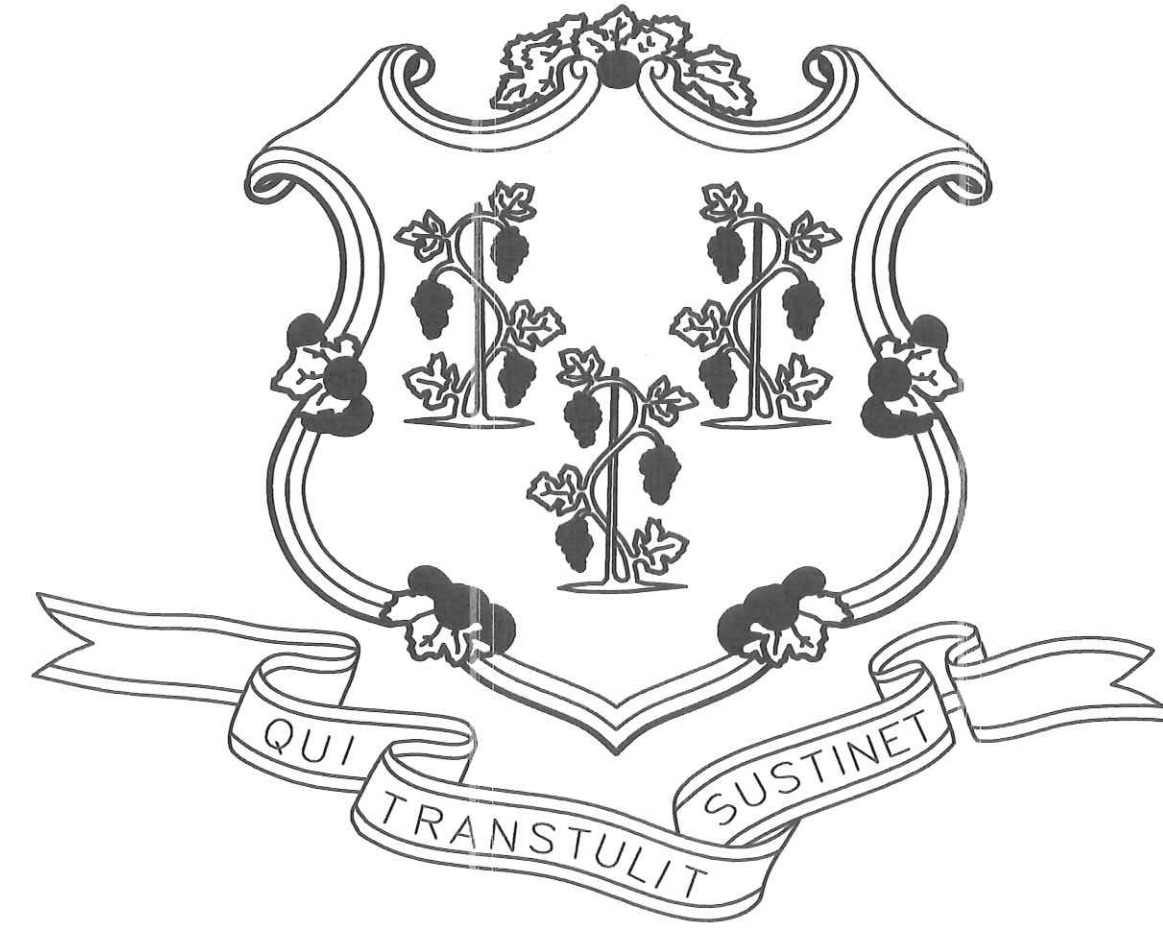


# STATE OF CONNECTICUT



GOVERNOR NED LAMONT

DEPARTMENT OF ADMINISTRATIVE SERVICES  
JOSH GEBALLE  
COMMISSIONER

ROOF REPLACEMENT AND WEATHERPROOFING  
460 & 470 CAPITOL AVENUE  
HARTFORD, CT

PROJECT NO. BI-2B-433

DECEMBER 3, 2018  
100% BID DOCUMENTS

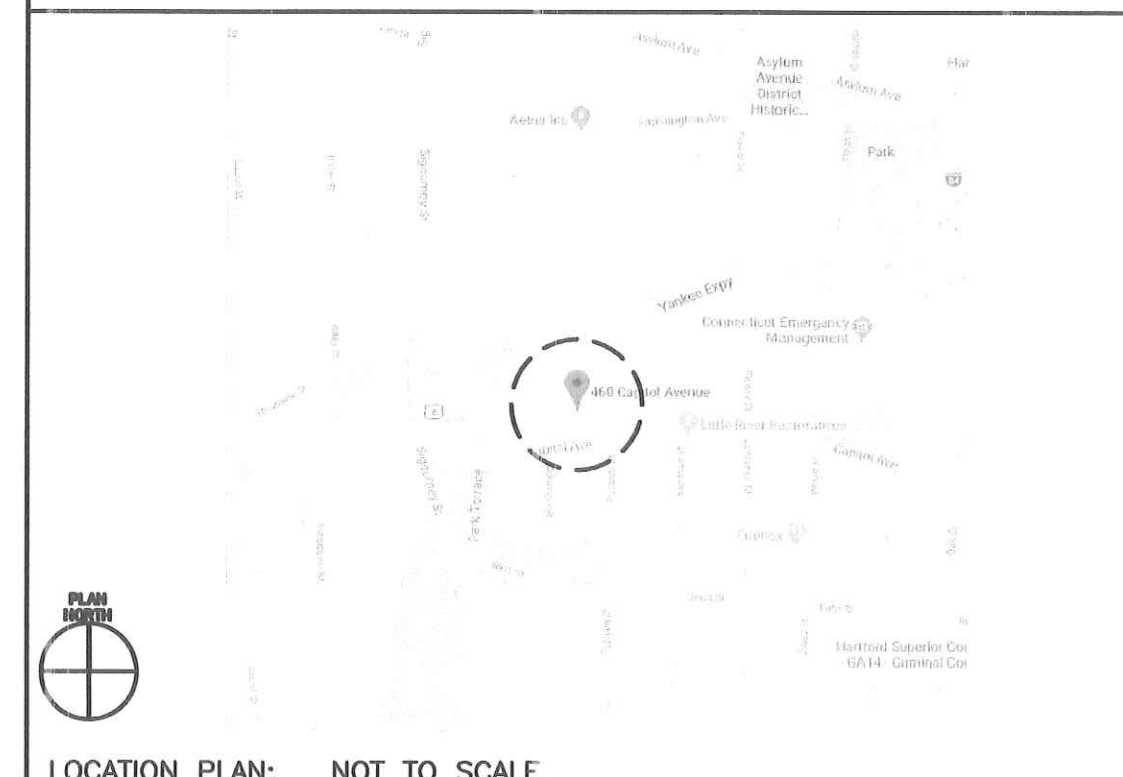
ENGINEERS  
GALE CONSULTANTS, INC.  
703 HEBRON AVENUE  
GLASTONBURY, CONNECTICUT 06033  
(860) 430-5660

CONTRACT DRAWINGS	
NO	TITLE
-	COVER SHEET
G101	GENERAL NOTES AND LEGENDS
G102	SITE PLAN
G103	FLAG POLE PLAN
A101	OVERALL ROOF AREA PLAN
A102	FLOOR PLAN
A103	ROOF AREA PLAN
A104	FLOOR PLAN
A105	ROOF AREA PLAN
A106	ROOF AREA PLAN
A201	PHOTOGRAPHIC ELEVATIONS
A202	PHOTOGRAPHIC ELEVATIONS
A203	PHOTOGRAPHIC ELEVATIONS
A204	PHOTOGRAPHIC ELEVATIONS
A205	PHOTOGRAPHIC ELEVATIONS
A206	PHOTOGRAPHIC ELEVATIONS
A207	PHOTOGRAPHIC ELEVATIONS
A501	DETAILS
A502	DETAILS
A503	DETAILS
A504	DETAILS
A505	DETAILS
A506	DETAILS
A507	DETAILS

460 CAPITOL D.C.S. BUILDING NUMBER: 20356  
470 CAPITOL D.C.S. BUILDING NUMBER: 20357



SITE PLAN: NOT TO SCALE



LOCATION PLAN: NOT TO SCALE

APPROVALS  
*Josh Geballe* 2/4/19

DEPARTMENT OF ADMINISTRATIVE SERVICES DATE

AGENCY DATE





**SITE NOTES**

- THIS SITE PLAN IS SCHEMATIC FOR BIDDING PURPOSES. SELECTED CONTRACTOR TO PROVIDE A SITE LOGISTICS PLAN DURING THE SUBMITTAL PROCESS IN ACCORDANCE WITH SECTION 01 11 00 INCLUDING BUT NOT LIMITED TO:
  - PHASING,
  - VEHICLE AND EQUIPMENT ACCESS ROUTES,
  - LOCATIONS OF PROPOSED STAGING,
  - LAYDOWN AREAS,
  - DELIVERY ACCESS/AREAS,
  - IDENTIFICATION AND MAINTENANCE OF EXISTING BUILDING EGRESS PATHS,
  - TEMPORARY ACCESS-WAYS,
  - CONSTRUCTION FENCING AND GATES,
  - PROTECTION MEASURES,
  - PEDESTRIAN TRAFFIC FLOWS AND BARRIERS,
  - PROPOSED ROOF ACCESS POINTS AND METHODS,
  - PROPOSED PROTECTION OF TREES, SHRUBS, PLANTINGS, ETC.
- THE CONTRACTOR SHALL BASE STAGING REQUIREMENTS ON THE INFORMATION SHOWN. THE LOCATIONS ARE APPROXIMATE AND MAY BE SUBJECT TO CHANGE.
- CONTRACTOR SHALL PROVIDE ALL OVERHEAD PROTECTION AT BUILDING ENTRANCE WAYS IN ACCORDANCE WITH OSHA, LOCAL, STATE, AND FEDERAL GUIDELINES.
- CONTRACTOR SHALL PROVIDE ALL TEMPORARY BARRICADES TO PREVENT PEDESTRIANS FROM ACCESSING THE WORK AREA OR FROM WALKING UNDER WORK LOCATIONS.
- ALL OVERHEAD PROTECTION SHALL EXTEND A MINIMUM OF 8'-0" BEYOND THE BUILDINGS, BEYOND 8'-0" PROVIDE FENCING TO A POINT BEYOND THE CONTRACT LIMIT LINE.
- CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AT PEDESTRIAN WALKWAYS. CONTRACTOR WILL BE REQUIRED TO PROVIDE A MONITOR AT GROUND LEVEL TO WARN PEDESTRIAN TRAFFIC OF ABOVE ROOF LINE WORK.
- THE CONTRACTOR IS CAUTIONED THAT THE DRIVES AND WALKWAYS IMMEDIATELY ADJACENT TO THE CONTRACT LIMIT LINE WILL BE ACTIVE AND OCCUPIED DURING CONSTRUCTION. CONTRACTOR SHALL ACCOMMODATE OWNER'S VEHICLE AND PEDESTRIAN REQUIREMENTS, AND SHALL COORDINATE ACCESS TO ADJACENT BUILDINGS.
- ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED SHALL BE RESTORED. GRASS AREAS TO BE LOAMED AND SEEDED WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL.

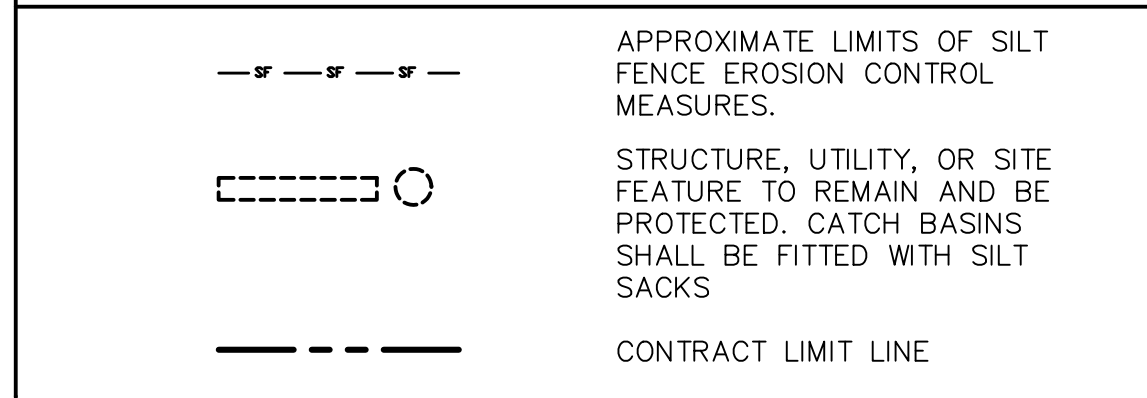
**SHEET NOTES**

- CONTRACTOR LAYDOWN AREA. SURROUND WITH FENCING.
  - STAIR TOWER ROOF ACCESS BY CONTRACTOR.
  - PROVIDE COVERED PEDESTRIAN PATHWAY FOR EGRESS FROM 470 CAPITOL AVENUE COURTYARD.
  - PROVIDE EDGE/OVERHEAD PROTECTION DURING WORK.
  - MAINTAIN ACTIVE VEHICLE LANE.
- ENTRANCE - PROVIDE OVERHEAD PROTECTION DURING WORK.

