTING TO BE REMOVED. PRIOR TO WORK, CONTACT UTILITY PROVIDER AN ENSURE GAS IS SHUT—OFF. PURGE—OUT—OF—SERVICE EXISTING GAS LINES FROM THE MAIN TO THE ROOFTOP UNIT IN ACCORDANCE WITH IFGS REQUIREMENTS. CAP EXISTING INTERIOR GAS LINE AT THE MAIN AND ON THE INSIDE OF THE ROOF PENETRATION AND ABANDONED IN PLACE. PURGE—OUT—OF—SERVICE, REMOVE, AND DISPOSE OF ROOFTOP GAS LINE
- CHILLED WATER PIPING EXISTING TO REMAIN. DISCONNECT, DRAIN, RELOCATE, AND REINSTALL CHILLED WATER PIPING TO INCREASE CLEARANCE TO 12" ABOVE NEW FINISHED ROOF. PROVIDE ADDITIONAL SCHEDULE 40 BLACK IRON PIPING, INSULATION AND JACKETING OF SAME DIAMETER AS REQUIRED TO RECONNECT ALL PIPING. FURNISH AND INSTALL NEW LINE CABLING WITH GFIC PLUG-IN, MATCHING THE VOLTAGE OF THE EXISTING HEAT TRACE. RECONNECT PIPING, INSULATION AND JACKETING TO EXISTING PIPING INSIDE BUILDING AT BOTH ENDS. PROVIDE NEW BUILDING PENETRATIONS AS REQUIRED FOR THE NEW PIPING ENTRANCE INTO BUILDING. PROVIDE EXTENSIONS TO ALL MATERIALS AS REQUIRED TO COMPENSATE FOR ADDITIONAL LENGTHS. NEW BUILDING PENETRATIONS SHALL BE MADE WATERTIGHT, REPAIR EXTERIOR WALL AT EXISTING AND NEW PENETRATIONS AS NECESSARY TO MAINTAIN PRE-CONSTRUCTION APPEARANCE. PRESSURE TEST PIPING TO 150 PSIG PRIOR TO APPLYING INSULATION, HEAT TAPE AND JACKETING. DOCUMENT AND REPORT CONDITIONS TO A/E AND
- 12 13 NOT USEI
- ROOF EXHAUST FAN EXISTING TO BE REMOVED. DISCONNECT POWER AND CONTROL WIRING BACK TO ITS SOURCE AND MAKE SAFE. REMOVE EXHAUST FAN AND CURB FROM PROJECT SITE AN DISPOSE OF PER EPA REQUIREMENTS. REPLACE/INFILL ROOF DECK IN ACCORDANCE WITH SECTION 06 10 00.

SHEET NOTES

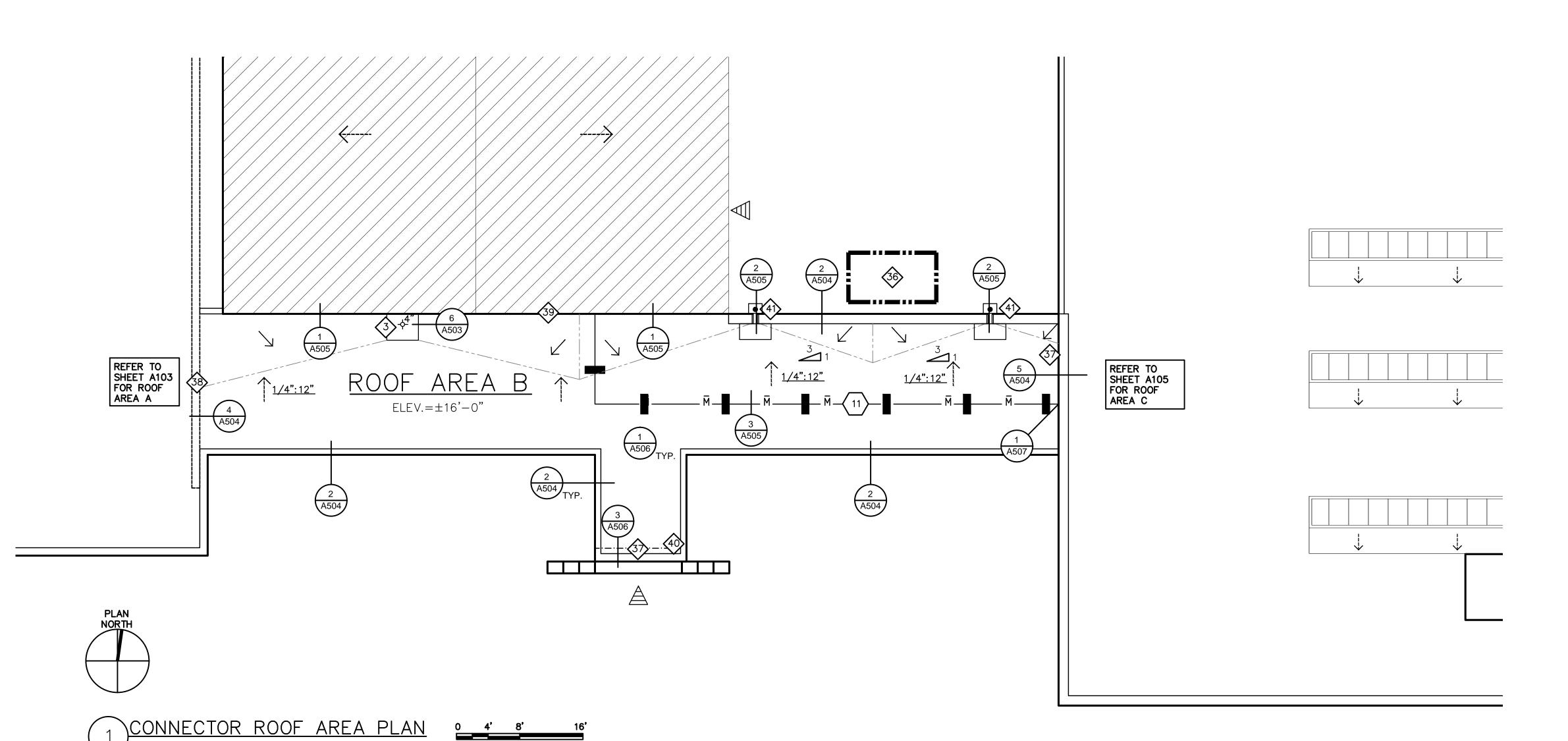
REFER TO ROOF PLAN SHEET NOTES ON G101













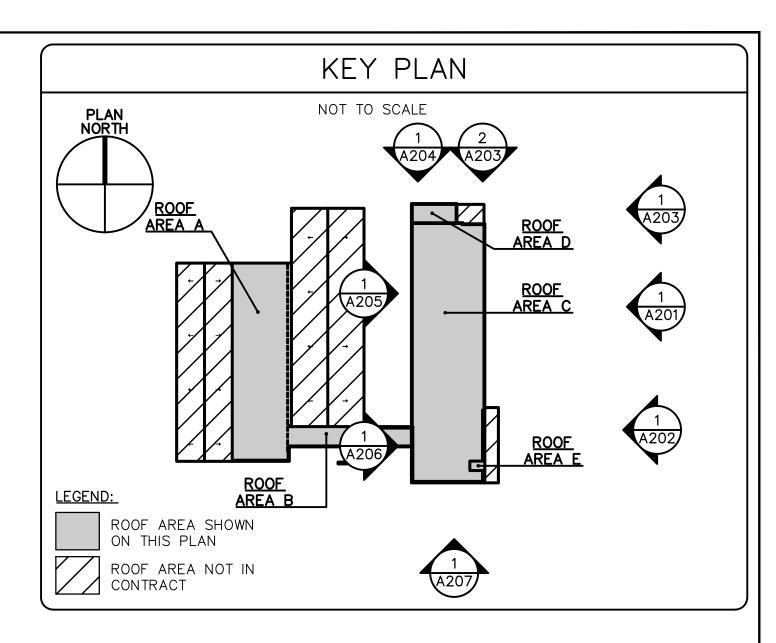
REVISIONS

| Mark | date | description | drawing prepared by | GALE ASSOCIATES, INC. | 703 HEBRON AVE. | GLASTONBURY, CT 06033 | Scale | 1/8"=1'-0" | Droject | ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE | HARTFORD, CT | drawing no.

project no. BI-2B-433

CAD no. H:\976820 A106





- # REFER TO SHEET NOTES ON A201-A207.
- REMOVE AND REBUILD BRICK MASONRY AT ROOF EDGE.*.
- REPOINT BRICK MASONRY*. REMOVE AND REPLACE CRACKED/SPALLED BRICKS, WHERE ENCOUNTERED WITHIN LIMITS SHOWN TOTAL OF 100 ALL ELEVATIONS. PROVIDE PROTECTION OF EXISTING BRICK MASONRY, WINDOWS, AND EQUIPMENT TO REMAIN.
- 1B NEW BRICK MASONRY*
- REMOVE EXISTING CHIMNEY DOWN TO DECK LEVEL. PROVIDE NEW WOOD BLOCKING, STEEL PLATE DECK INFILL, NEW EDGE METAL. SEE DETAIL 6/A501.
- REMOVE AND REBUILD PARAPET. SEE DETAILS ON SHEET A501.
- REMOVE AND REPLACE PERIMETER SEALANT AT EXISTING LOUVER.
- FREMOVE STEEL DUNNAGE EMBEDDED IN BRICK CURB. REMOVE AND REBUILD BRICK MASONRY.
- 6 APPROXIMATE LOCATION OF NOTCHED EDGE SCUPPER, REFER TO A105 FOR LOCATIONS AND DETAIL 3/A501 FOR SECTION AND ISOMETRIC VIEWS.
- REMOE AND SIPOSE OF BRICK COURSES AT EXTERIOR WYTHE THAT ARE COVERES IN BLACK MASTIC AND REPLACE WITH NEW. "_C" INDICATES NUMBER OF COURSES.
- APPROXIMATE LOCATION OF CORED THROUGHWALL SCUPPER. REFER TO A105 FOR LOCATIONS AND DETAILS 2/A502, 3/A205 AND 4/A205.
- *"_C" INDICATES NUMBER OF COURSES

1 460 PHOTO ELEVATION — PARTIAL EAST MASONRY WORK SCALE: NOT TO SCALE

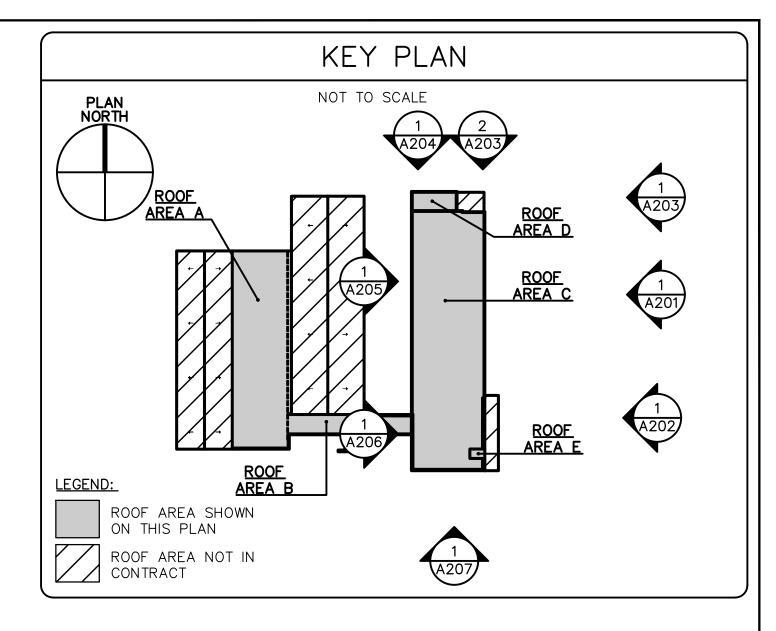


| drawing title PHOTOGRAPHIC ELEVATIONS REVISIONS | | | ' | STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES | | |
|---|-------|-------------|---------------------|--|------------------|--|
| mark | date | description | drawing prepared by | ASSOCIATES INC | date 12/03/18 | |
| X.X.X | X.X.X | X.X.X | | ASSOCIATES, INC. 703 HEBRON AVE. ASTONBURY, CT 06033 | scale N.T. | |
| | | | project | | drawn by JSD/ETH | |
| | | | PROOFING, 4 | ROOF REPLACEMENT AND WEATHER- PROOFING, 460 & 470 CAPITOL AVE | | |
| | | | HARTFORD, CT | | drawing no. | |
| | | | CAD no. | project no. | Δ20 | |