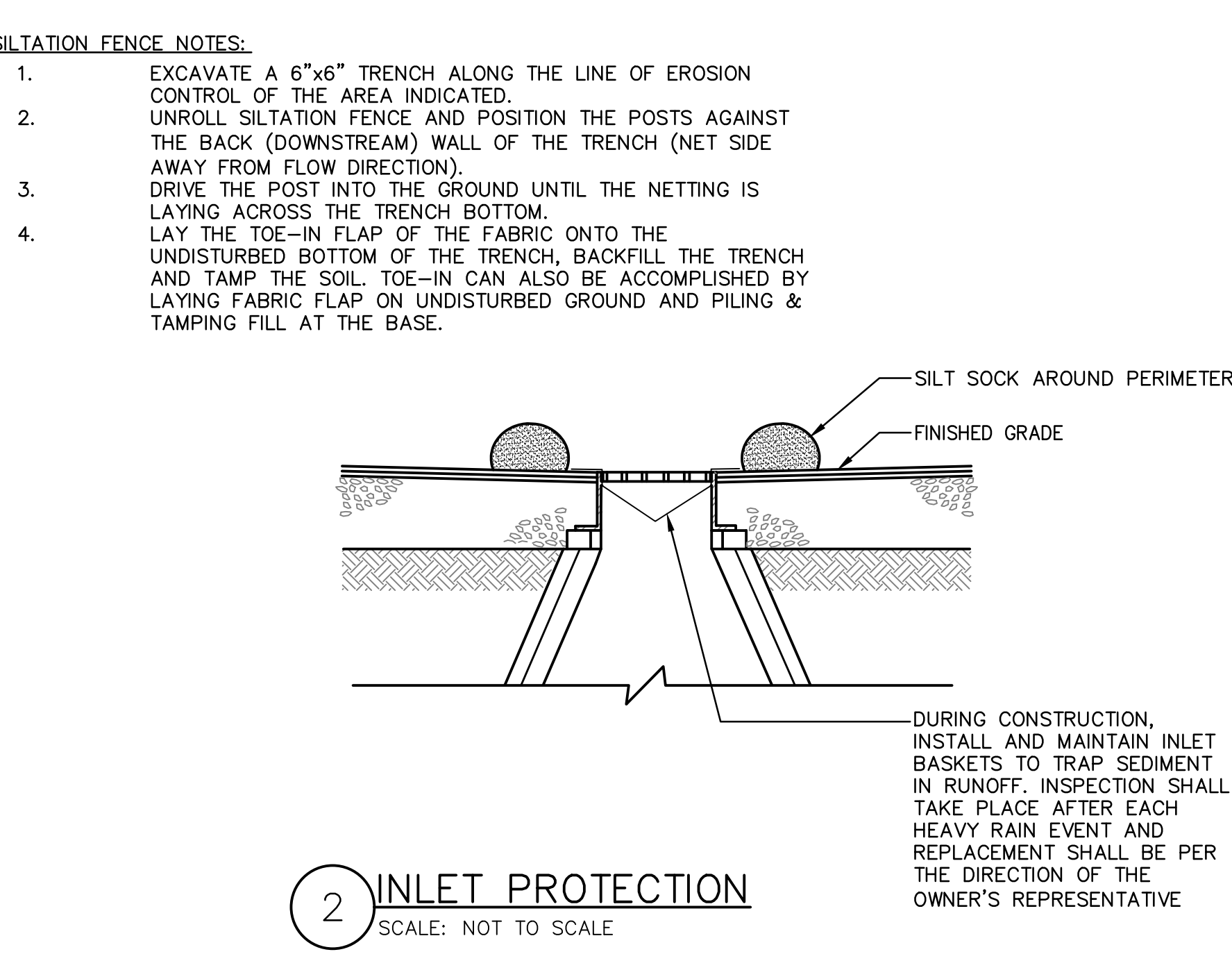
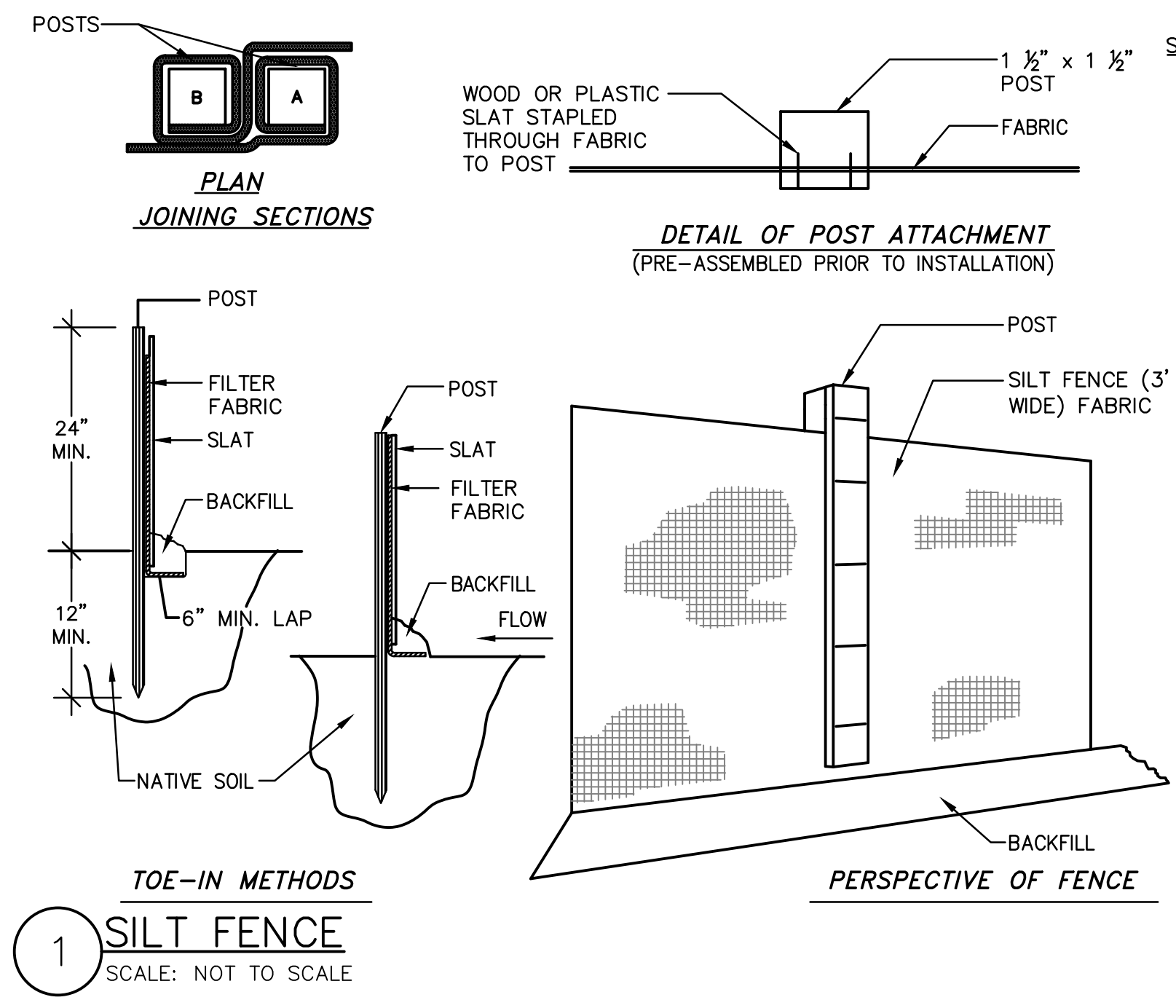
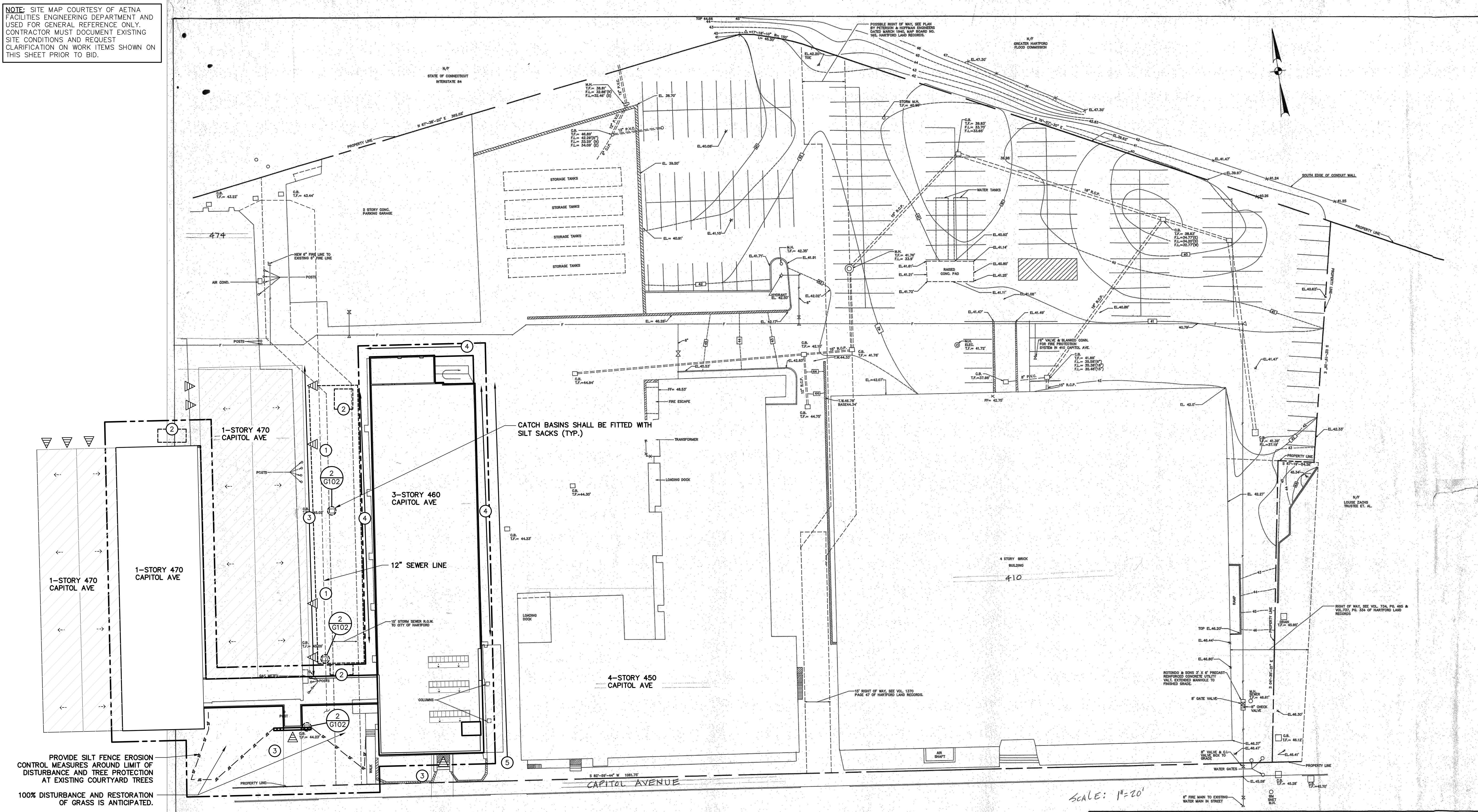
**EROSION CONTROL NOTES:**

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STATE REGULATIONS AND ALL TOWN REGULATIONS AND PERMIT CONDITIONS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH STAKED SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION. OTHERWISE SPOIL MATERIAL SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND DISPOSED OF LEGALLY AND IN CONFORMANCE TO ALL TOWN REGULATIONS.
- EROSION CONTROL DEVICES MAY BE ADDED OR REDUCED IN THE FIELD AS DIRECTED BY THE OWNER/ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR REESTABLISHING ANY EROSION CONTROL DEVICE WHICH THEY DISTURB. THE CONTRACTOR SHALL NOTIFY THE OWNER/ENGINEER OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES WHICH MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO, EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, POINTS, SOLVENTS, GREASES, FUEL AND LUBE OIL, PESTICIDES, AND SOLID WASTE MATERIALS.

**EROSION CONTROL LEGEND**



**SITE MAP**



drawing title <b>SITE PLAN</b>		STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
REVISIONS		drawing prepared by <b>GALE ASSOCIATES, INC.</b> 703 HEBRON AVE. GLASTONBURY, CT 06033	
mark	date	description	date
XXX	XXX	XXX	12/03/19
		scale N.T.S.	
		drawn by JSD/ETH	
		approved by MAM	
		drawing no. G102	
CAD no. H1978820		project no. SI-28-433	



SITE SYMBOLS LEGEND	
	SHRUB OR TREE
	PEDESTRIAN EGRESS/ ACCESS
	APPROXIMATE LOCATION OF FLAG POLES - COORDINATE WITH A/E AND DAS PROJECT MANAGER

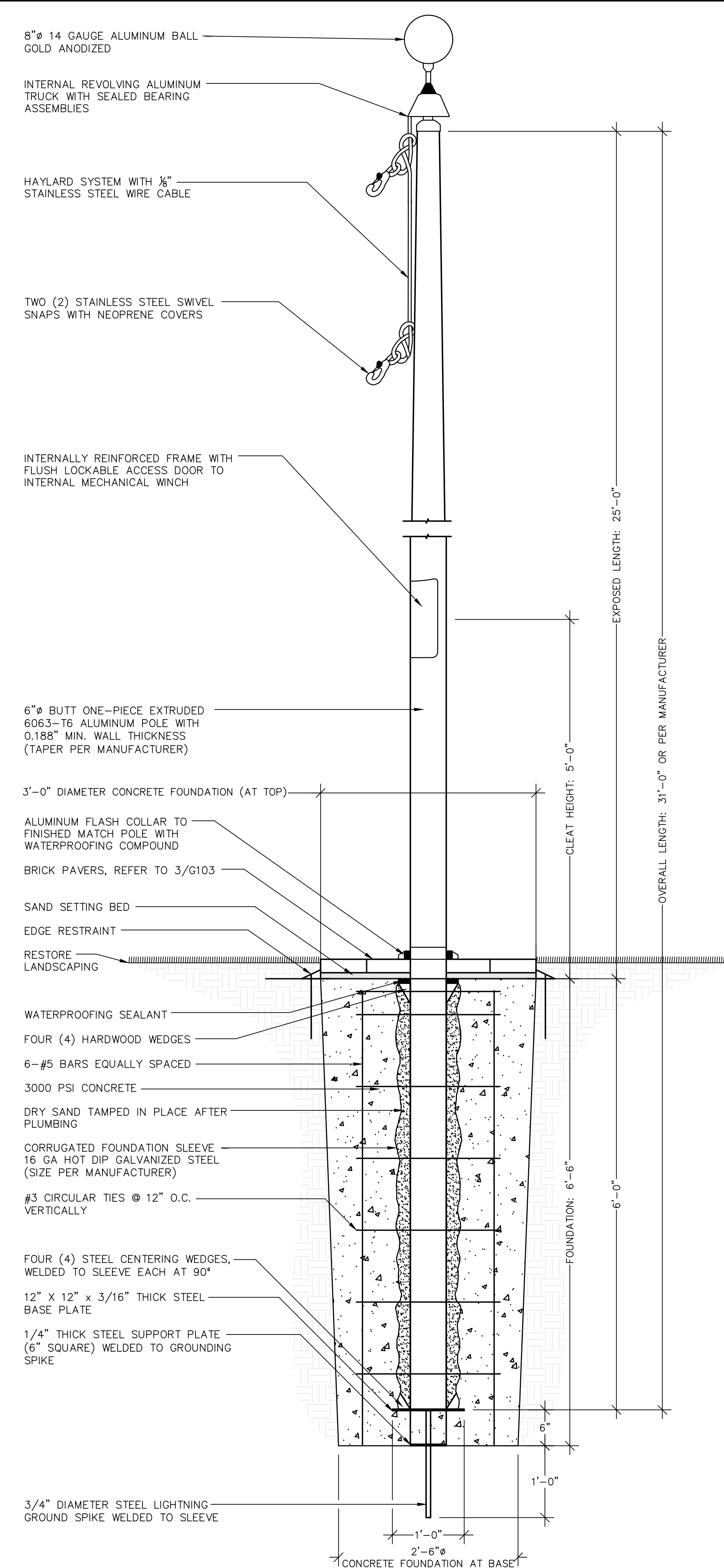
**SITE NOTES**

SEE SHEET G102 FOR SITE NOTES

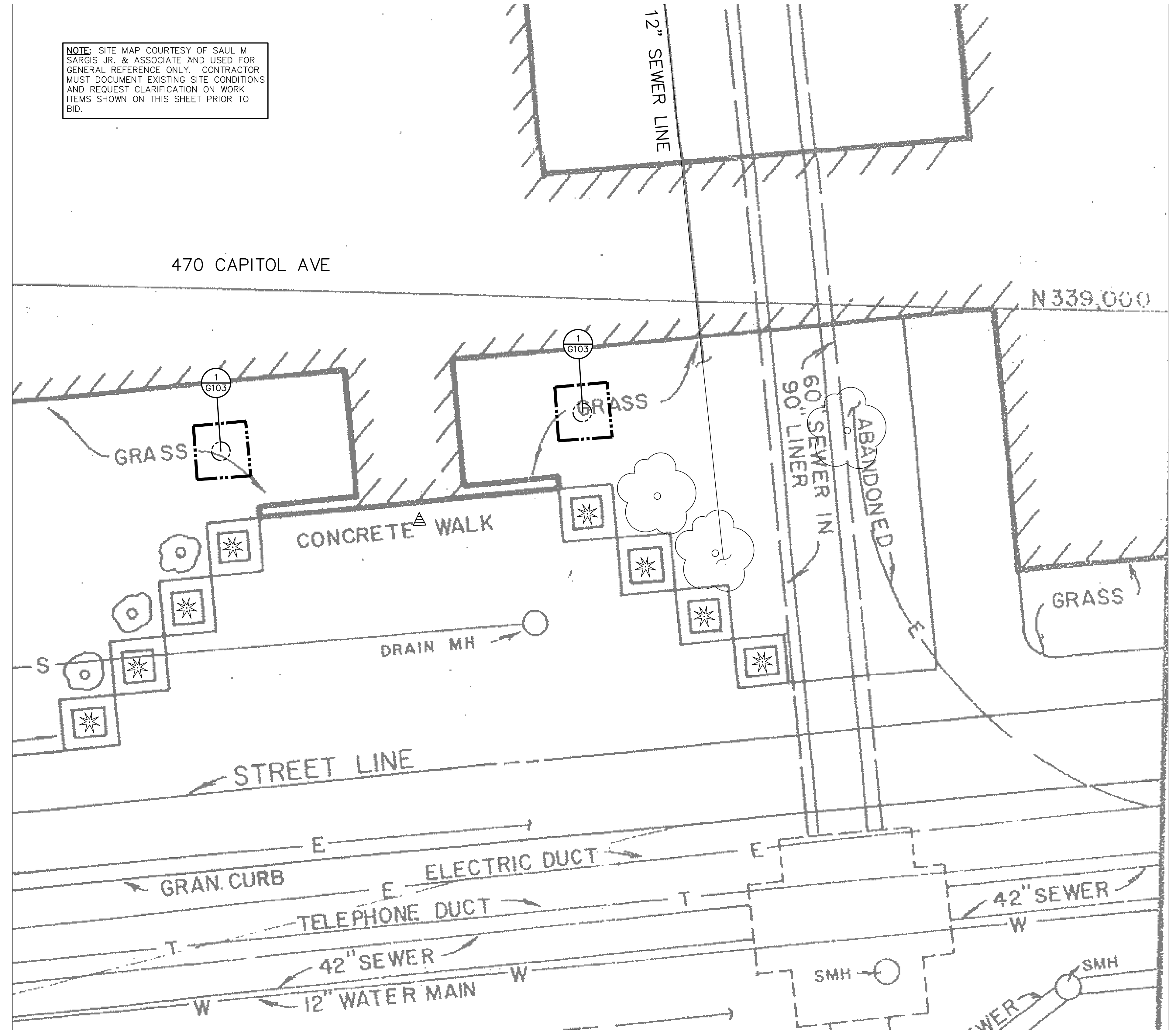
- GEOTECHNICAL NOTES**
- THE OWNER IS TO ENGAGE A SPECIAL INSPECTOR (PE/GE) TO PERFORM REVIEW AND CLASSIFICATION OF EXISTING SUBSURFACE SOILS AND VERIFICATION OF SUITABLE SOILS FOR THE NEW FLAGPOLE FOUNDATIONS.
  - THE CONSTRUCTION PHASE OF THE EXCAVATION, PLACEMENT OF CONTROLLED FILL, AND FLAGPOLE FOUNDATION PORTION OF THIS PROJECT MUST INCLUDE AMPLE FIELD REVIEW SERVICES OF THE STATE'S SPECIAL INSPECTOR, OR THEIR REPRESENTATIVE, TO OBSERVE, RECOMMEND CORRECTIVE ACTIONS, REPORT, AND ASSESS THAT SUBSURFACE SOILS CONFORMS WITH THE PROJECT SPECIFIC REQUIREMENTS.
  - THE SPECIAL INSPECTOR'S FIELD SERVICES MUST INCLUDE THE FOLLOWING AS A MINIMUM:
    - OBSERVE REPRESENTATIVE SOIL OVER-EXCAVATION PROCEDURES, IF REQUIRED, TO ASSESS THAT ALL UNSUITABLE MATERIALS HAVE BEEN SUFFICIENTLY REMOVED.
    - ASSESS THAT THE UNDERLYING SOILS (AFTER REMOVAL OF UNSUITABLE MATERIALS) ARE ACCEPTABLE TO PROVIDE LATERAL SOIL PRESSURE OF 200 PSF BEARING CAPACITY OF 1,500 PSF, MINIMUM, AND THAT NO EVIDENCE OF GROUNDWATER IS PRESENT.
    - SOIL CLASSIFICATION AND GRADATION TESTS OF EXISTING SUBSURFACE SOILS.
    - A FIELD REPORT FOR EACH SITE VISIT PERFORMED BY THE SPECIAL INSPECTOR OR THEIR REPRESENTATIVE SHALL BE WRITTEN AND SUBMITTED TO THE OWNER, ARCHITECT/ENGINEER AND/OR CONSTRUCTION ADMINISTRATOR. THE REPORT SHALL INCLUDE THE DATE, PERSONNEL PRESENT AT THE SITE, WEATHER, TIME, PURPOSE OF SITE VISIT, AREAS INCLUDED IN THE SITE OBSERVATIONS WITH PLAN SKETCH, CORRECTIVE RECOMMENDATIONS MADE, AND RESULTS OF ANY TESTS PERFORMED.
    - UPON COMPLETION OF THE SPECIAL INSPECTOR'S FIELD OBSERVATION WORK, AND SUBMISSION OF ALL FIELD REPORTS AND SITE TEST RESULTS (IF REQUIRED), THE SPECIAL INSPECTOR SHALL SUBMIT AN ENGINEER'S SEALED LETTER OF PROFESSIONAL OPINION STATING THAT THE SOILS OBSERVED, CLASSIFIED, AND TESTED BY THEM ARE IN ACCORDANCE WITH THE PROJECT REQUIREMENTS.
  - THE OWNER IS REQUIRED TO HIRE AND PAY FOR ALL SPECIAL INSPECTION SERVICES THROUGH THE DURATION OF THIS PORTION OF THE PROJECT.
  - THE CONTRACTOR IS REQUIRED TO CONTACT, COORDINATE, PROVIDE ACCESS FOR, SCHEDULE, AND ASSIST THE SPECIAL INSPECTOR FOR ALL FIELD REVIEW AND TESTING WORK TO AVOID DELAYS IN THE CONSTRUCTION.

- CONCRETE FOUNDATION NOTES**
- THE OWNER IS TO ENGAGE A SPECIAL INSPECTOR (ACI/ICC CERTIFIED INSPECTOR/TECHNICIAN) TO PERFORM REVIEW AND VERIFICATION OF CAST-IN-PLACE CONCRETE FOR THE NEW FLAGPOLE FOUNDATIONS.
  - THE CONTRACTOR IS REQUIRED TO CONTACT, COORDINATE, PROVIDE ACCESS FOR, SCHEDULE, AND ASSIST THE SPECIAL INSPECTOR FOR ALL FIELD REVIEW AND TESTING WORK TO AVOID DELAYS IN THE CONSTRUCTION.
  - THE STRUCTURAL ENGINEER ASSUMES NO RESPONSIBILITY FOR THE VALIDITY OF THE EXISTING SUBSURFACE CONDITIONS.
  - NO CONCRETE SHALL BE PLACED IN WATER OR ON FROZEN GROUND.
  - ALL CONCRETE SHALL BE PROTECTED AGAINST FROST UNTIL PROJECT IS COMPLETED.
  - FOUNDATION AND SLAB CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS WITH A SLUMP OF NO MORE THAN 4" AND AIR ENTRAINMENT OF 4%-7%. THE USE OF CALCIUM CHLORIDE IS NOT PERMITTED. PROVIDE PROPER CONCRETE PROTECTION OR HEAT IN COLD WEATHER AND MAINTAIN PROPER CURING PROCEDURES IN ACCORDANCE WITH ALL CURRENT A.C.I. STANDARDS.
  - CONCRETE SHALL NOT CONTAIN SLAG OR SILICA FUME. IF USING FLY-ASH, THE MAXIMUM QUANTITY PER WEIGHT OF CEMENT SHALL BE 20%. SUBMIT FLY-ASH CERTIFICATION FOR APPROVAL WITH MIX DESIGN.
  - SUBMIT CONCRETE MIX DESIGN (INCLUDING ALL ADDITIVES AND THEIR CONTENT) TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ORDERING CONCRETE.
  - ADDITION OF WATER TO CONCRETE MIXES AT THE SITE IS NOT ALLOWED. SUCH CONCRETE SHALL BE IMMEDIATELY REJECTED. MID-RANGE, OR HIGH RANGE, OR SUPERPLASTICIZERS ARE ALLOWED IN THE MIX TO ASSIST IN WORKABILITY AND PUMPING OPERATIONS.
  - CONCRETE CEMENT SHALL BE TYPE I OR II PORTLAND CEMENT. MAXIMUM AGGREGATE SIZE IN CONCRETE SHALL BE 3/4".
  - ALL CONCRETE SHALL BE READY-MIXED AT PLANT COMPLYING WITH ASTM C94 AND ASTM C1116. SITE MIXING IS NOT ALLOWED.
  - STEEL REINFORCEMENT SHALL CONFORM TO ASTM 615, GRADE 60, DEFORMED BARS.
  - SUBMIT ALL GEOTECHNICAL REPORTS TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCING WITH PLACEMENT OF CONCRETE, REINFORCING STEEL, ETC. SUBMIT CONCRETE TEST RESULTS FROM TESTING AGENCY TO THE ENGINEER. OBTAIN ENGINEER'S APPROVAL OF ALL SUBMITTALS PRIOR TO COMMENCING WITH WORK.

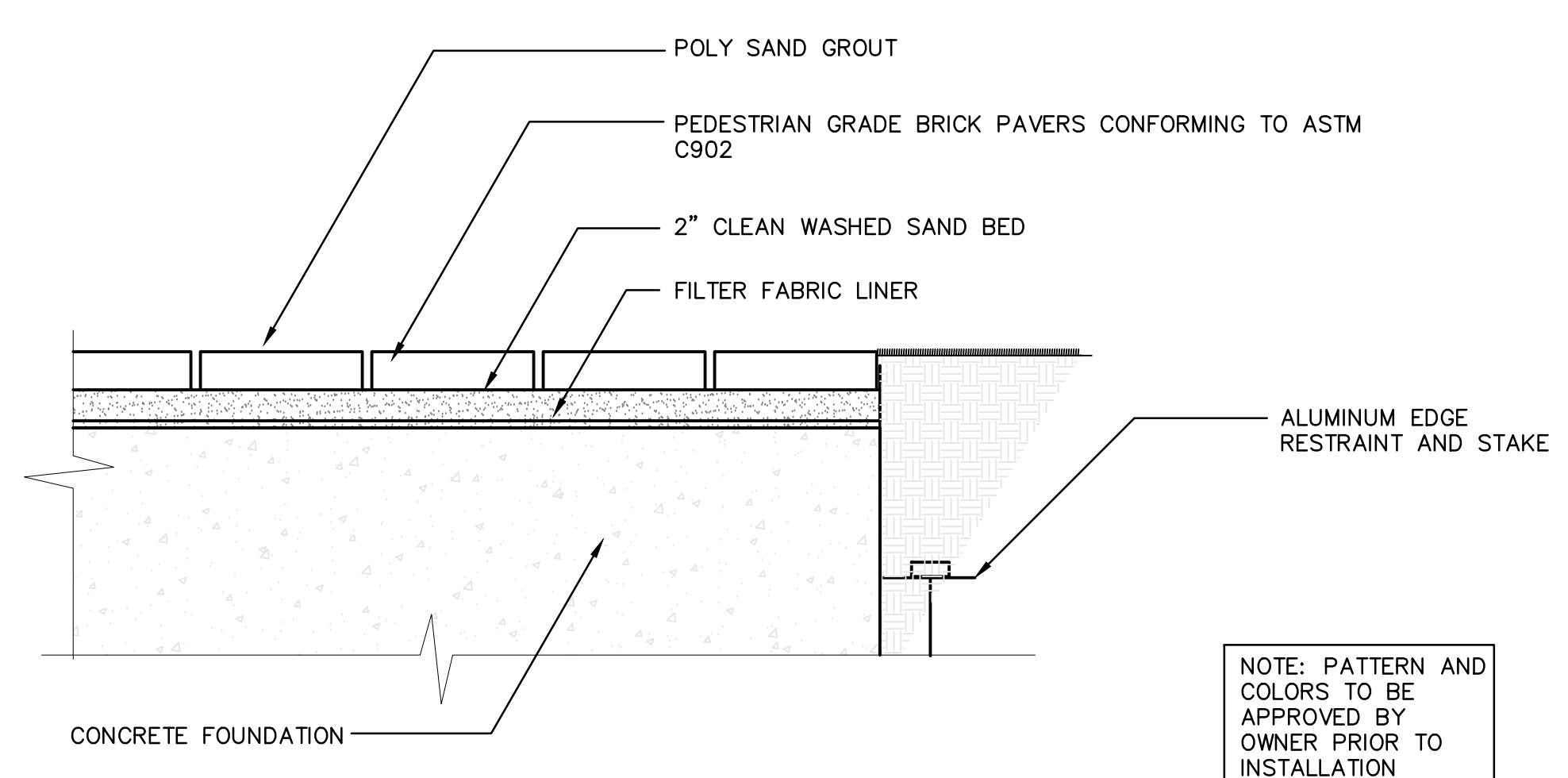
- FLAG POLE NOTES**
- FLAGPOLE DESIGN IS IN ACCORDANCE WITH NAAMM FP 1001-07 "GUIDE SPECIFICATIONS FOR DESIGN OF METAL FLAGPOLES".
  - 50-YR MEAN DESIGN WIND SPEED  $V_{ASD} = 89$  MPH
  - ALUMINUM POLE SHALL BE EXTRUDED TUBING COMPLYING WITH ASTM B221, ALLOY 6063-T6, TENSILE STRENGTH OF 30,000 PSI AND YIELD STRENGTH OF 25,000 PSI. HEAT TREAT AFTER FABRICATION IN COMPLIANCE WITH ASTM B597, TEMPER T6. POLE SHALL BE A SINGLE PIECE. FINISH TO BE SELECTED BY OWNER.
  - DESIGN ASSUMES 25-FOOT MOUNTING HEIGHT WITH 5'X9.5' FLAG SIZE (G-SPEC).
  - CONCRETE FOUNDATION DESIGN IS IN ACCORDANCE WITH 2012 IBC SECTION 1807 AND ASSUMES LATERAL SOIL PRESSURE = 200 PSF AND UNCONSTRAINED CONDITION AT GROUND SURFACE. SEE CONCRETE FOUNDATION AND GEOTECHNICAL NOTES.
  - SUITABLE SOIL CONDITIONS TO BE CONFIRMED IN WRITING BY GEOTECHNICAL ENGINEER DURING CONSTRUCTION. SEE GEOTECHNICAL NOTES ON THIS SHEET.



**1 GROUND SET FLAG POLE DETAIL**  
SCALE: 1/2"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**2 FLAG POLE LOCATION PLAN**  
SCALE: NOT TO SCALE

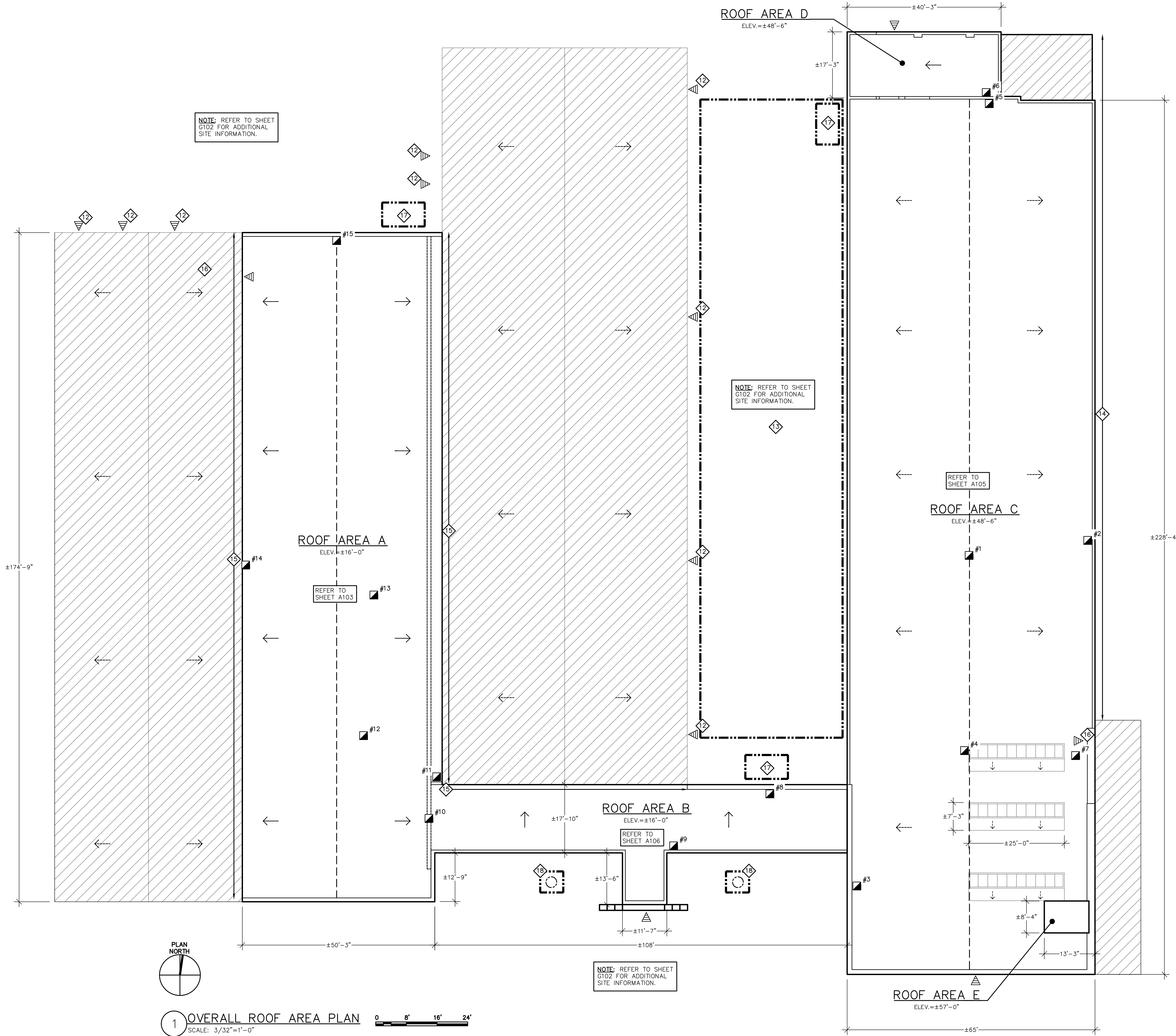


**3 BRICK PAVING**  
SCALE: 1/2"=1'-0"

DRAWING TITLE: FLAG POLE PLAN			STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
REVISIONS			drawing prepared by: GALE ASSOCIATES, INC. 703 HEBRON AVE. GLASTONBURY, CT 06033	
mark	date	description	date	scale
XXX	XXX	XXX	12/03/19	AS NOTED
project: ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE HARTFORD, CT			drawn by: JSD/ETH	approved by: [Signature]
CAD no: H1978820			project no: SI-28-433	drawing no: G103