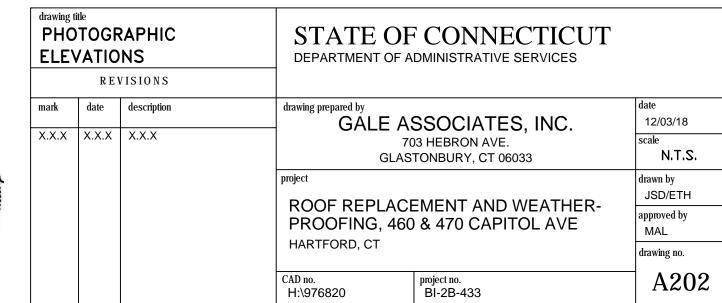




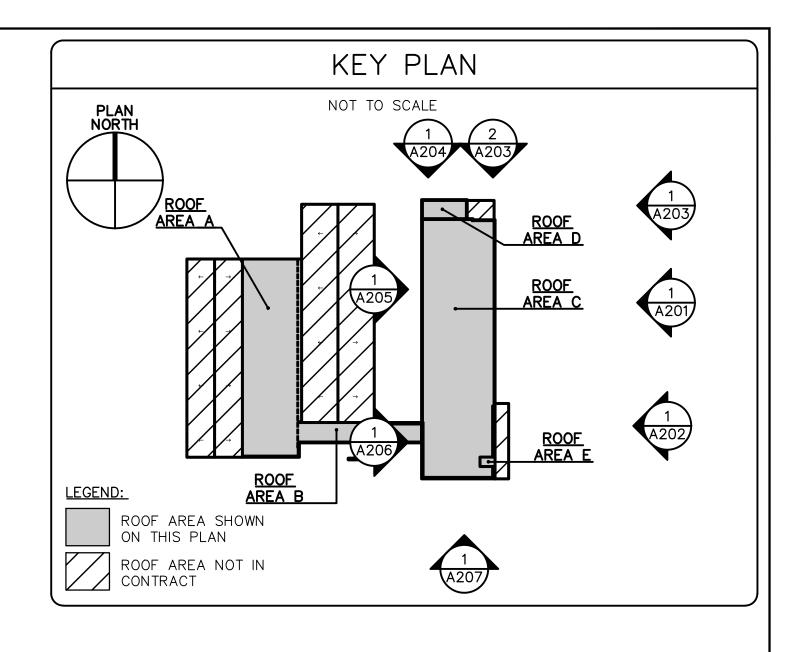


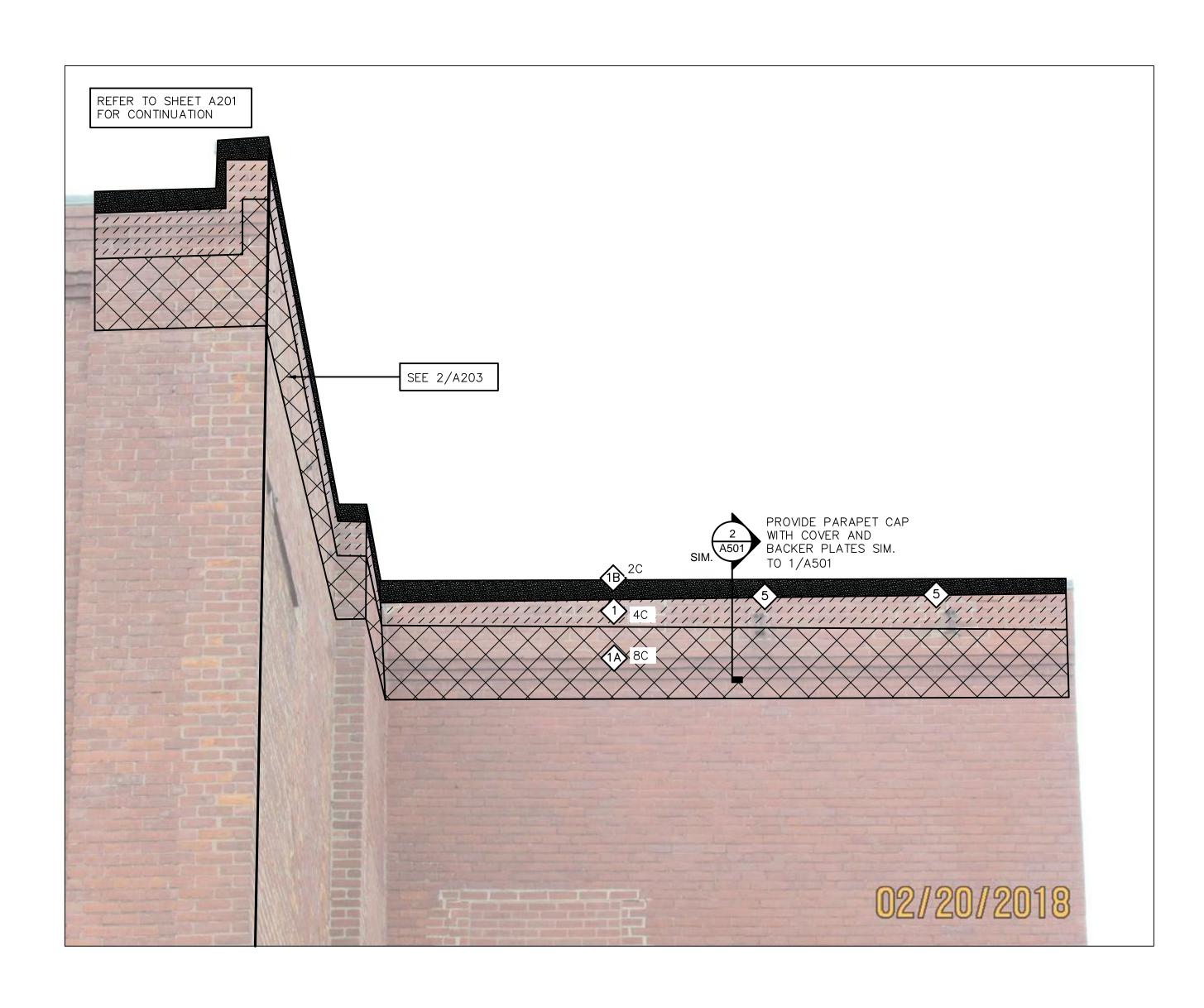


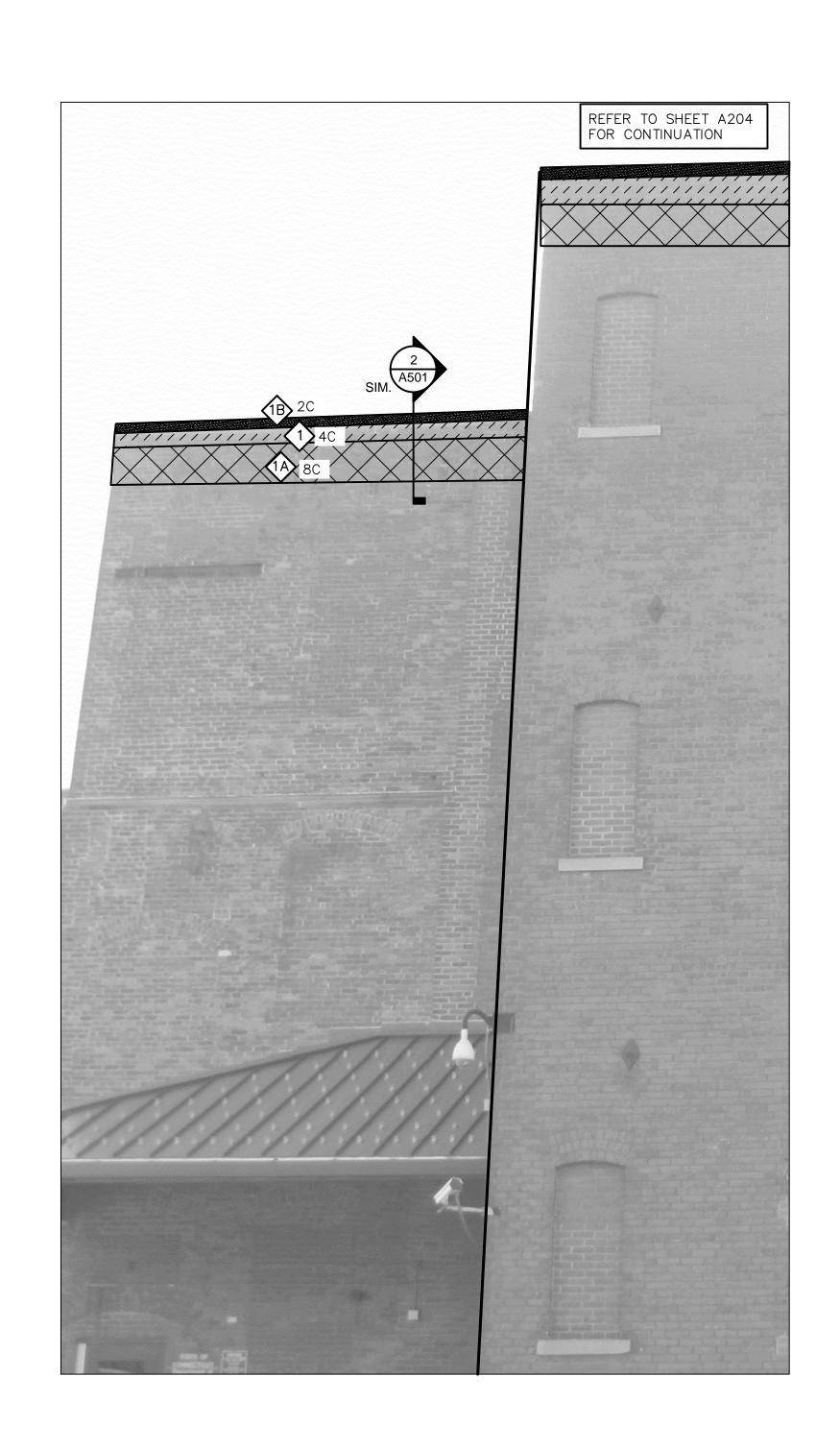
- REFER TO SHEET NOTES ON A201-A207.
- REMOVE AND REBUILD BRICK MASONRY AT ROOF EDGE.*.
- REPOINT BRICK MASONRY*. REMOVE AND REPLACE CRACKED/SPALLED BRICKS, WHERE ENCOUNTERED WITHIN LIMITS SHOWN TOTAL OF 100 ALL ELEVATIONS. PROVIDE PROTECTION OF EXISTING BRICK MASONRY, WINDOWS, AND EQUIPMENT TO REMAIN.
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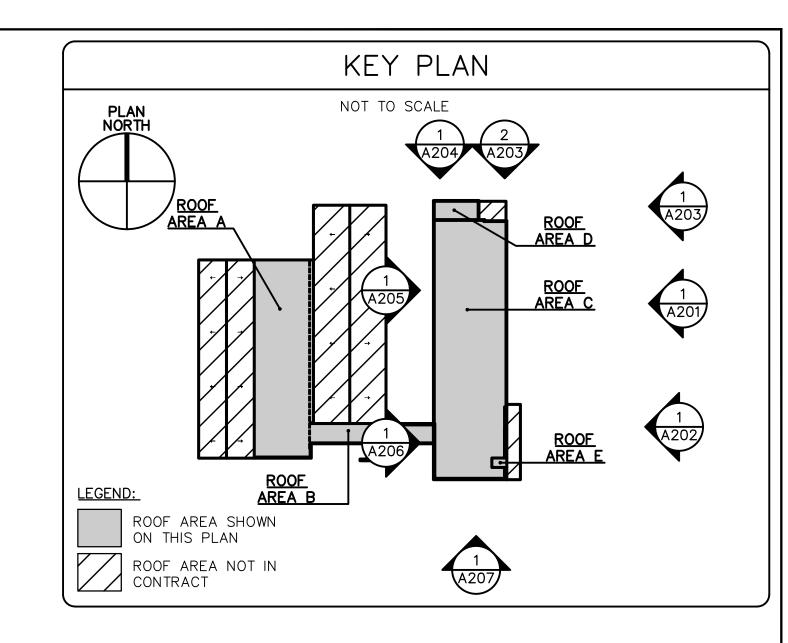
*"_C" INDICATES NUMBER OF COURSES

1 460 PHOTO ELEVATION — PARTIAL EAST MASONRY WORK SCALE: NOT TO SCALE

2 460 PHOTO ELEVATION — PARTIAL NORTH MASONRY WORK SCALE: NOT TO SCALE

| drawing title PHOTOGRAPHIC ELEVATIONS REVISIONS | | | STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES | | | | |
|---|---------------|--------------------|--|--|--|--|--|
| mark X.X.X | date X.X.X | description X.X.X | drawing prepared by GALE ASSOCIATES, INC. 703 HEBRON AVE. GLASTONBURY, CT 06033 | date 12/03/18 scale N.T.S. | | | |
| | | | ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE | drawn by JSD/ETH approved by MAL drawing no. | | | |
| | | | CAD no. project no. BI-2B-433 | A203 | | | |





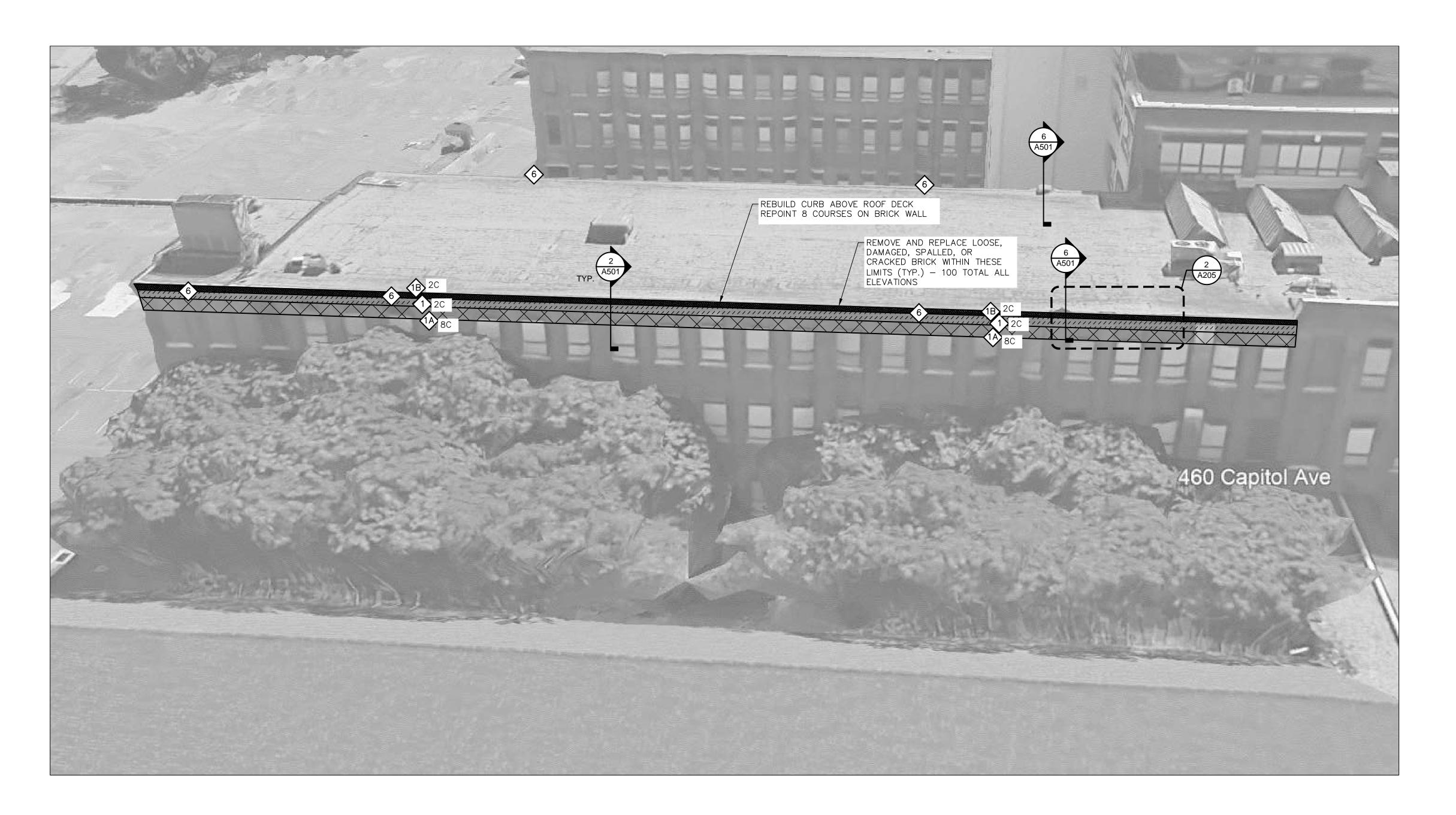
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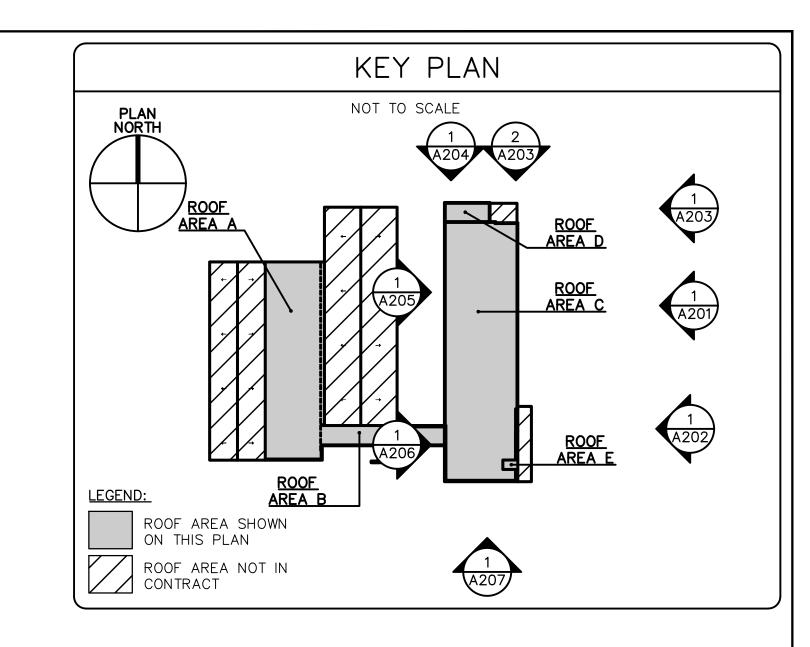
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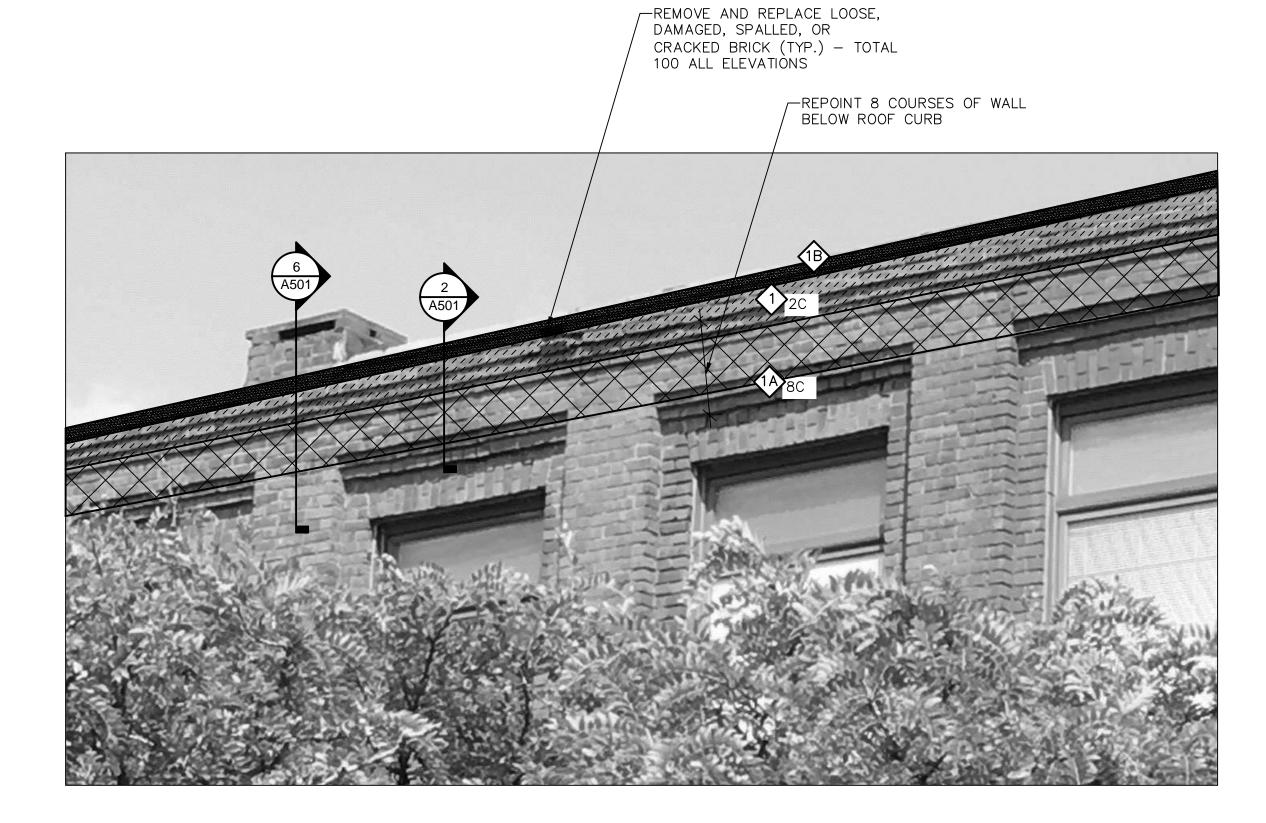