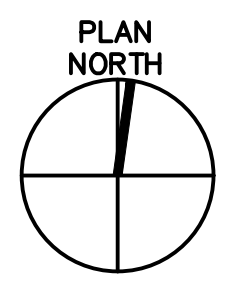
NOTE: PATTERN AND COLORS TO BE APPROVED BY OWNER PRIOR TO INSTALLATION



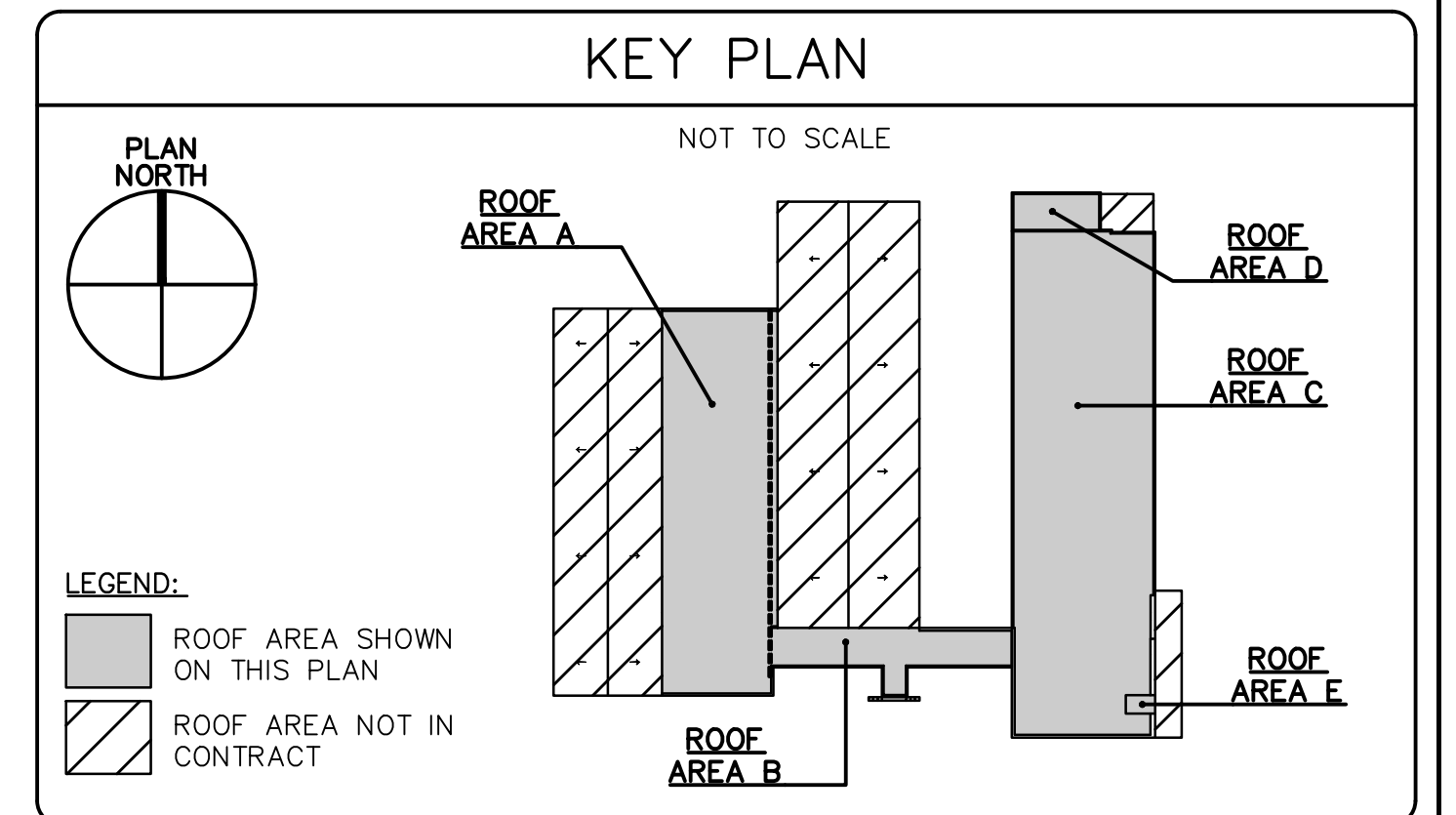
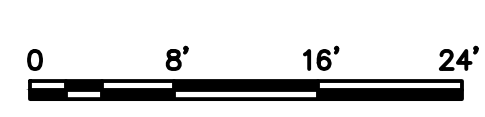
NOTE: REFER TO SHEET G102 FOR ADDITIONAL SITE INFORMATION.

NOTE: REFER TO SHEET G102 FOR ADDITIONAL SITE INFORMATION.

NOTE: REFER TO SHEET G102 FOR ADDITIONAL SITE INFORMATION.



1 OVERALL ROOF AREA PLAN  
SCALE: 3/32"=1'-0"



- ### PHASING REQUIREMENTS
1. REMOVE AND REPLACE ONLY AS MUCH ROOFING AS CAN BE MADE WEATHERTIGHT IN THE SAME DAY.
  2. PHASE THE ROOF REMOVAL TO START AT ONE END OF EACH ROOF AND WORK TOWARDS THE OTHER.
  3. PROVIDE A DETAILED ROOF PHASING PLAN FOR THE OWNER TO RELOCATE AND COORDINATION INTERIOR OCCUPANCY BELOW. UPDATE THE PHASING PLAN/SCHEDULE AS THE PROJECT PROGRESSES AND SUBMIT AT LEAST 7 DAYS BEFORE THE WORK.
  4. CONSTRUCTION ACCESS TO THE ROOFS IS FROM THE NORTH. CONTRACTOR TO PHASE THE WORK, STARTING AT THE SOUTH AND WORKING NORTH. COORDINATE WITH THE REPLACEMENT OF ADJACENT ROOF AREAS SO AS NOT TO TRAFFIC THE NEW ROOFING.
- NOTE: REFER TO A102 & A104 FOR INTERIOR FLOOR PLANS AND ADDITIONAL PHASING REQUIREMENTS

### SHEET NOTES

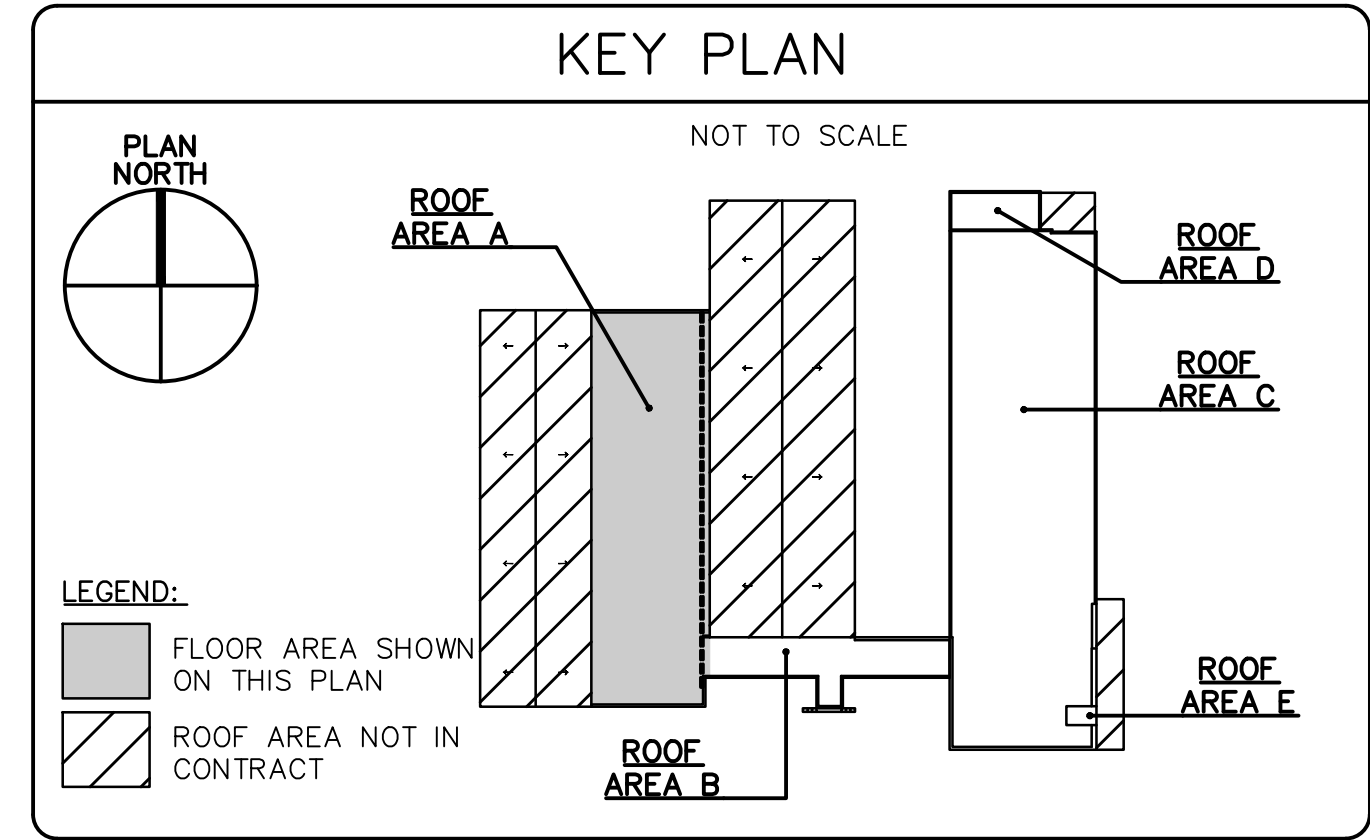
REFER TO ROOF PLAN SHEET NOTES ON G101

drawing title: <b>OVERALL ROOF AREA PLAN</b>		STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
REVISIONS			
mark	date	description	
XXX	XXX	XXX	
drawing prepared by: <b>GALE ASSOCIATES, INC.</b> 703 HEBRON AVE. GLASTONBURY, CT 06033		date: 12/03/18	scale: 3/32"=1'-0"
project: <b>ROOF REPLACEMENT AND WEATHER-PROOFING, 460 &amp; 470 CAPITOL AVE HARTFORD, CT</b>		drawn by: JSD/ETH	approved by: MML
CAD no. H1976820	project no. SI-28-433	drawing no. <b>A101</b>	



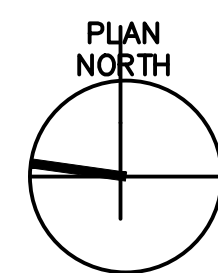
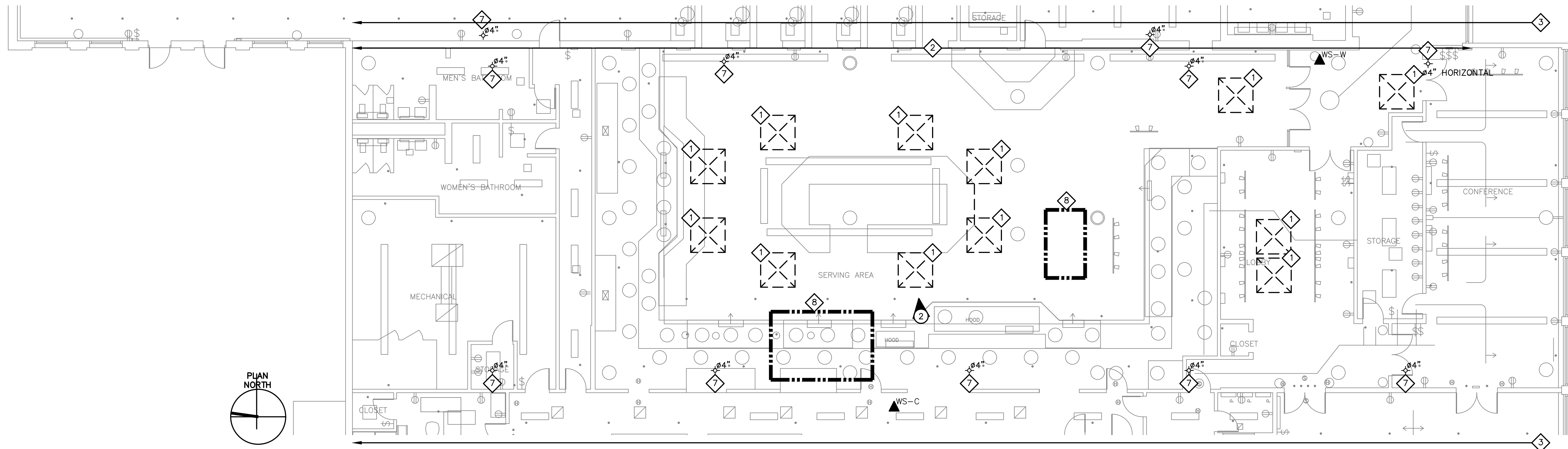


2 SERVING AREA  
NOT TO SCALE



FLOOR PLAN SHEET NOTES

- # THESE NOTES APPLY TO FLOOR PLANS, SHEETS A102 AND A104.
  - 1 SKYLIGHT ROOF OPENING ABOVE. PROVIDE INTERIOR PROTECTION DURING ROOF REPLACEMENT WORK AT SKYLIGHTS. COORDINATE THE WORK WITH THE OWNER. PROVIDE SIGNAGE AND BARRIERS FOR OCCUPANTS.
  - 2 PROVIDE INTERIOR PROTECTION BENEATH EXPANSION JOINT DURING REPLACEMENT. PROVIDE SIGNAGE AND BARRIERS FOR OCCUPANTS.
  - 3 PROVIDE INTERIOR PROTECTION DURING PHASED ROOF REPLACEMENT AND COORDINATE DEMOLITION SCHEDULE WITH THE OWNER. CONSTRUCTION ACCESS TO THE ROOF IS FROM THE NORTH SIDE. CONTRACTOR TO PHASE THE WORK STARTING AT THE SOUTH END OF THE BUILDING AND WORKING NORTH. CONTRACTOR IS RESPONSIBLE FOR PROVIDING INTERIOR AND EXTERIOR BARRIERS AND SIGNAGE TO DIRECT OCCUPANTS AND PEDESTRIANS AWAY FROM WORK AREAS.
  - 4 PROVIDE INTERIOR PROTECTION DURING ROOF REPLACEMENT WORK AT CLERESTORY SKYLIGHTS. COORDINATE THE WORK WITH THE OWNER.
  - 5 PROVIDE HEAVY DUTY TEMPORARY PARTITION/ENCLOSURE AROUND INTERIOR STAIR DURING REPLACEMENT TO CONTROL AND CONTAIN DUST, DEBRIS, MOISTURE, ETC. AT THE 3RD FLOOR. PROVIDE SIGNAGE AND BARRIERS FOR OCCUPANTS.
  - 6 PROVIDE INTERIOR PROTECTION AT INTERIOR STAIRS TO CONTROL AND CONTAIN DUST, DEBRIS, MOISTURE, ETC. AT THE 3RD FLOOR. PROVIDE SIGNAGE/BARRIERS TO RESTRICT ACCESS.
  - 7 ROOF DRAIN LEADER PENETRATION ABOVE. PROVIDE TEMPORARY INTERIOR PROTECTION DURING ROOF DRAIN REPLACEMENT. PROVIDE SIGNAGE/BARRIERS TO RESTRICT ACCESS.
  - 8 BARRICADE AREA BENEATH UNIT/DUNNAGE DURING REMOVAL.
  - 9 PROVIDE INTERIOR PROTECTION AT PERIMETER DURING PHASED ROOF REPLACEMENT. CONNECT PROTECTION TO INSIDE FACE OF WALL AND UNDERSIDE OF DECK ±3'-0" FROM WALL.
- NOTE:** CONFIGURATION OF PARTITIONS AND FURNITURE MAY VARY FROM WHAT IS SHOWN HERE. CONTRACTOR IS RESPONSIBLE FOR REVIEW AT PRE-BID WALK THROUGH AND REQUEST WRITTEN CLARIFICATION DURING BID PERIOD.



1 BUILDING 470 FLOOR PLAN  
SCALE: 1/8"=1'-0"

AT BUILDING 470 CONSTRUCTION DEBRIS PROTECTION IS CRITICAL ABOVE FOOD SERVICE AREAS. PROVIDE TEMPORARY PROTECTION AND SIGNAGE AT EXISTING SKYLIGHT OPENINGS, EXISTING ROOF PENETRATIONS, EXISTING DRAINS TO BE RESTORED, AND THE EXISTING EXPANSION JOINT ALONG THE EAST SIDE OF ROOF AREA A TO BE REPLACED. WORK ABOVE THE CAFETERIA SERVING, COOKING, AND CHECKOUT LANES SHALL BE LIMITED TO WEEKENDS OR WEEKDAYS AFTER 2:00 PM TO AVOID IMPACT TO FOOD SERVICE, PREPARATION, AND CLEANUP. TEMPORARY PROTECTION IS STILL REQUIRED.



drawing title <b>FLOOR PLAN</b>			STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES		
REVISIONS					
mark	date	description	drawing prepared by <b>GALE ASSOCIATES, INC.</b> 703 HEBRON AVE. GLASTONBURY, CT 06033	date 12/03/18	scale <b>SCALE</b>
X.X.X	X.X.X	X.X.X	project <b>ROOF REPLACEMENT AND WEATHER-PROOFING, 460 &amp; 470 CAPITOL AVE HARTFORD, CT</b>	drawn by JSD/ETH	approved by MML
CAD no. H:976820	project no. SI-28-433			drawing no. <b>A102</b>	