| OTOGRAPHIC EVATIONS | | | STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES | | |
|------------------------|-------|-------------|--|-------------------|--|
| | REV | VISIONS | | | |
| | date | description | drawing prepared by GALE ASSOCIATES, INC. | date 12/03/ | |
| < | X.X.X | X.X.X | 703 HEBRON AVE. GLASTONBURY, CT 06033 | scale N.7 | |
| | | | project | drawn by JSD/E | |
| | | | ROOF REPLACEMENT AND WEATHER- PROOFING, 460 & 470 CAPITOL AVE | approved MAL | |



1 460 PHOTO ELEVATION - PARTIAL WEST MASONRY WORK SCALE: NOT TO SCALE



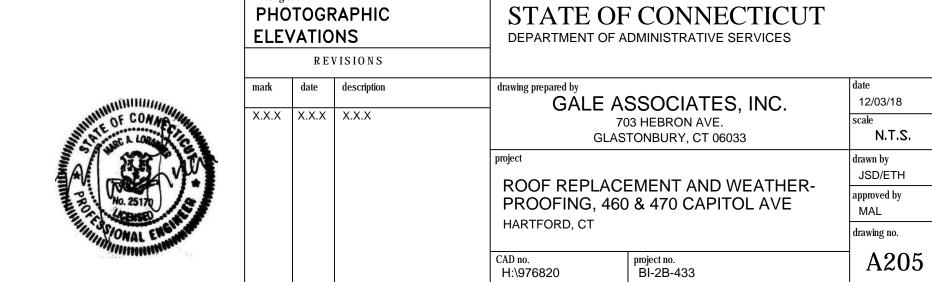


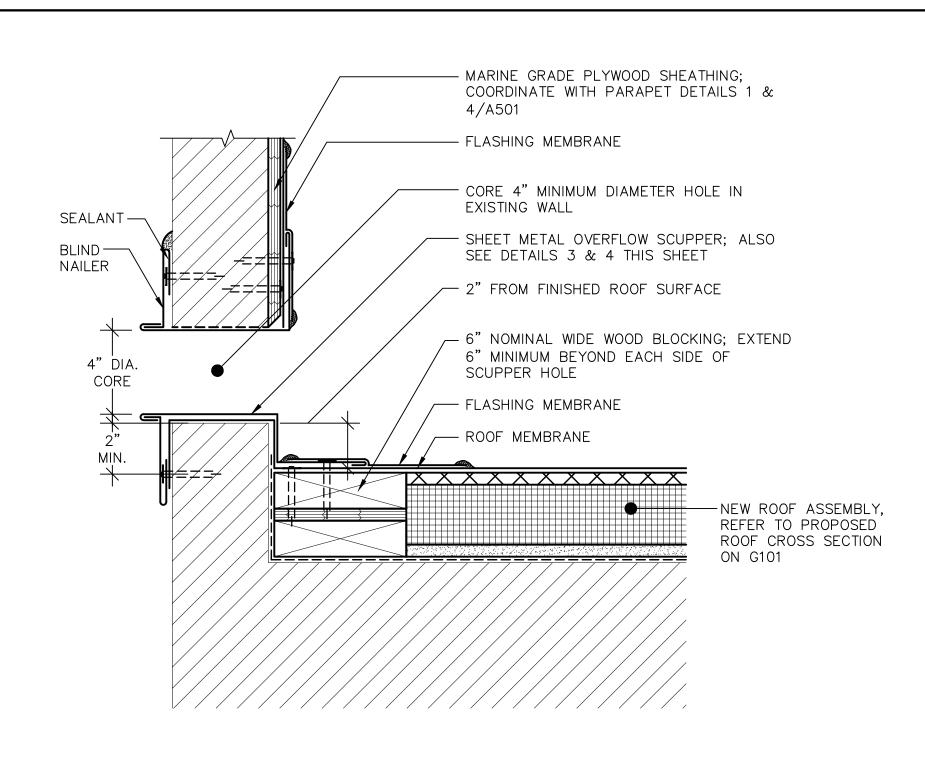
2 460 PHOTO ELEVATION - ENLARGED PARTIAL WEST MASONRY WORK
SCALE: NOT TO SCALE

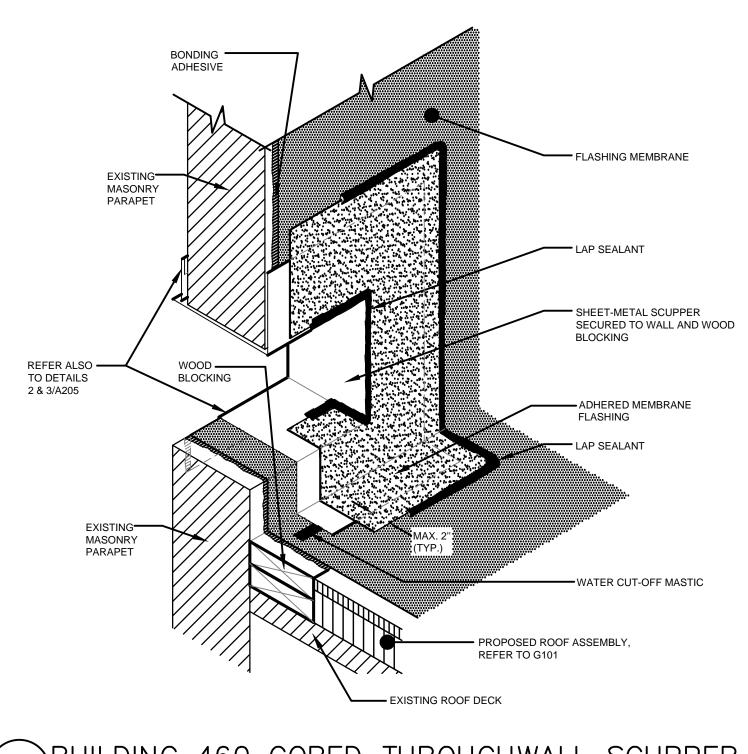
ELEVATION SHEET NOTES

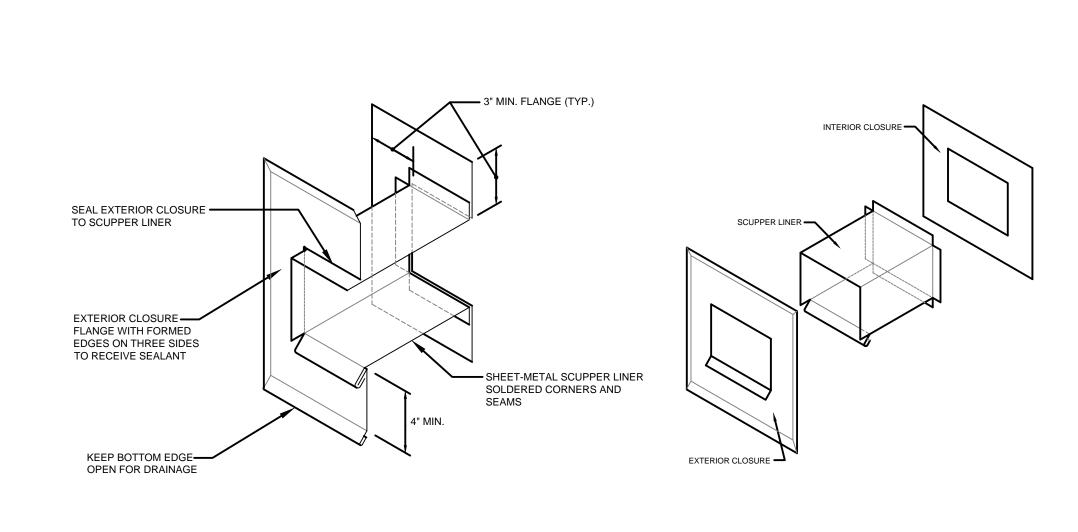
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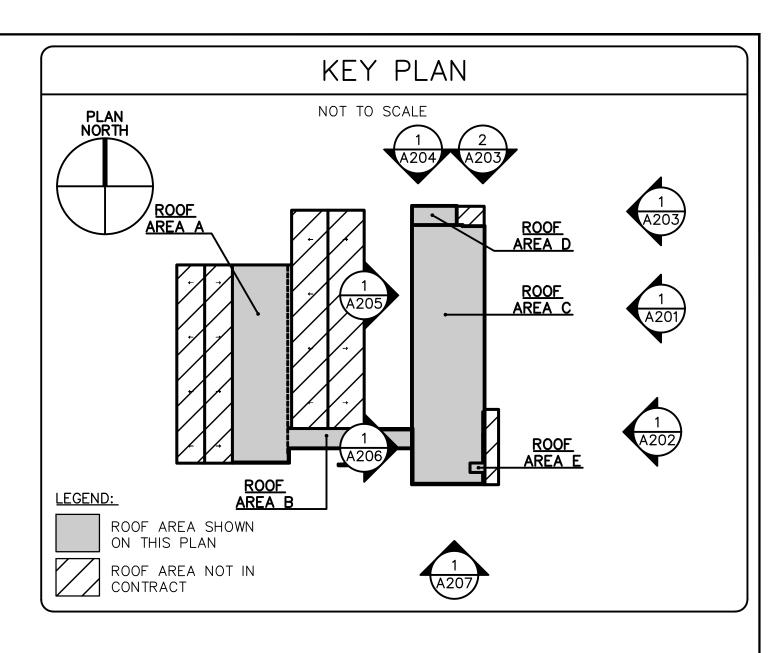
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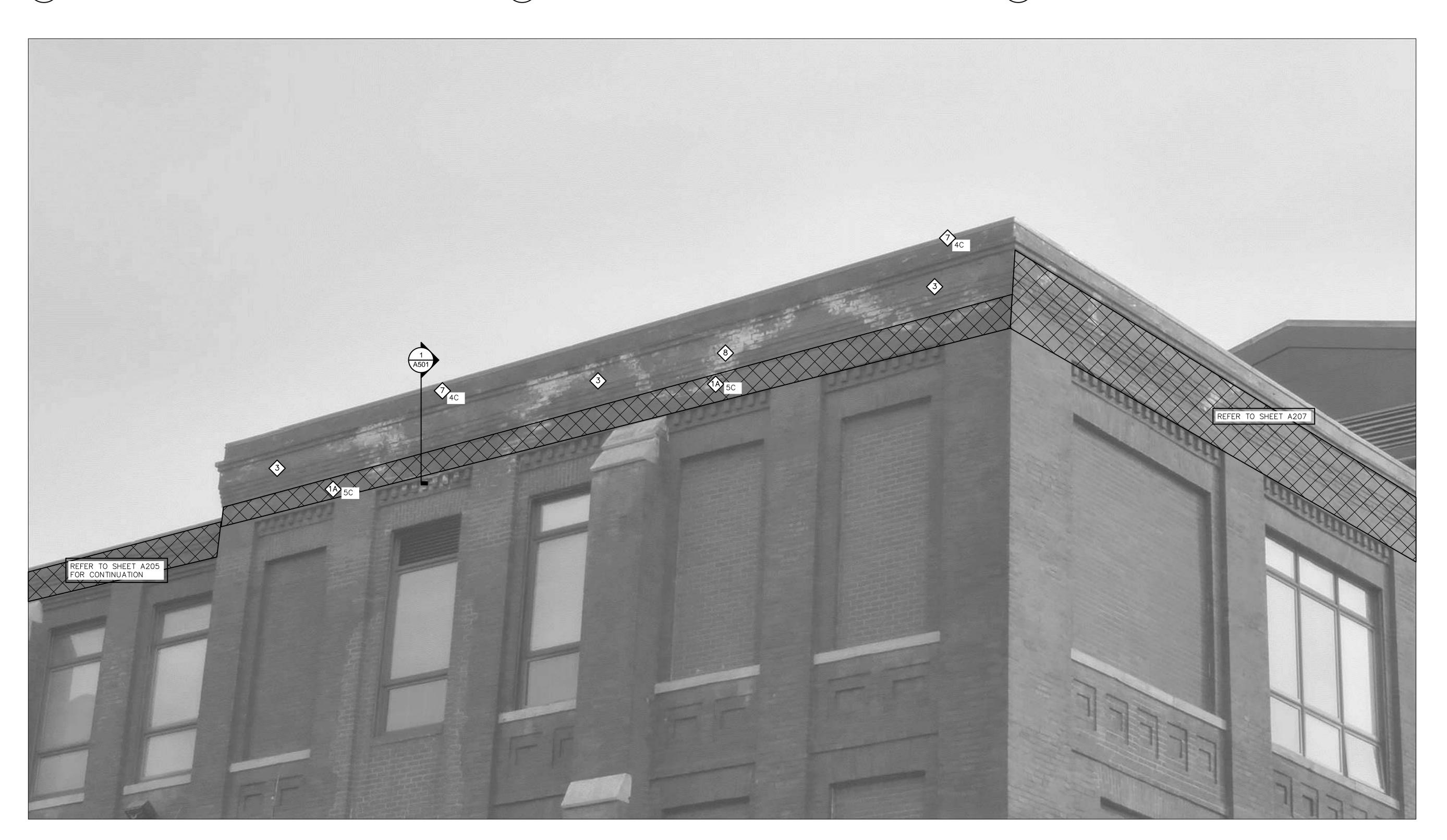


2 BUILDING 460 CORED THROUGHWALL SCUPPER SCALE: 3"=1'-0"

BUILDING 460 CORED THROUGHWALL SCUPPER ISOMETRIC

SCALE: NOT TO SCALE

4 BUILDING 460 CORED THROUGHWALL SCUPPER ISOMETRIC



ELEVATION SHEET NOTES

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- *"_C" INDICATES NUMBER OF COURSES

STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES **ELEVATIONS** REVISIONS drawing prepared by

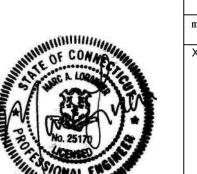
GALE ASSOCIATES, INC.

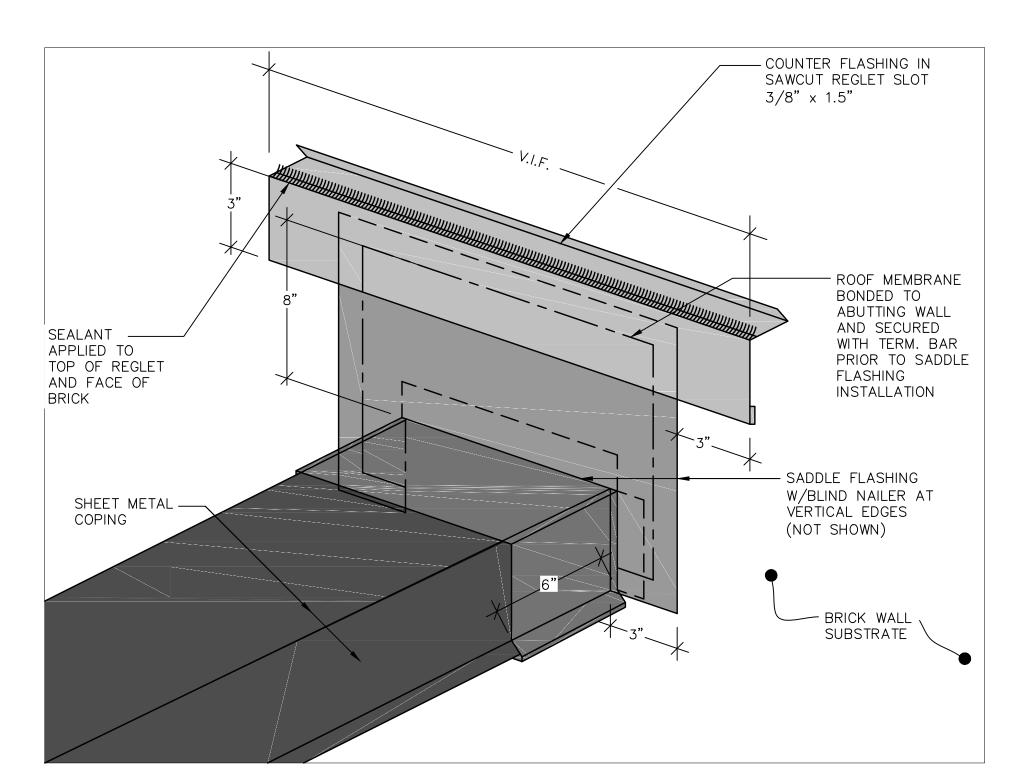
703 HEBRON AVE.

GLASTONBURY, CT 06033 X.X.X X.X.X X.X.X N.T.S. drawn by JSD/ETH ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE HARTFORD, CT drawing no. A206 CAD no. H:\976820 project no. BI-2B-433

drawing title
PHOTOGRAPHIC

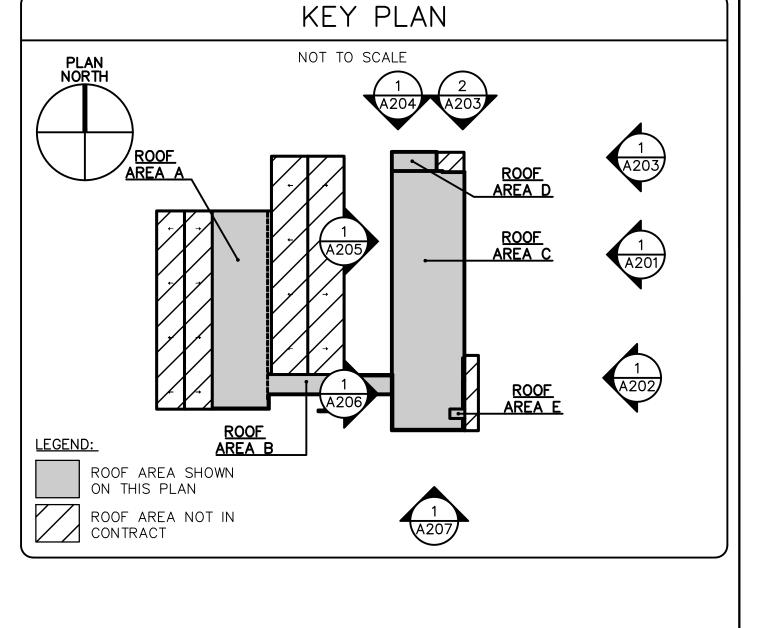
1 460 PHOTO ELEVATION — PARTIAL WEST MASONRY WORK SCALE: NOT TO SCALE



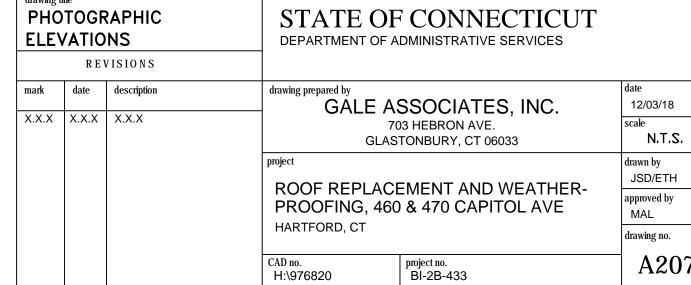


BUILDING 460 - PARAPET COPING TRANSITION SCALE: NOT TO SCALE (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)