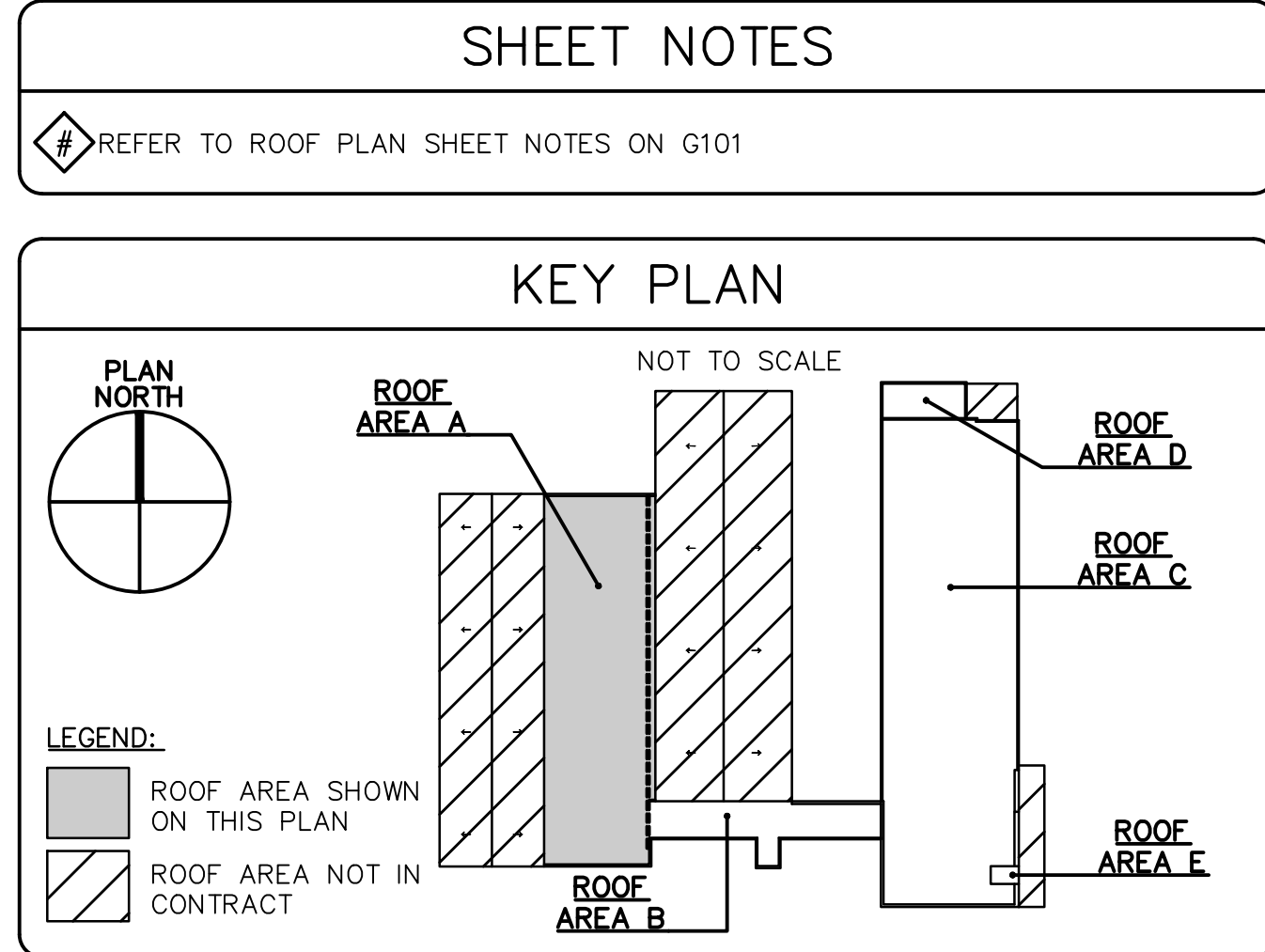
5 EXISTING CONDENSER TO BE REMOVED - INFORMATION  
NOT TO SCALE



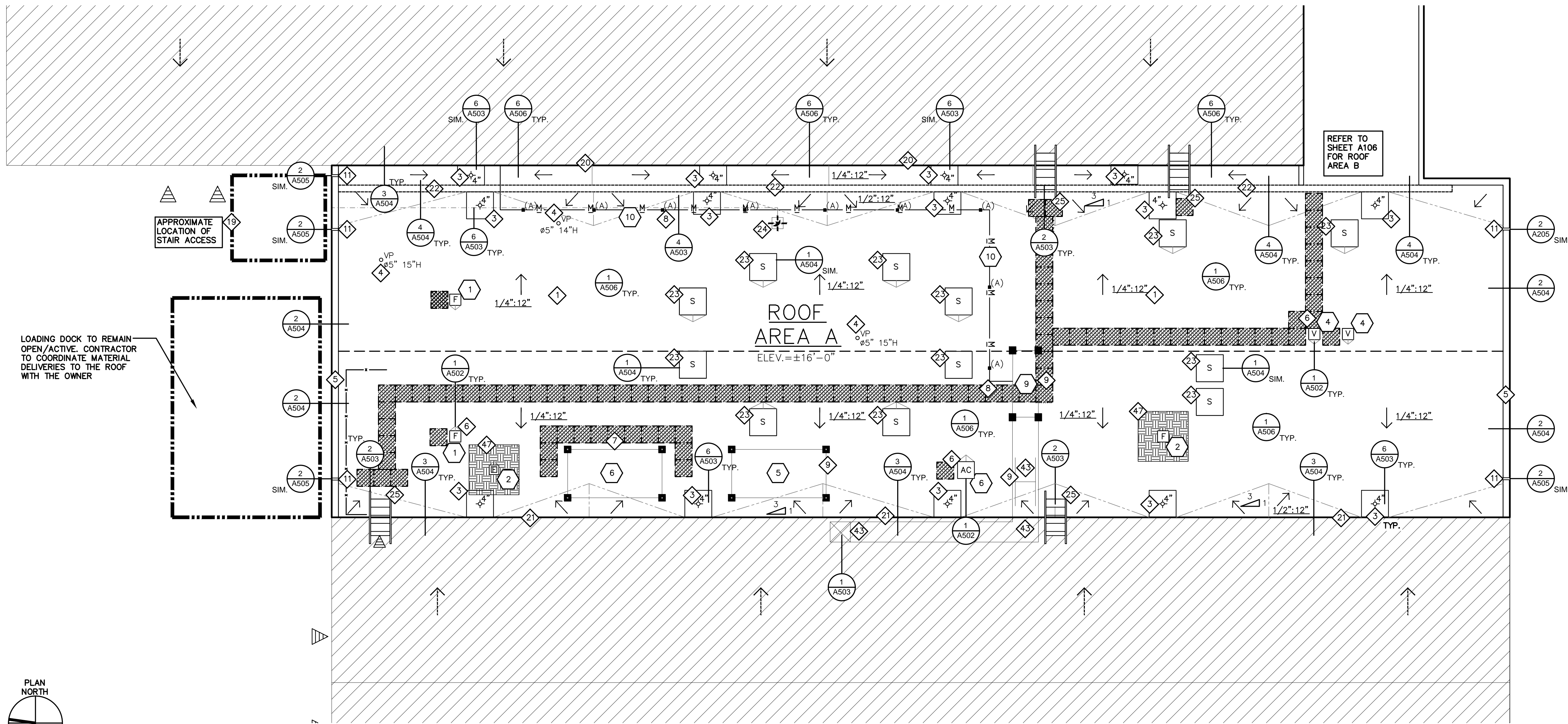
9 EXISTING RTU TO BE REMOVED - INFORMATION  
NOT TO SCALE



10 EXISTING GAS LINE TO BE REMOVED - INFORMATION  
NOT TO SCALE



- ### MECHANICAL NOTES
- MECHANICAL NOTES APPLY TO ROOF AREA PLANS, SHEETS A103, A105, AND A106
- 1 ROOF EXHAUST FAN - EXISTING TO REMAIN. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE EXHAUST FAN FROM CURB AND STORE ON SITE FOR RE-INSTALL. RAISE EXISTING CURB ON NEW BLOCKING. CLEAN FAN WHEEL AND HOUSING. PROVIDE NEW ROOF CURB DISCONNECT SWITCH AND BACK DRAFT DAMPER. EXTEND AND RECONNECT POWER AND CONTROL WIRING AND START FAN.
  - 2 GREASE ROOF EXHAUST FAN - EXISTING TO REMAIN. COORDINATE WITH OWNER TO DISCONNECT AND RECONNECT FANS WHILE KITCHEN EQUIPMENT IS NOT IN USE. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE EXHAUST FAN FROM CURB AND STORE ON SITE FOR RE-INSTALL. CLEAN FAN WHEEL AND HOUSING. PROVIDE NEW ROOF CURB DISCONNECT SWITCH AND BACK DRAFT DAMPER. EXTEND AND RECONNECT POWER AND CONTROL WIRING AND START FAN.
  - 3 NOT USED
  - 4 GRAVITY HOODS - EXISTING TO REMAIN. DISCONNECT AND MAKE SAFE FOR RE-INSTALL. RAISE EXISTING CURB ON NEW BLOCKING. RESET GRAVITY HOOD AND RECONNECT WIRING, IF ANY. PROVIDE NEW STAINLESS STEEL MESH HOOD BIRD SCREEN AS REQUIRED FOR ANY DAMAGED OR MISSING.
  - 5 CONDENSER UNIT - EXISTING TO BE REMOVED. DISCONNECT POWER AND CONTROL WIRING BACK TO ITS SOURCE BELOW ROOF AND MAKE SAFE. REMOVE REFRIGERANT AND OIL FROM SYSTEM AND DISPOSE OF PER EPA REQUIREMENTS (±80 LBS OF R-22 REFRIGERANT). DISCONNECT REFRIGERANT PIPING, REMOVE CONDENSER AND DUNNAGE. REMOVE FROM PROJECT SITE AND DISPOSE OF PER EPA REQUIREMENTS.
  - 6 CONDENSER - EXISTING TO REMAIN. REVIEW FOR REFRIGERANT LEAKS PRIOR TO WORK. DOCUMENT AND REPORT CONDITIONS TO A/E AND OWNER. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE REFRIGERANT AND OIL FROM SYSTEM PER EPA REQUIREMENTS (±80 LBS OF R-22 REFRIGERANT). DISCONNECT REFRIGERANT PIPING. RE-INSTALL CONDENSER ON EXISTING SUPPORT, COORDINATE WITH ROOFING CONTRACTOR, RECONNECT REFRIGERANT PIPING, TRIPLE VACUATE AND RECHARGE REFRIGERANT SYSTEM. REVIEW FOR REFRIGERANT LEAKS AND REPAIR AS ENCOUNTERED. RECONNECT POWER AND CONTROL WIRING AND RESTART SYSTEM IN ACCORDANCE WITH OWNER'S MANUAL. DOCUMENT AND REPORT STARTUP TO A/E. CONDENSER FANS SHALL BE CHECKED FOR PROPER OPERATION AND ROTATION.
  - 7 MITSUBISHI CONDENSING UNITS - EXISTING TO REMAIN. REVIEW FOR REFRIGERANT LEAKS PRIOR TO WORK. DOCUMENT AND REPORT CONDITIONS TO A/E AND OWNER. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE REFRIGERANT AND OIL FROM SYSTEM PER EPA REQUIREMENTS (±20 LBS OF R410A REFRIGERANT EACH). DISCONNECT REFRIGERANT PIPING. RE-INSTALL CONDENSING UNIT ON NEW CURBS, COORDINATE WITH ROOFING CONTRACTOR, RECONNECT REFRIGERANT PIPING, TRIPLE EVACUATE AND RECHARGE SYSTEM. REVIEW FOR REFRIGERANT LEAKS AND REPAIR AS ENCOUNTERED. RECONNECT POWER AND CONTROL WIRING AND RESTART SYSTEM IN ACCORDANCE WITH OWNER'S MANUAL. DOCUMENT AND REPORT STARTUP TO A/E. CONDENSER FANS SHALL BE CHECKED FOR PROPER OPERATION AND ROTATION.
  - 8 COOLING TOWER - EXISTING TO BE REMOVED. DISCONNECT WATER MAKE UP, SUPPLY AND RETURN WATER PIPING AND CAP BELOW ROOF. DISCONNECT POWER AND CONTROL WIRING BACK TO ITS SOURCE AND MAKE SAFE. REMOVE COOLING TOWER AND DUNNAGE FROM PROJECT SITE AND DISPOSE OF PER EPA REQUIREMENTS.
  - 9 GAS FIRED RTU - EXISTING TO BE REMOVED. PRIOR TO WORK, CONTACT UTILITY PROVIDER AND ENSURE GAS IS SHUT-OFF AND THE PIPES ARE CLEARED PER MEP NOTE 10 BELOW. DISCONNECT DUCTWORK, CAP ON ROOF AND MAKE WATERTIGHT. REMOVE GAS FIRED FURNACE AND DUNNAGE FROM PROJECT SITE, AND DISPOSE OF IN A LEGAL AND LAWFUL MANNER PER EPA REQUIREMENTS.
  - 10 NATURAL GAS PIPING - EXISTING TO BE REMOVED. PRIOR TO WORK, CONTACT UTILITY PROVIDER AND ENSURE GAS IS SHUT-OFF. PURGE-OUT-OF-SERVICE EXISTING GAS LINES FROM THE MAIN TO THE ROOFTOP UNIT IN ACCORDANCE WITH IFGS REQUIREMENTS. CAP EXISTING INTERIOR GAS LINE AT THE MAIN AND ON THE INSIDE OF THE ROOF PENETRATION AND ABANDONED IN PLACE. PURGE-OUT-OF-SERVICE, REMOVE, AND DISPOSE OF ROOFTOP GAS LINE.
  - 11 CHILLED WATER PIPING - EXISTING TO REMAIN. DISCONNECT, DRAIN, RELOCATE, AND REINSTALL CHILLED WATER PIPING TO INCREASE CLEARANCE TO 12" ABOVE NEW FINISHED ROOF. PROVIDE ADDITIONAL SCHEDULE 40 BLACK IRON PIPING, INSULATION AND JACKETING OF SAME DIAMETER AS REQUIRED TO RECONNECT ALL PIPING. FURNISH AND INSTALL NEW LINE CABLING WITH GFIC PLUG-IN, MATCHING THE VOLTAGE OF THE EXISTING HEAT TRACE. RECONNECT PIPING, INSULATION AND JACKETING TO EXISTING PIPING INSIDE BUILDING AT BOTH ENDS. PROVIDE NEW BUILDING PENETRATIONS AS REQUIRED FOR THE NEW PIPING ENTRANCE INTO BUILDING. PROVIDE EXTENSIONS TO ALL MATERIALS AS REQUIRED TO COMPENSATE FOR ADDITIONAL LENGTHS. NEW BUILDING PENETRATIONS SHALL BE MADE WATERTIGHT, REPAIR EXTERIOR WALL AT EXISTING AND NEW PENETRATIONS AS NECESSARY TO MAINTAIN PRE-CONSTRUCTION APPEARANCE. PRESSURE TEST PIPING TO 150 PSIG PRIOR TO APPLYING INSULATION, HEAT TAPE AND JACKETING. DOCUMENT AND REPORT CONDITIONS TO A/E AND OWNER.
  - 12, 13 NOT USED
  - 14 ROOF EXHAUST FAN - EXISTING TO BE REMOVED. DISCONNECT POWER AND CONTROL WIRING BACK TO ITS SOURCE AND MAKE SAFE. REMOVE EXHAUST FAN AND CURB FROM PROJECT SITE AND DISPOSE OF PER EPA REQUIREMENTS. REPLACE/INFILL ROOF DECK IN ACCORDANCE WITH SECTION 06 10 00.



1 BUILDING 470 ROOF AREA PLAN  
SCALE: 1/8"=1'-0"

PLAN NORTH

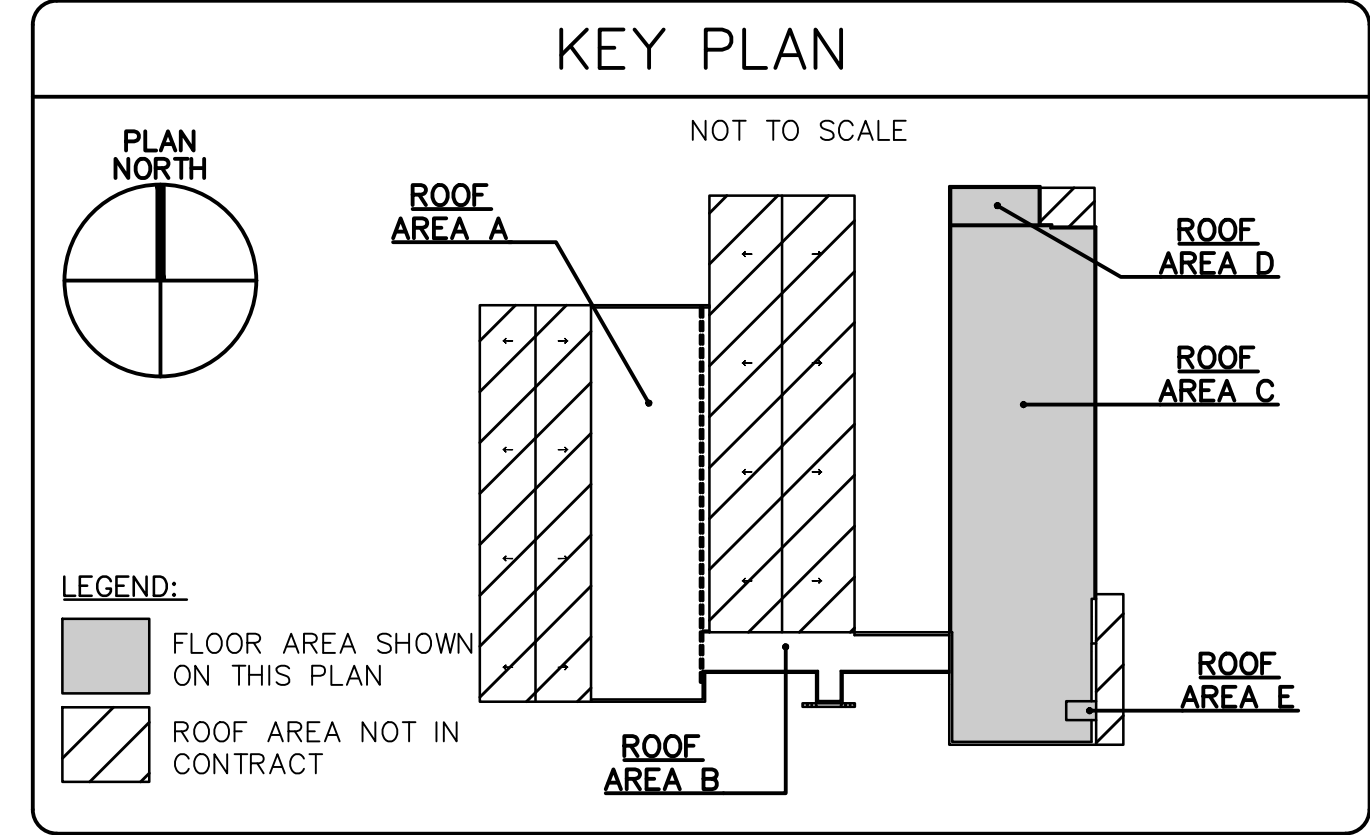
0 4' 8' 16'



DRAWING TITLE			STATE OF CONNECTICUT		
ROOF AREA PLAN			DEPARTMENT OF ADMINISTRATIVE SERVICES		
REVISIONS					
mark	date	description	drawing prepared by	date	
XXX	XXX	XXX	GALE ASSOCIATES, INC.	12/03/19	
			703 HEBRON AVE.	scale:	1/8"=1'-0"
			GLASTONBURY, CT 06033	drawn by	JSD/ETH
			project	approved by	MAL
			ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE	drawing no.	A103
			HARTFORD, CT		
			CD no. H1978820	project no. BI-2B-433	



2 EXISTING ABANDONED VENT TO BE REMOVED  
NOT TO SCALE



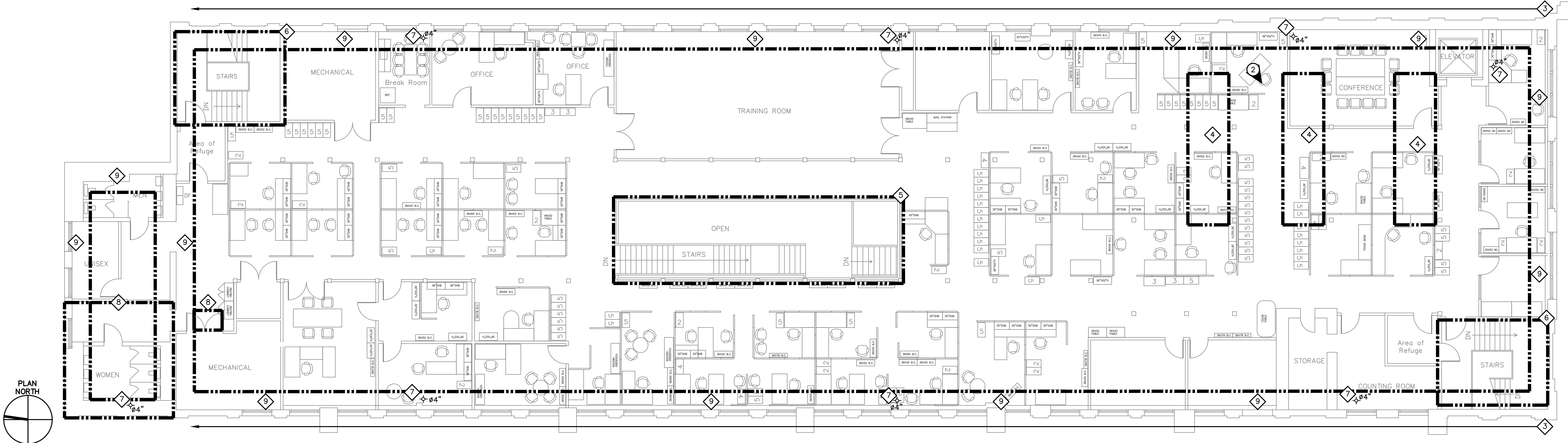
FLOOR PLAN SHEET NOTES

- 1 THESE NOTES APPLY TO FLOOR PLANS, SHEETS A102 AND A104.
  - 1 SKYLIGHT ROOF OPENING ABOVE. PROVIDE INTERIOR PROTECTION DURING ROOF REPLACEMENT WORK AT SKYLIGHTS. COORDINATE THE WORK WITH THE OWNER. PROVIDE SIGNAGE AND BARRIERS FOR OCCUPANTS.
  - 2 PROVIDE INTERIOR PROTECTION BENEATH EXPANSION JOINT DURING REPLACEMENT. PROVIDE SIGNAGE AND BARRIERS FOR OCCUPANTS.
  - 3 PROVIDE INTERIOR PROTECTION DURING PHASED ROOF REPLACEMENT AND COORDINATE DEMOLITION SCHEDULE WITH THE OWNER. CONSTRUCTION ACCESS TO THE ROOF IS FROM THE NORTH SIDE. CONTRACTOR TO PHASE THE WORK STARTING AT THE SOUTH END OF THE BUILDING AND WORKING NORTH. CONTRACTOR IS RESPONSIBLE FOR PROVIDING INTERIOR AND EXTERIOR BARRIERS AND SIGNAGE TO DIRECT OCCUPANTS AND PEDESTRIANS AWAY FROM WORK AREAS.
  - 4 PROVIDE INTERIOR PROTECTION DURING ROOF REPLACEMENT WORK AT CLERESTORY SKYLIGHTS. COORDINATE THE WORK WITH THE OWNER.
  - 5 PROVIDE HEAVY DUTY TEMPORARY PARTITION/ENCLOSURE AROUND INTERIOR STAIR DURING REPLACEMENT TO CONTROL AND CONTAIN DUST, DEBRIS, MOISTURE, ETC. AT THE 3RD FLOOR. PROVIDE SIGNAGE AND BARRIERS FOR OCCUPANTS.
  - 6 PROVIDE INTERIOR PROTECTION AT INTERIOR STAIRS TO CONTROL AND CONTAIN DUST, DEBRIS, MOISTURE, ETC. AT THE 3RD FLOOR. PROVIDE SIGNAGE/BARRIERS TO RESTRICT ACCESS.
  - 7 ROOF DRAIN LEADER PENETRATION ABOVE. PROVIDE TEMPORARY INTERIOR PROTECTION DURING ROOF DRAIN REPLACEMENT. PROVIDE SIGNAGE/BARRIERS TO RESTRICT ACCESS.
  - 8 BARRICADE AREA BENEATH UNIT/DUNNAGE DURING REMOVAL.
  - 9 PROVIDE INTERIOR PROTECTION AT PERIMETER DURING PHASED ROOF REPLACEMENT. CONNECT PROTECTION TO INSIDE FACE OF WALL AND UNDERSIDE OF DECK ±3'-0" FROM WALL.
- NOTE:** CONFIGURATION OF PARTITIONS AND FURNITURE MAY VARY FROM WHAT IS SHOWN HERE. CONTRACTOR IS RESPONSIBLE FOR REVIEW AT PRE-BID WALK THROUGH AND REQUEST WRITTEN CLARIFICATION DURING BID PERIOD.

**AT BUILDING 460**  
CONSTRUCTION DEBRIS TO BE LIMITED TO AND CONTAINED ON OR ABOVE THE THIRD (TOP) FLOOR LEVEL. THE OWNER ANTICIPATES VACATING THE THIRD FLOOR OF EMPLOYEES, THEIR COMPUTERS, PERSONAL ITEMS, AND CRITICAL DOCUMENTS FOR THE DURATION OF THE PROJECT.

CONTRACTOR TO:

- PROTECT DESKS, REMAINING FURNITURE, CARPETS, HORIZONTAL SURFACES, VERTICAL SURFACES, PARTITIONS, AND ITEMS NOT REMOVED BY DAS
- RESTRICT ACCESS TO THE THIRD FLOOR AT ELEVATORS AND STAIRS, INCLUDING THE CENTRAL INTERIOR STAIR USING SIGNAGE AND BARRIERS
- PROVIDE TEMPORARY PARTITION(S), ENCLOSURE, AND SIGNAGE AT/ABOVE THE CENTRAL INTERIOR STAIR TO PROTECT THE LOWER FLOOR AND STAIR LEVELS FROM CONSTRUCTION DEBRIS FOR THE DURATION OF THE PROJECT
- MAINTAIN ACCESS BETWEEN FIRST AND SECOND FLOORS FOR THE BUILDING OCCUPANTS AND EGRESS.
- PROVIDE TEMPORARY PROTECTION AND SIGNAGE AT THE INTERIOR STAIR TOWERS AT THE NORTHEAST AND SOUTHWEST CORNERS OF THE BUILDING, ELEVATOR DOORS, AND ROOF-TO-WALL PERIMETER (REFLECTING THE ACM LOCATION PLAN), TO CONTROL AND CONTAIN DEBRIS.
- PROVIDE TEMPORARY PROTECTION AND SIGNAGE BENEATH THE EXISTING CLERESTORY SKYLIGHTS, EXISTING CHIMNEYS TO BE PARTIALLY REMOVED, EXISTING ROOF PENETRATIONS, AND EXISTING DRAINS TO BE REPLACED DURING THE RESTORATION WORK.



1 BUILDING 460 3RD FLOOR PLAN  
SCALE: 1/8"=1'-0"

<b>FLOOR PLAN</b> REVISIONS <table border="1"> <thead> <tr> <th>mark</th> <th>date</th> <th>description</th> </tr> </thead> <tbody> <tr> <td>X.X.X</td> <td>X.X.X</td> <td>X.X.X</td> </tr> </tbody> </table>			mark	date	description	X.X.X	X.X.X	X.X.X	<b>STATE OF CONNECTICUT</b> DEPARTMENT OF ADMINISTRATIVE SERVICES drawing prepared by <b>GALE ASSOCIATES, INC.</b> 703 HEBRON AVE. GLASTONBURY, CT 06033 project <b>ROOF REPLACEMENT AND WEATHER-PROOFING, 460 &amp; 470 CAPITOL AVE</b> HARTFORD, CT date 12/03/18 scale 1/8"=1'-0" drawn by JSD/ETH approved by MML drawing no. <b>A104</b>		
mark	date	description									
X.X.X	X.X.X	X.X.X									
CAD no. H:976820		project no. SI-28-433									



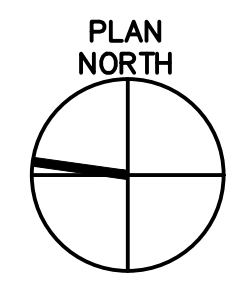
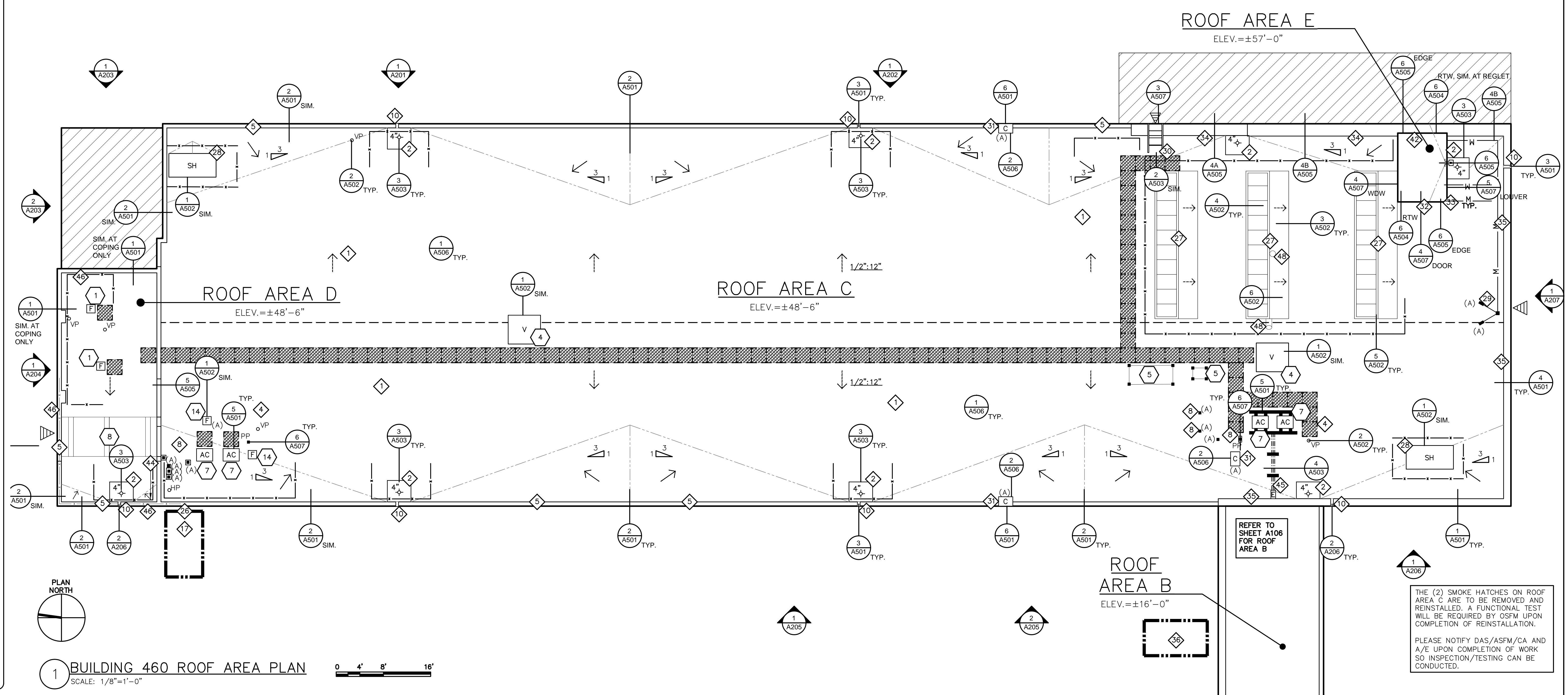
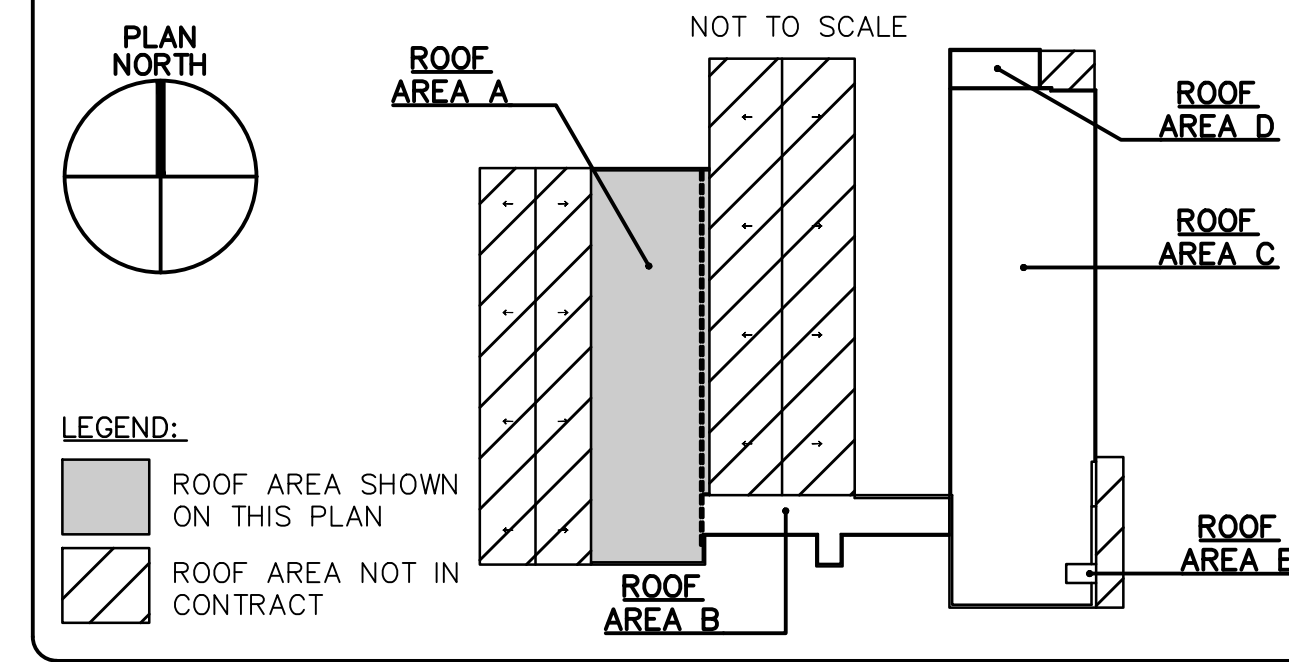
**MECHANICAL NOTES**