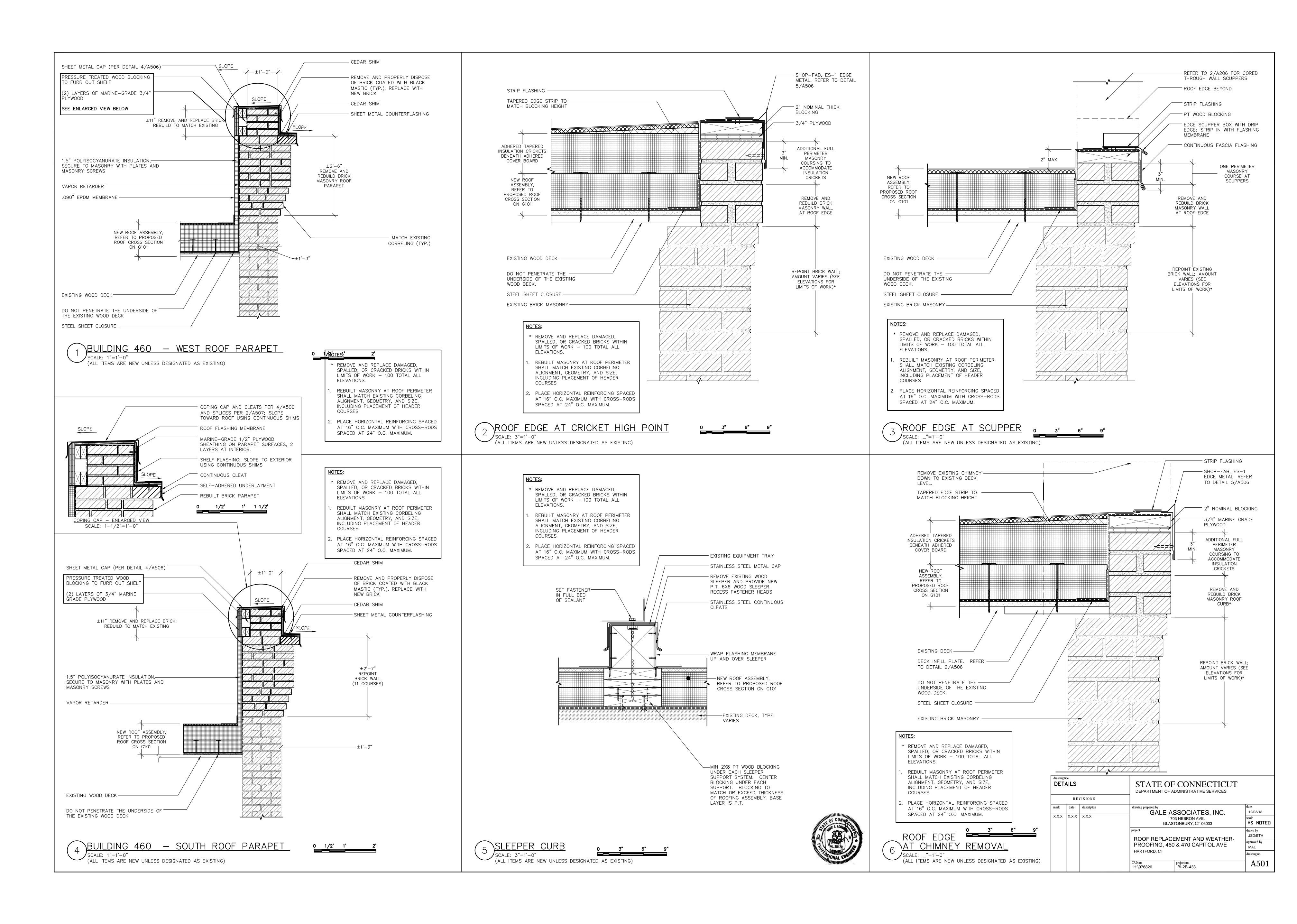
- # REFER TO SHEET NOTES ON A201-A207.
- REMOVE AND REBUILD BRICK MASONRY AT ROOF EDGE.*.
- REPOINT BRICK MASONRY*. REMOVE AND REPLACE CRACKED/SPALLED BRICKS, WHERE ENCOUNTERED WITHIN LIMITS SHOWN TOTAL OF 100 ALL ELEVATIONS. PROVIDE PROTECTION OF EXISTING BRICK MASONRY, WINDOWS, AND EQUIPMENT TO REMAIN.
- 1B NEW BRICK MASONRY*
- REMOVE EXISTING CHIMNEY DOWN TO DECK LEVEL. PROVIDE NEW WOOD BLOCKING, STEEL PLATE DECK INFILL, NEW EDGE METAL. SEE DETAIL 6/A501.
- REMOVE AND REBUILD PARAPET. SEE DETAILS ON SHEET A501.
- 4 REMOVE AND REPLACE PERIMETER SEALANT AT EXISTING LOUVER.
- 5 REMOVE STEEL DUNNAGE EMBEDDED IN BRICK CURB. REMOVE AND REBUILD BRICK MASONRY.
- 6 APPROXIMATE LOCATION OF NOTCHED EDGE SCUPPER, REFER TO A105 FOR LOCATIONS AND DETAIL 3/A501 FOR SECTION AND ISOMETRIC VIEWS.
- REMOE AND SIPOSE OF BRICK COURSES AT EXTERIOR WYTHE THAT ARE COVERES IN BLACK MASTIC AND REPLACE WITH NEW. "_C" INDICATES NUMBER OF COURSES.
- APPROXIMATE LOCATION OF CORED THROUGHWALL SCUPPER. REFER TO A105 FOR LOCATIONS AND DETAILS 2/A502, 3/A205 AND 4/A205.
- *"_C" INDICATES NUMBER OF COURSES