- MECHANICAL NOTES APPLY TO ROOF AREA PLANS, SHEETS A103, A105, AND A106
- 1 ROOF EXHAUST FAN - EXISTING TO REMAIN. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE EXHAUST FAN FROM CURB AND STORE ON SITE FOR RE-INSTALL. RAISE EXISTING CURB ON NEW BLOCKING. CLEAN FAN WHEEL AND HOUSING. PROVIDE NEW ROOF CURB DISCONNECT SWITCH AND BACK DRAFT DAMPER. EXTEND AND RECONNECT POWER AND CONTROL WIRING AND START FAN.
  - 2 GREASE ROOF EXHAUST FAN - EXISTING TO REMAIN. COORDINATE WITH OWNER TO DISCONNECT AND RECONNECT FANS WHILE KITCHEN EQUIPMENT IS NOT IN USE. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE EXHAUST FAN FROM CURB AND STORE ON SITE FOR RE-INSTALL. CLEAN FAN WHEEL AND HOUSING. PROVIDE NEW ROOF CURB DISCONNECT SWITCH AND BACK DRAFT DAMPER. EXTEND AND RECONNECT POWER AND CONTROL WIRING AND START FAN.
  - 3 NOT USED
  - 4 GRAVITY HOODS - EXISTING TO REMAIN. DISCONNECT AND MAKE SAFE FOR RE-INSTALL. REMOVE HOOD AND STORE ON PROJECT SITE FOR RE-INSTALL. RAISE EXISTING CURB ON NEW BLOCKING. RESET GRAVITY HOOD AND RECONNECT WIRING, IF ANY. PROVIDE NEW STAINLESS STEEL MESH HOOD BIRD SCREEN AS REQUIRED FOR ANY DAMAGED OR MISSING.
  - 5 CONDENSER UNIT - EXISTING TO BE REMOVED. DISCONNECT POWER AND CONTROL WIRING BACK TO ITS SOURCE BELOW ROOF AND MAKE SAFE. REMOVE REFRIGERANT AND OIL FROM SYSTEM AND DISPOSE OF PER EPA REQUIREMENTS (±80 LBS OF R-22 REFRIGERANT). DISCONNECT REFRIGERANT PIPING, REMOVE CONDENSER AND DUNNAGE. REMOVE FROM PROJECT SITE AND DISPOSE OF PER EPA REQUIREMENTS.
  - 6 CONDENSER - EXISTING TO REMAIN. REVIEW FOR REFRIGERANT LEAKS PRIOR TO WORK. DOCUMENT AND REPORT CONDITIONS TO A/E AND OWNER. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE REFRIGERANT AND OIL FROM SYSTEM PER EPA REQUIREMENTS. (±80 LBS OF R-22 REFRIGERANT). DISCONNECT REFRIGERANT PIPING. RE-INSTALL CONDENSER ON EXISTING SUPPORT, COORDINATE WITH ROOFING CONTRACTOR. RECONNECT REFRIGERANT PIPING, TRIPLE EVACUATE AND RECHARGE REFRIGERANT SYSTEM. REVIEW FOR REFRIGERANT LEAKS AND REPAIR AS ENCOUNTERED. RECONNECT POWER AND CONTROL WIRING AND RESTART SYSTEM IN ACCORDANCE WITH OWNER'S MANUAL. DOCUMENT AND REPORT STARTUP TO A/E. CONDENSER FANS SHALL BE CHECKED FOR PROPER OPERATION AND ROTATION.
  - 7 MITSUBISHI CONDENSING UNITS - EXISTING TO REMAIN. REVIEW FOR REFRIGERANT LEAKS PRIOR TO WORK. DOCUMENT AND REPORT CONDITIONS TO A/E AND OWNER. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE REFRIGERANT AND OIL FROM SYSTEM PER EPA REQUIREMENTS. (±20 LBS OF R410A REFRIGERANT EACH) DISCONNECT REFRIGERANT PIPING. RE-INSTALL CONDENSING UNIT ON NEW CURBS, COORDINATE WITH ROOFING CONTRACTOR. RECONNECT REFRIGERANT PIPING, TRIPLE EVACUATE AND RECHARGE SYSTEM. REVIEW FOR REFRIGERANT LEAKS AND REPAIR AS ENCOUNTERED. RECONNECT POWER AND CONTROL WIRING AND RESTART SYSTEM IN ACCORDANCE WITH OWNER'S MANUAL. DOCUMENT AND REPORT STARTUP TO A/E. CONDENSER FANS SHALL BE CHECKED FOR PROPER OPERATION AND ROTATION.
  - 8 COOLING TOWER - EXISTING TO BE REMOVED. DISCONNECT WATER MAKE UP, SUPPLY AND RETURN WATER PIPING AND CAP BELOW ROOF. DISCONNECT POWER AND CONTROL WIRING BACK TO ITS SOURCE AND MAKE SAFE. REMOVE COOLING TOWER AND DUNNAGE FROM PROJECT SITE AND DISPOSE OF PER EPA REQUIREMENTS.
  - 9 GAS FIRED RTU - EXISTING TO BE REMOVED. PRIOR TO WORK, CONTACT UTILITY PROVIDER AND ENSURE GAS IS SHUT-OFF AND THE PIPES ARE CLEARED PER MEP NOTE 10 BELOW. DISCONNECT DUCTWORK, CAP ON ROOF AND MAKE WATERTIGHT. REMOVE GAS FIRED FURNACE AND DUNNAGE FROM PROJECT SITE AND DISPOSE OF IN A LEGAL AND LAWFUL MANNER PER EPA REQUIREMENTS.
  - 10 NATURAL GAS PIPING - EXISTING TO BE REMOVED. PRIOR TO WORK, CONTACT UTILITY PROVIDER AND ENSURE GAS IS SHUT-OFF. PURGE-OUT-OF-SERVICE EXISTING GAS LINES FROM THE MAIN TO THE ROOFTOP UNIT IN ACCORDANCE WITH IFGS REQUIREMENTS. CAP EXISTING INTERIOR GAS LINE AT THE MAIN AND ON THE INSIDE OF THE ROOF PENETRATION AND ABANDONED IN PLACE. PURGE-OUT-OF-SERVICE, REMOVE, AND DISPOSE OF ROOFTOP GAS LINE.
  - 11 CHILLED WATER PIPING - EXISTING TO REMAIN. DISCONNECT, DRAIN, RELOCATE, AND REINSTALL CHILLED WATER PIPING TO INCREASE CLEARANCE TO 12" ABOVE NEW FINISHED ROOF. PROVIDE ADDITIONAL SCHEDULE 40 BLACK IRON PIPING, INSULATION AND JACKETING OF SAME DIAMETER AS REQUIRED TO RECONNECT ALL PIPING. FURNISH AND INSTALL NEW LINE CABLING WITH GFC PLUG-IN, MATCHING THE VOLTAGE OF THE EXISTING HEAT TRACE. RECONNECT PIPING, INSULATION AND JACKETING TO EXISTING PIPING INSIDE BUILDING AT BOTH ENDS. PROVIDE NEW BUILDING PENETRATIONS AS REQUIRED FOR THE NEW PIPING ENTRANCE INTO BUILDING. PROVIDE EXTENSIONS TO ALL MATERIALS AS REQUIRED TO COMPENSATE FOR ADDITIONAL LENGTHS. NEW BUILDING PENETRATIONS SHALL BE MADE WATERTIGHT, REPAIR EXTERIOR WALL AT EXISTING AND NEW PENETRATIONS AS NECESSARY TO MAINTAIN PRE-CONSTRUCTION APPEARANCE. PRESSURE TEST PIPING TO 150 PSIG PRIOR TO APPLYING INSULATION, HEAT TAPE AND JACKETING. DOCUMENT AND REPORT CONDITIONS TO A/E AND OWNER.
  - 12 13 NOT USED
  - 14 ROOF EXHAUST FAN - EXISTING TO BE REMOVED. DISCONNECT POWER AND CONTROL WIRING BACK TO ITS SOURCE AND MAKE SAFE. REMOVE EXHAUST FAN AND CURB FROM PROJECT SITE AND DISPOSE OF PER EPA REQUIREMENTS. REPLACE/INFILL ROOF DECK IN ACCORDANCE WITH SECTION 06 10 00.

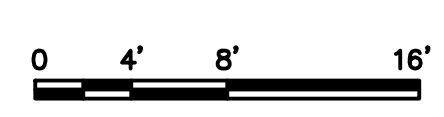
**SHEET NOTES**

# REFER TO ROOF PLAN SHEET NOTES ON G101

**KEY PLAN**



**1 BUILDING 460 ROOF AREA PLAN**  
SCALE: 1/8"=1'-0"



REFER TO SHEET A106 FOR ROOF AREA B

THE (2) SMOKE HATCHES ON ROOF AREA C ARE TO BE REMOVED AND REINSTALLED. A FUNCTIONAL TEST WILL BE REQUIRED BY OSM UPON COMPLETION OF REINSTALLATION.  
PLEASE NOTIFY DAS/ASFM/CA AND A/E UPON COMPLETION OF WORK SO INSPECTION/TESTING CAN BE CONDUCTED.



drawing title: <b>ROOF AREA PLAN</b>		<b>STATE OF CONNECTICUT</b> DEPARTMENT OF ADMINISTRATIVE SERVICES	
REVISIONS			
mark	date	description	
X.X.X	X.X.X	X.X.X	
drawing prepared by: <b>GALE ASSOCIATES, INC.</b> 703 HEBRON AVE. GLASTONBURY, CT 06033		date: 12/03/18	scale: 1/8"=1'-0"
project: <b>ROOF REPLACEMENT AND WEATHER-PROOFING, 460 &amp; 470 CAPITOL AVE HARTFORD, CT</b>		drawn by: JSD/ETH	approved by: MAL
CAD no: H1978820		project no: SI-28-433	<b>A105</b>

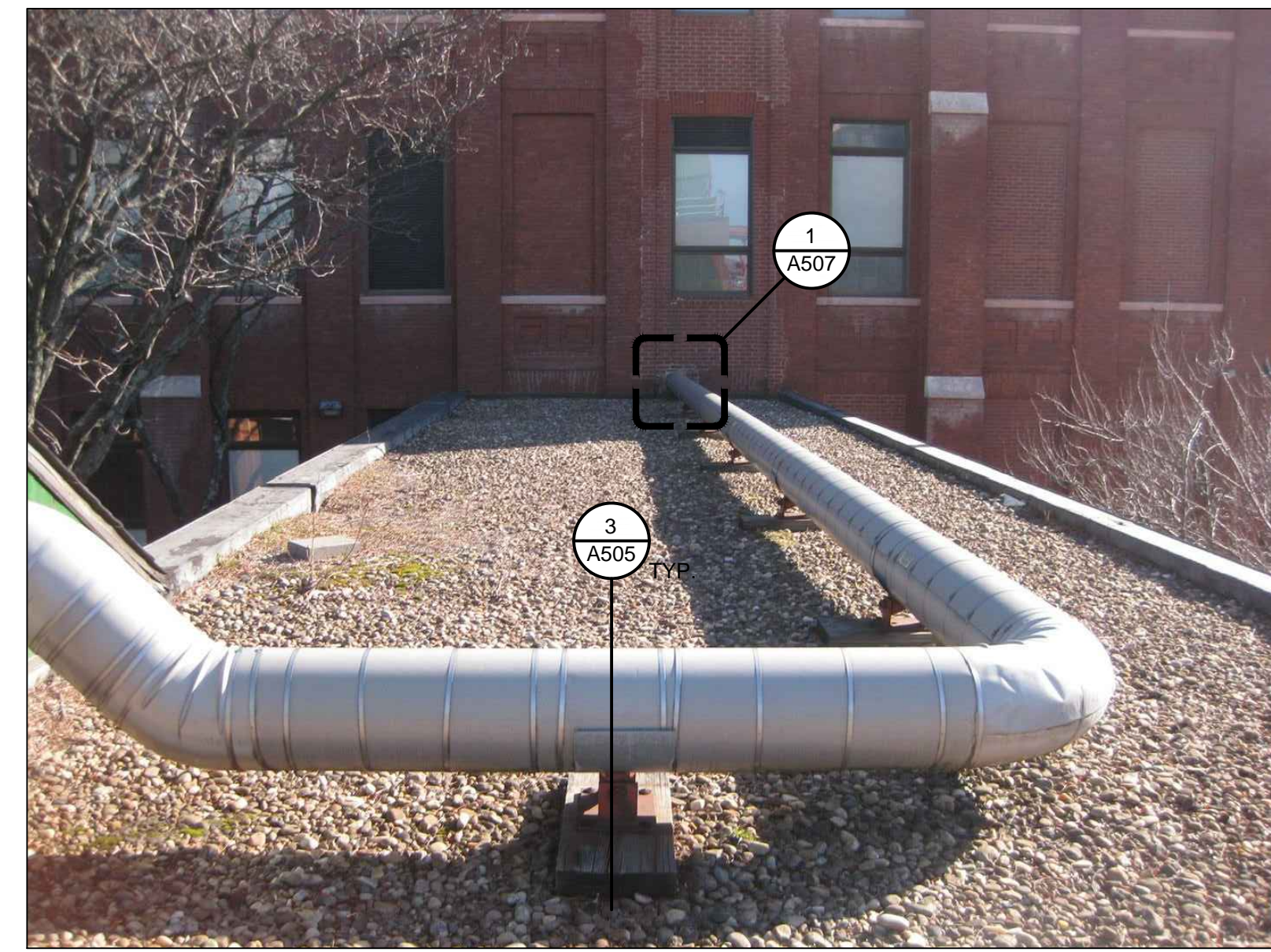
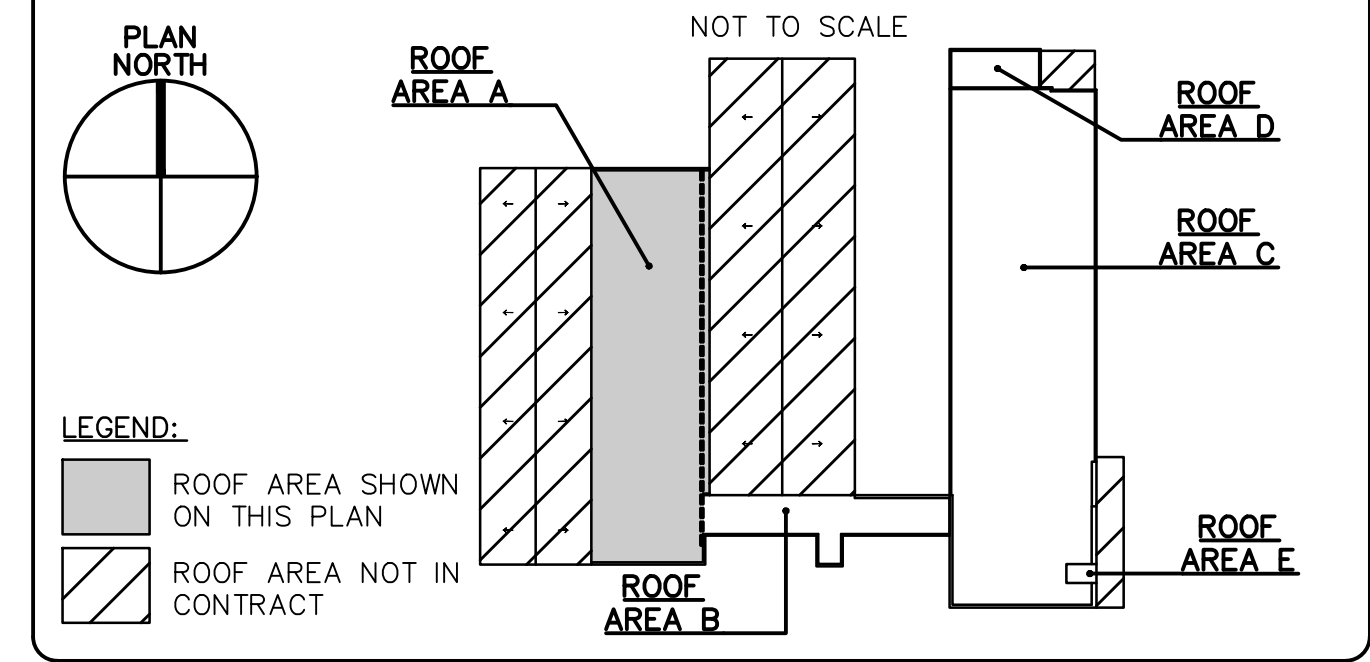
**MECHANICAL NOTES**