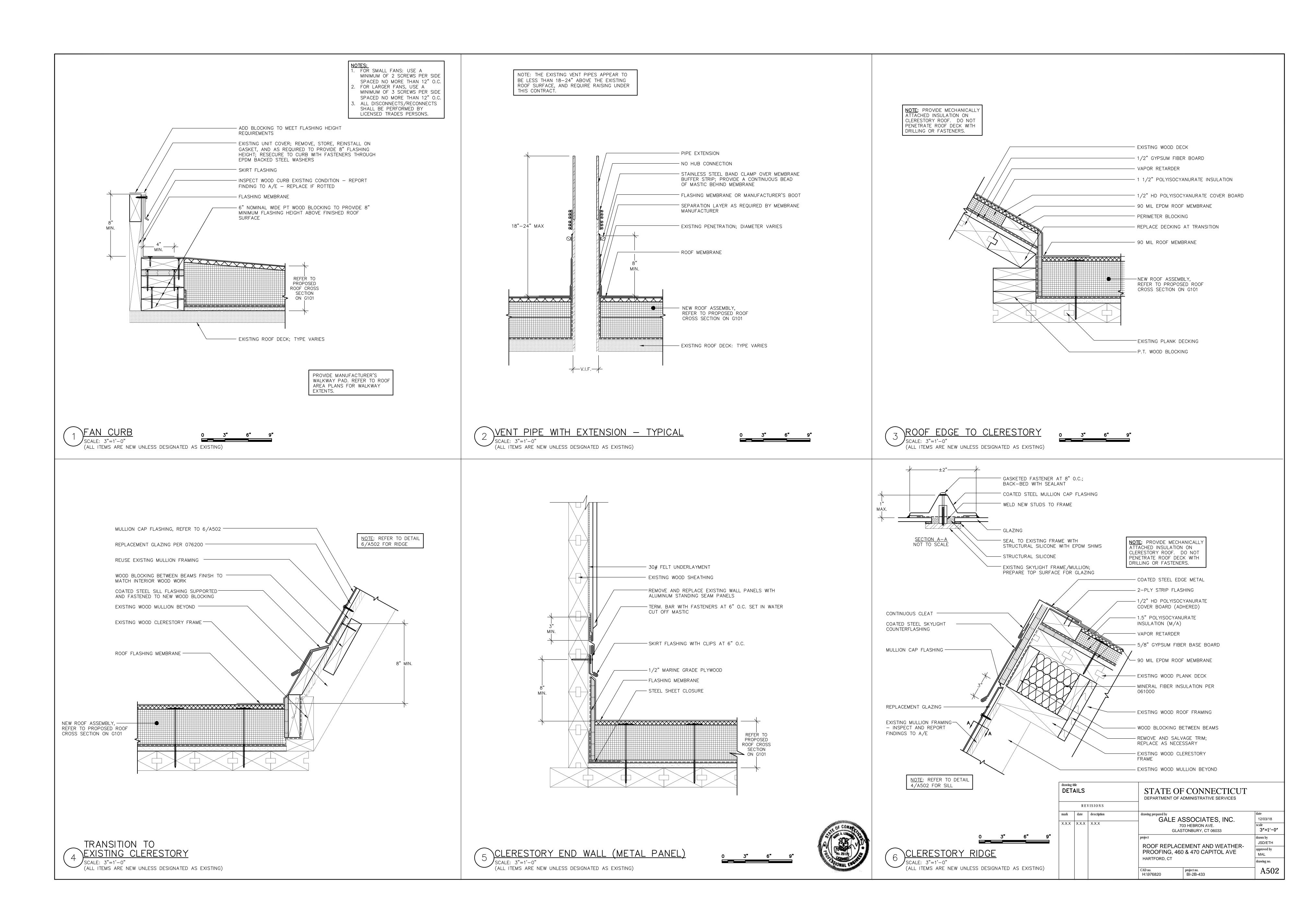


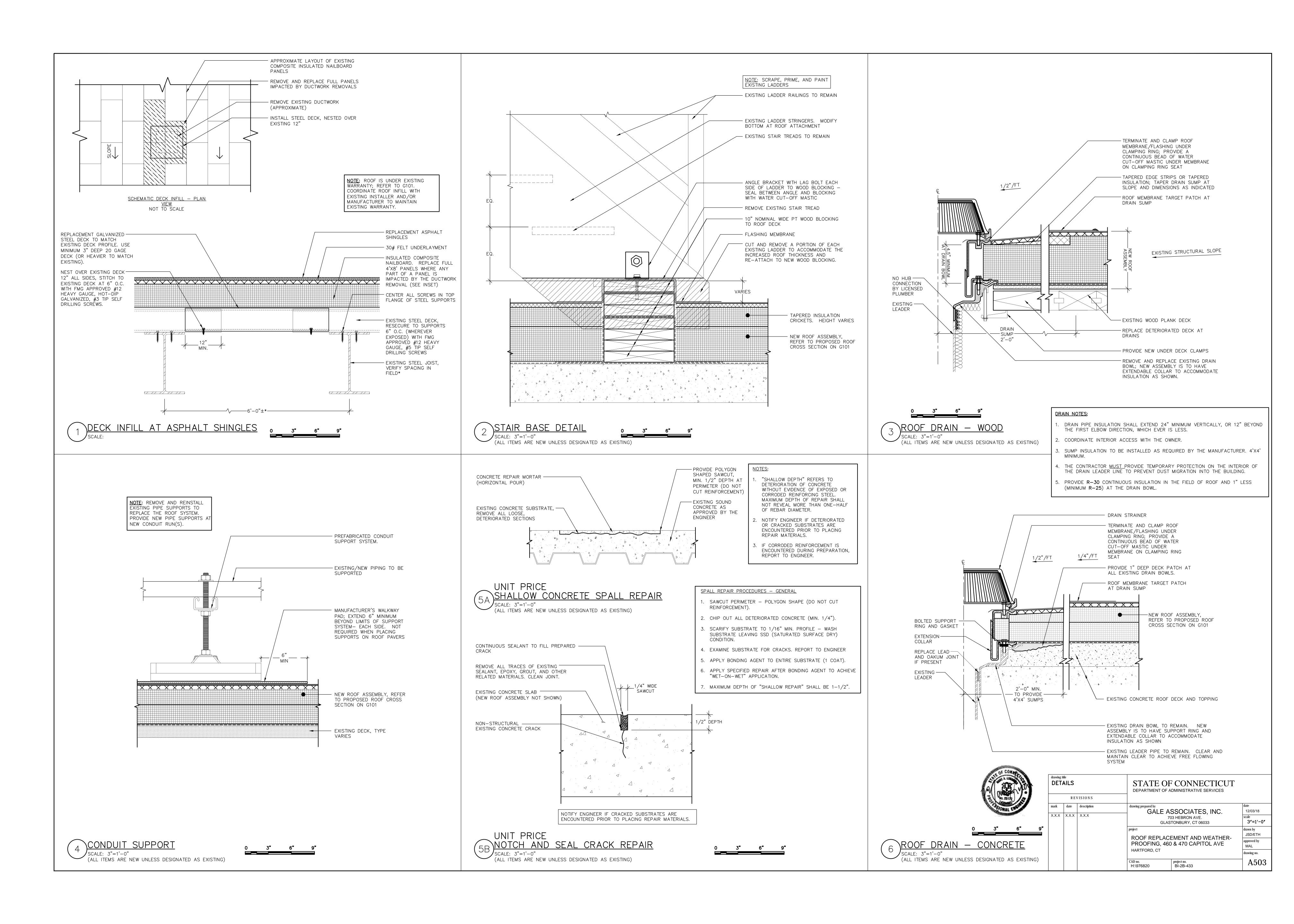
N.T.S.

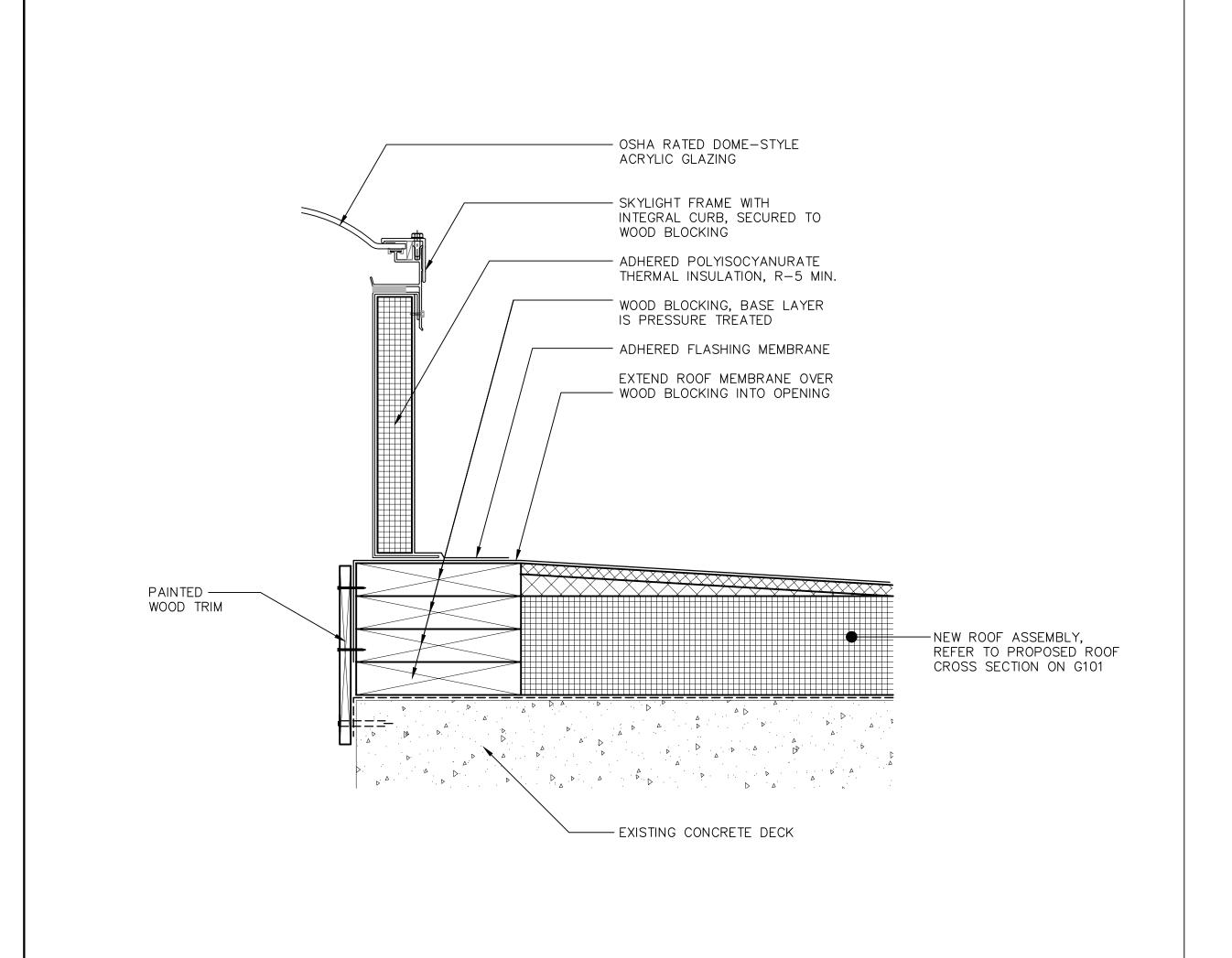
A207

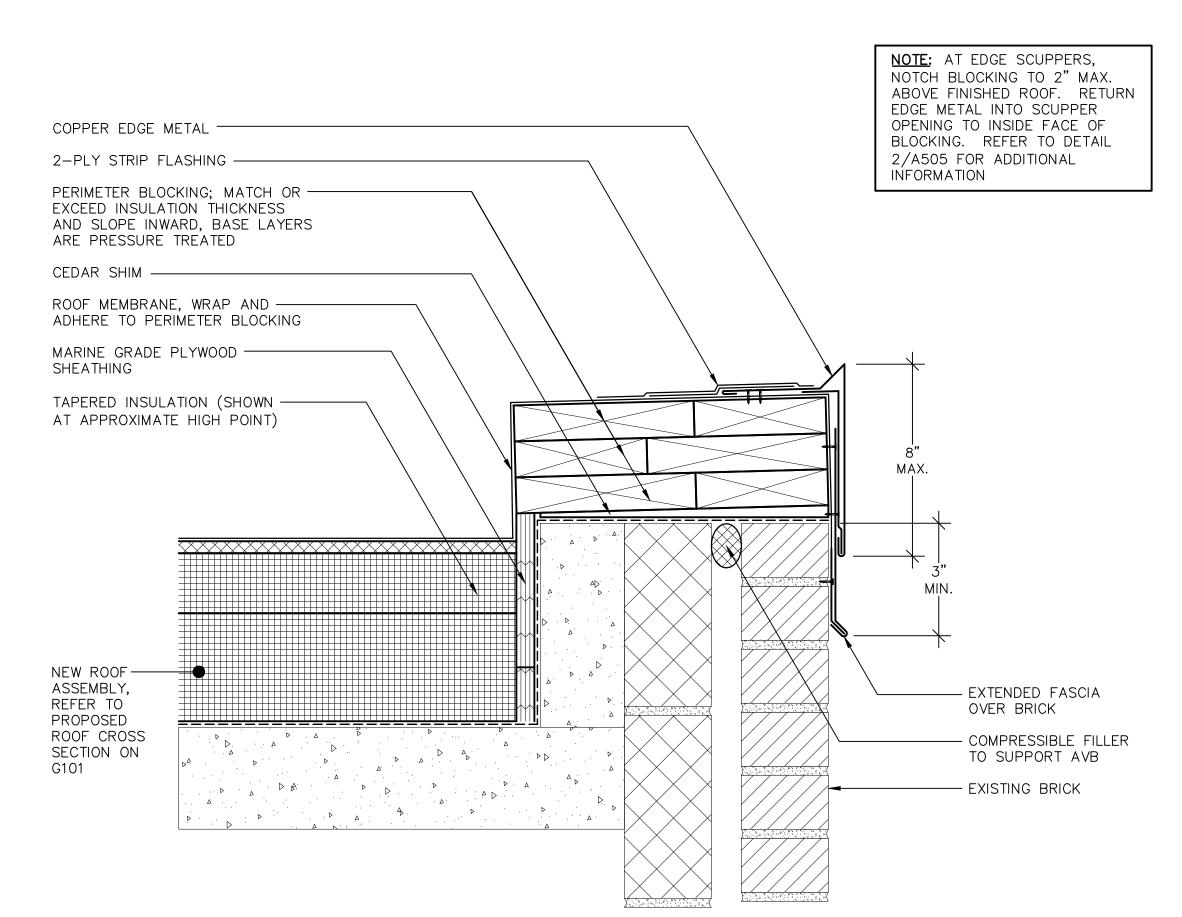
1 460 PHOTO ELEVATION — PARTIAL SOUTH MASONRY WORK SCALE: NOT TO SCALE

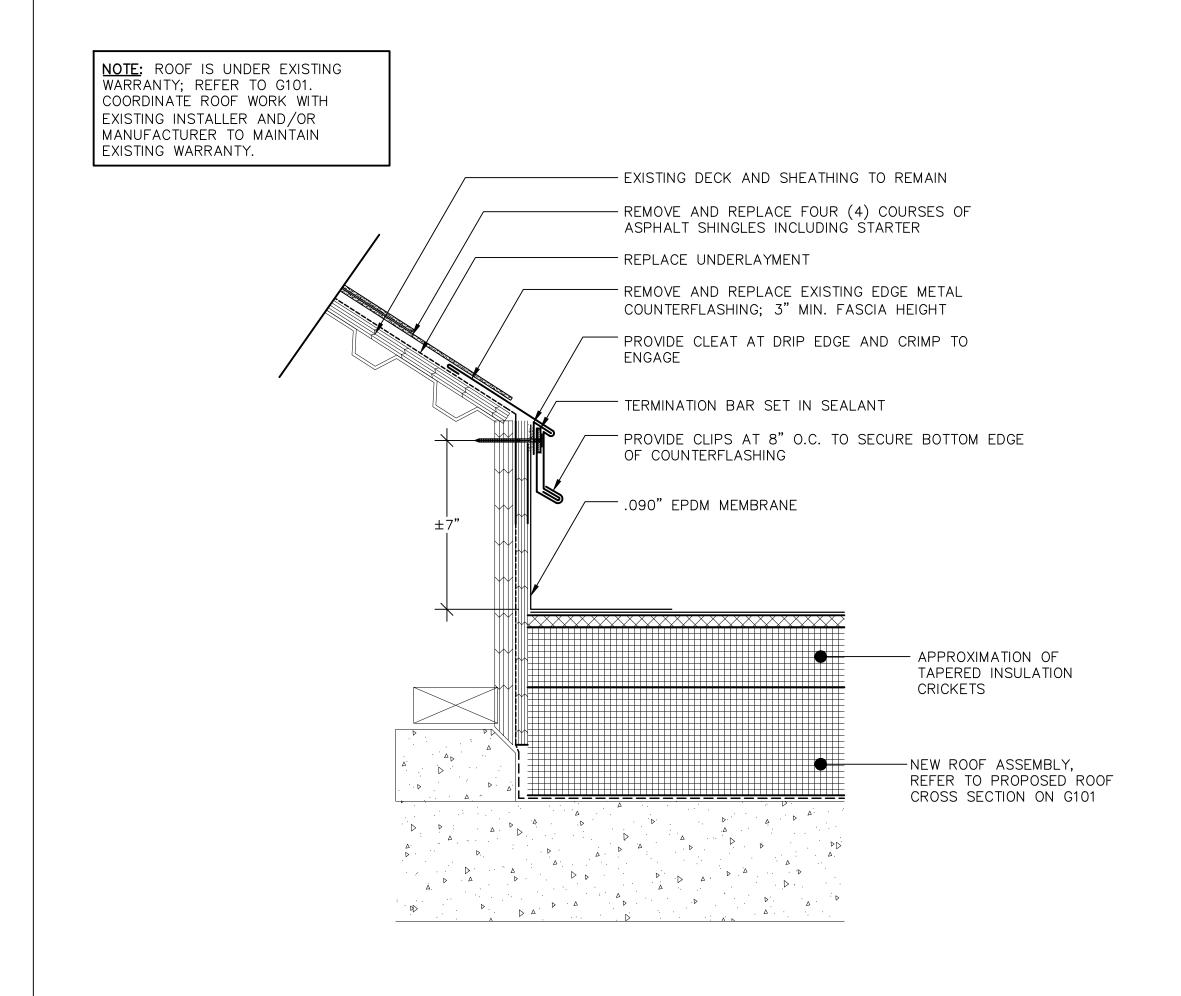












SKYLIGHT CURB (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING) BUILDING 470 - EDGE METAL (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

EXISTING MASONRY TO REMAIN ----

REMOVE AND REINSTALL FOUR ----COURSES OF BRICK. SECURE VENEER

TERMINATION BAR, SET IN MASTIC -

FABRIC THROUGH WALL FLASHING, -

PROVIDE 2" REAR LEG AND END ----

FULL HEAD WEEP AT 24" O.C.

TERMINATION BAR AND MASTIC -

COPPER COUNTERFLASHING WITH ----

FLASHING WITH RECEIVER

FLASHING MEMBRANE ----

EXISTING CONCRETE ——

CLIPS AT 8" O.C.

1/2" MARINE ——

GRADE PLYWOOD

SEALANT -

ROOF DECK

NEW ROOF ASSEMBLY, ---REFER TO PROPOSED ROOF CROSS SECTION ON G101

ONE-WYTHE COPPER THROUGHWALL

REINFORCEMENT TO BACKUP

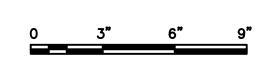
SET IN MASTIC

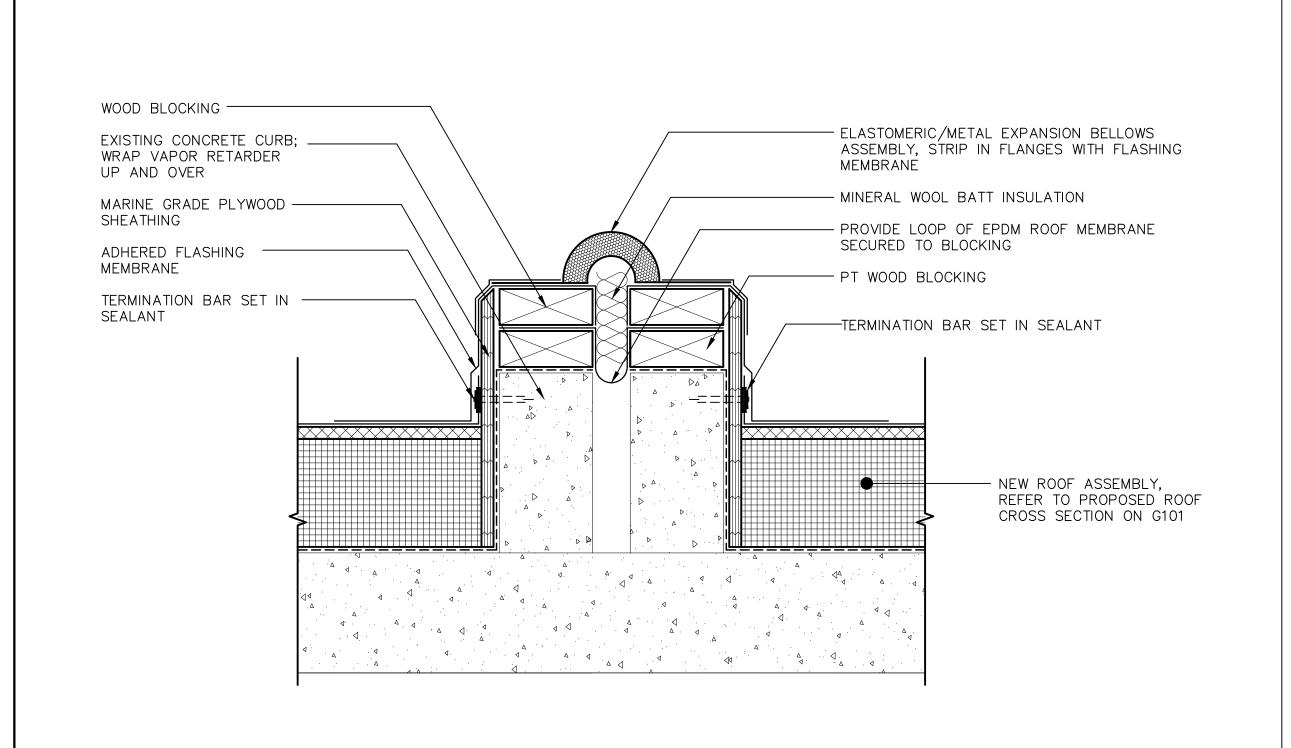
EXISTING

FLASHING

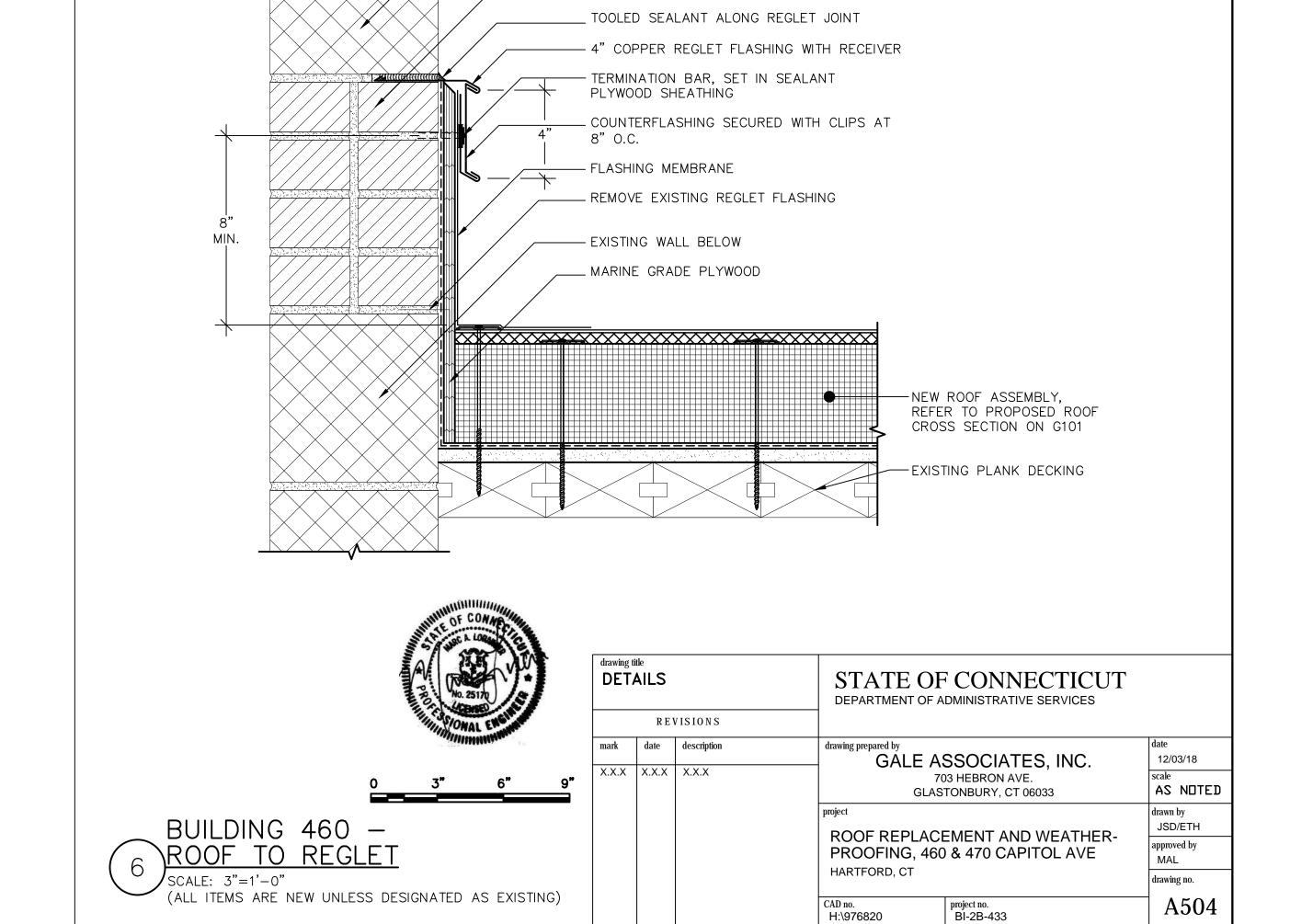
BUILDING 470 - TRANSITION TO EXISTING SCALE: 3"=1'-0"

(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)









_ EXISTING CMU, PAINTED

__EXISTING BRICK MASONRY, PAINTED

BUILDING 470 - ROOF TO THROUGH WALL (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