- MECHANICAL NOTES APPLY TO ROOF AREA PLANS, SHEETS A103, A105, AND A106
- 1 ROOF EXHAUST FAN - EXISTING TO REMAIN. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE EXHAUST FAN FROM CURB AND STORE ON SITE FOR RE-INSTALL. RAISE EXISTING CURB ON NEW BLOCKING. CLEAN FAN WHEEL AND HOUSING. PROVIDE NEW ROOF CURB DISCONNECT SWITCH AND BACK DRAFT DAMPER. EXTEND AND RECONNECT POWER AND CONTROL WIRING AND START FAN.
  - 2 GREASE ROOF EXHAUST FAN - EXISTING TO REMAIN. COORDINATE WITH OWNER TO DISCONNECT AND RECONNECT FANS WHILE KITCHEN EQUIPMENT IS NOT IN USE. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE EXHAUST FAN FROM CURB AND STORE ON SITE FOR RE-INSTALL. CLEAN FAN WHEEL AND HOUSING. PROVIDE NEW ROOF CURB DISCONNECT SWITCH AND BACK DRAFT DAMPER. EXTEND AND RECONNECT POWER AND CONTROL WIRING AND START FAN.
  - 3 NOT USED
  - 4 GRAVITY HOODS - EXISTING TO REMAIN. DISCONNECT AND MAKE SAFE FOR RE-INSTALL. REMOVE HOOD AND STORE ON PROJECT SITE FOR RE-INSTALL. RAISE EXISTING CURB ON NEW BLOCKING. RESET GRAVITY HOOD AND RECONNECT WIRING, IF ANY. PROVIDE NEW STAINLESS STEEL MESH HOOD BIRD SCREEN AS REQUIRED FOR ANY DAMAGED OR MISSING.
  - 5 CONDENSER UNIT - EXISTING TO BE REMOVED. DISCONNECT POWER AND CONTROL WIRING BACK TO ITS SOURCE BELOW ROOF AND MAKE SAFE. REMOVE REFRIGERANT AND OIL FROM SYSTEM AND DISPOSE OF PER EPA REQUIREMENTS (±80 LBS OF R-22 REFRIGERANT). DISCONNECT REFRIGERANT PIPING, REMOVE CONDENSER AND DUNNAGE. REMOVE FROM PROJECT SITE AND DISPOSE OF PER EPA REQUIREMENTS.
  - 6 CONDENSER - EXISTING TO REMAIN. REVIEW FOR REFRIGERANT LEAKS PRIOR TO WORK. DOCUMENT AND REPORT CONDITIONS TO A/E AND OWNER. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE REFRIGERANT AND OIL FROM SYSTEM PER EPA REQUIREMENTS. (±80 LBS OF R-22 REFRIGERANT). DISCONNECT REFRIGERANT PIPING. RE-INSTALL CONDENSER ON EXISTING SUPPORT, COORDINATE WITH ROOFING CONTRACTOR. RECONNECT REFRIGERANT PIPING, TRIPLE EVACUATE AND RECHARGE REFRIGERANT SYSTEM. REVIEW FOR REFRIGERANT LEAKS AND REPAIR AS ENCOUNTERED. RECONNECT POWER AND CONTROL WIRING AND RESTART SYSTEM IN ACCORDANCE WITH OWNER'S MANUAL. DOCUMENT AND REPORT STARTUP TO A/E. CONDENSER FANS SHALL BE CHECKED FOR PROPER OPERATION AND ROTATION.
  - 7 MITSUBISHI CONDENSING UNITS - EXISTING TO REMAIN. REVIEW FOR REFRIGERANT LEAKS PRIOR TO WORK. DOCUMENT AND REPORT CONDITIONS TO A/E AND OWNER. DISCONNECT POWER AND CONTROL WIRING AND MAKE SAFE. REMOVE REFRIGERANT AND OIL FROM SYSTEM PER EPA REQUIREMENTS. (±20 LBS OF R410A REFRIGERANT EACH) DISCONNECT REFRIGERANT PIPING. RE-INSTALL CONDENSING UNIT ON NEW CURBS, COORDINATE WITH ROOFING CONTRACTOR. RECONNECT REFRIGERANT PIPING, TRIPLE EVACUATE AND RECHARGE REFRIGERANT SYSTEM. REVIEW FOR REFRIGERANT LEAKS AND REPAIR AS ENCOUNTERED. RECONNECT POWER AND CONTROL WIRING AND RESTART SYSTEM IN ACCORDANCE WITH OWNER'S MANUAL. DOCUMENT AND REPORT STARTUP TO A/E. CONDENSER FANS SHALL BE CHECKED FOR PROPER OPERATION AND ROTATION.
  - 8 COOLING TOWER - EXISTING TO BE REMOVED. DISCONNECT WATER MAKE UP, SUPPLY AND RETURN WATER PIPING AND CAP BELOW ROOF. DISCONNECT POWER AND CONTROL WIRING BACK TO ITS SOURCE AND MAKE SAFE. REMOVE COOLING TOWER AND DUNNAGE FROM PROJECT SITE AND DISPOSE OF PER EPA REQUIREMENTS.
  - 9 GAS FIRED RTU - EXISTING TO BE REMOVED. PRIOR TO WORK, CONTACT UTILITY PROVIDER AND ENSURE GAS IS SHUT-OFF AND THE PIPES ARE CLEARED PER MEP NOTE 10 BELOW. DISCONNECT DUCTWORK, CAP ON ROOF AND MAKE WATERTIGHT. REMOVE GAS FIRED FURNACE AND DUNNAGE FROM PROJECT SITE AND DISPOSE OF IN A LEGAL AND LAWFUL MANNER PER EPA REQUIREMENTS.
  - 10 NATURAL GAS PIPING - EXISTING TO BE REMOVED. PRIOR TO WORK, CONTACT UTILITY PROVIDER AND ENSURE GAS IS SHUT-OFF. PURGE-OUT-OF-SERVICE EXISTING GAS LINES FROM THE MAIN TO THE ROOFTOP UNIT IN ACCORDANCE WITH IFGS REQUIREMENTS. CAP EXISTING INTERIOR GAS LINE AT THE MAIN AND ON THE INSIDE OF THE ROOF PENETRATION AND ABANDONED IN PLACE. PURGE-OUT-OF-SERVICE, REMOVE, AND DISPOSE OF ROOFTOP GAS LINE.
  - 11 CHILLED WATER PIPING - EXISTING TO REMAIN. DISCONNECT, DRAIN, RELOCATE, AND REINSTALL CHILLED WATER PIPING TO INCREASE CLEARANCE TO 12" ABOVE NEW FINISHED ROOF. PROVIDE ADDITIONAL SCHEDULE 40 BLACK IRON PIPING, INSULATION AND JACKETING OF SAME DIAMETER AS REQUIRED TO RECONNECT ALL PIPING. FURNISH AND INSTALL NEW LINE CABLING WITH GFCI PLUG-IN, MATCHING THE VOLTAGE OF THE EXISTING HEAT TRACE. RECONNECT PIPING, INSULATION AND JACKETING TO EXISTING PIPING INSIDE BUILDING AT BOTH ENDS. PROVIDE NEW BUILDING PENETRATIONS AS REQUIRED FOR THE NEW PIPING ENTRANCE INTO BUILDING. PROVIDE EXTENSIONS TO ALL MATERIALS AS REQUIRED TO COMPENSATE FOR ADDITIONAL LENGTHS. NEW BUILDING PENETRATIONS SHALL BE MADE WATERTIGHT, REPAIR EXTERIOR WALL AT EXISTING AND NEW PENETRATIONS AS NECESSARY TO MAINTAIN PRE-CONSTRUCTION APPEARANCE. PRESSURE TEST PIPING TO 150 PSIG PRIOR TO APPLYING INSULATION, HEAT TAPE AND JACKETING. DOCUMENT AND REPORT CONDITIONS TO A/E AND OWNER
  - 12 NOT USED
  - 13 NOT USED
  - 14 ROOF EXHAUST FAN - EXISTING TO BE REMOVED. DISCONNECT POWER AND CONTROL WIRING BACK TO ITS SOURCE AND MAKE SAFE. REMOVE EXHAUST FAN AND CURB FROM PROJECT SITE AND DISPOSE OF PER EPA REQUIREMENTS. REPLACE/INFILL ROOF DECK IN ACCORDANCE WITH SECTION 06 10 00.

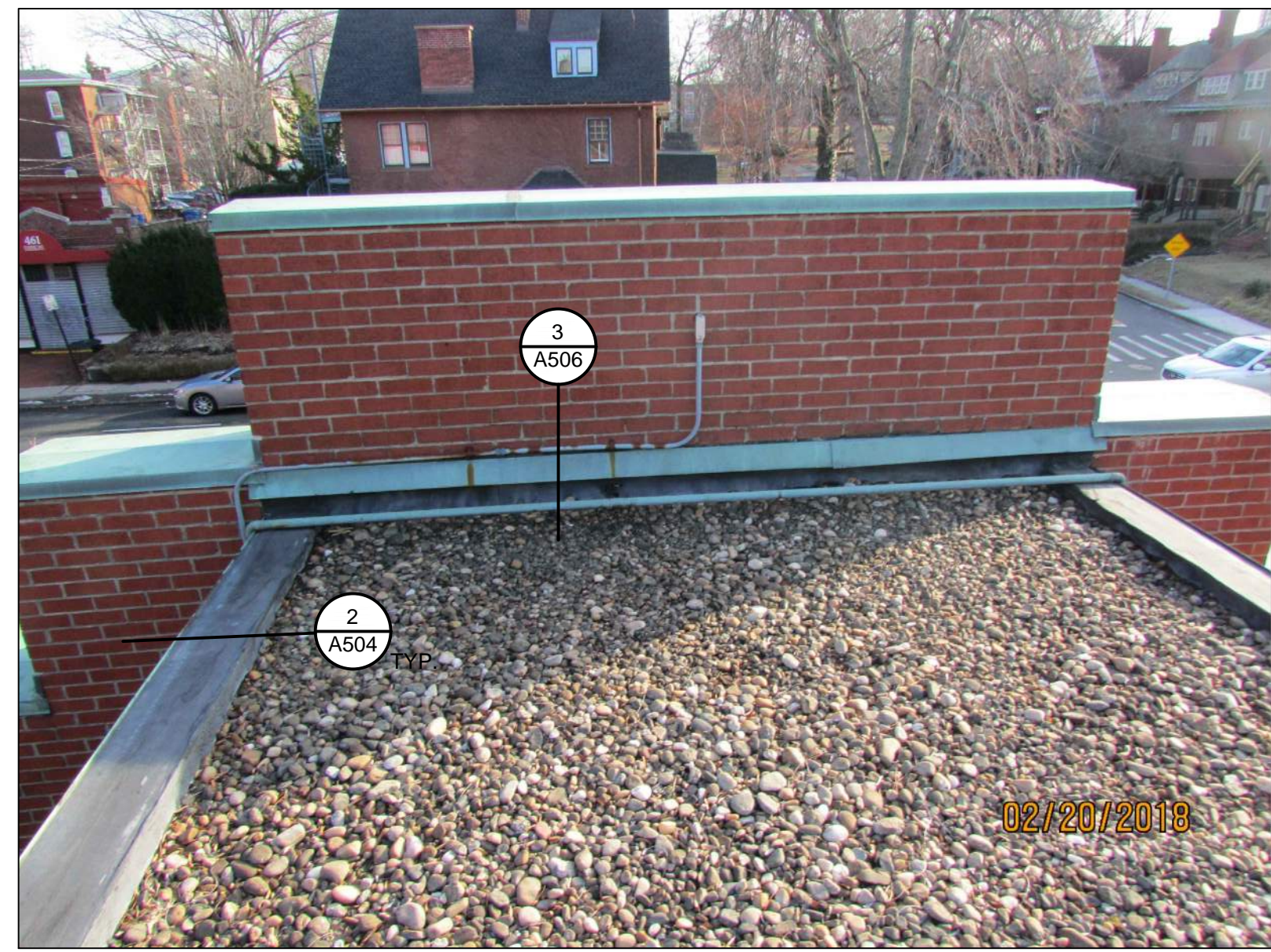
**SHEET NOTES**

# REFER TO ROOF PLAN SHEET NOTES ON G101

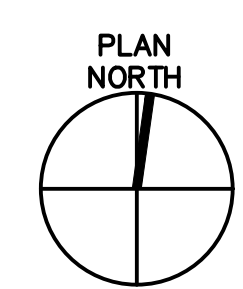
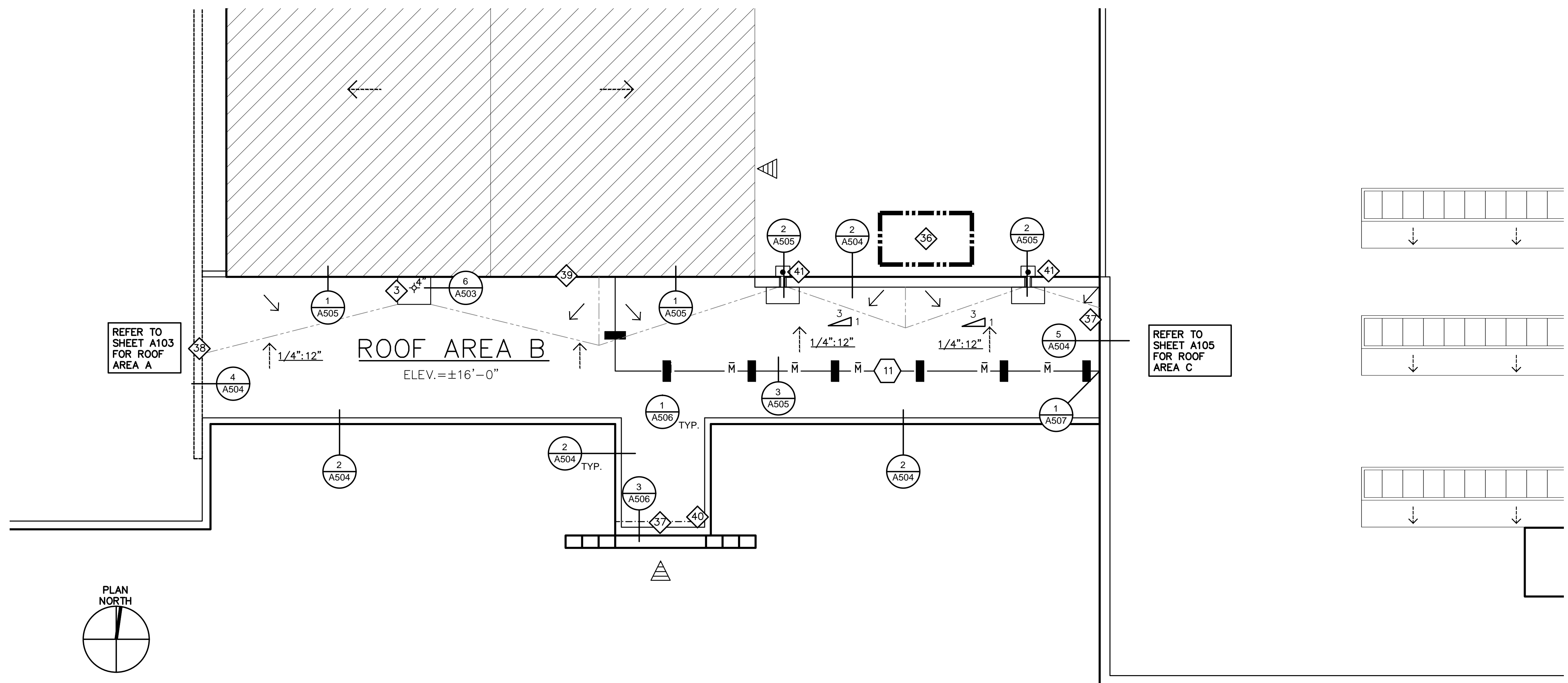
**KEY PLAN**



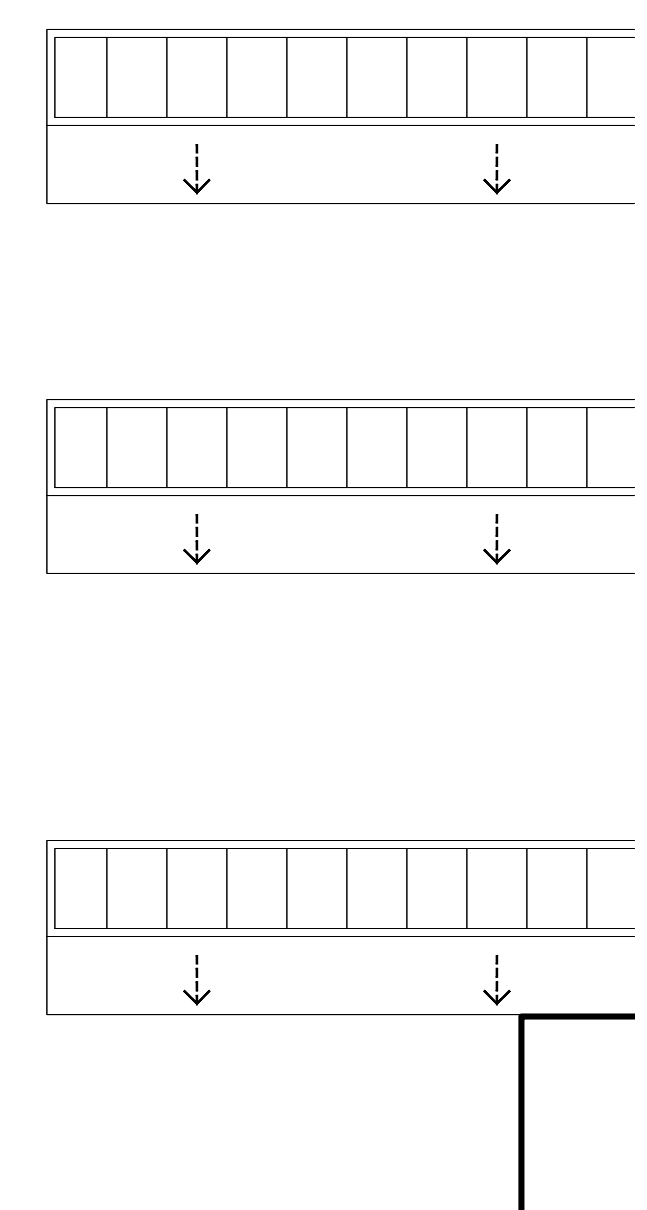
11 EXISTING CHILLED WATER LINE NOT TO SCALE



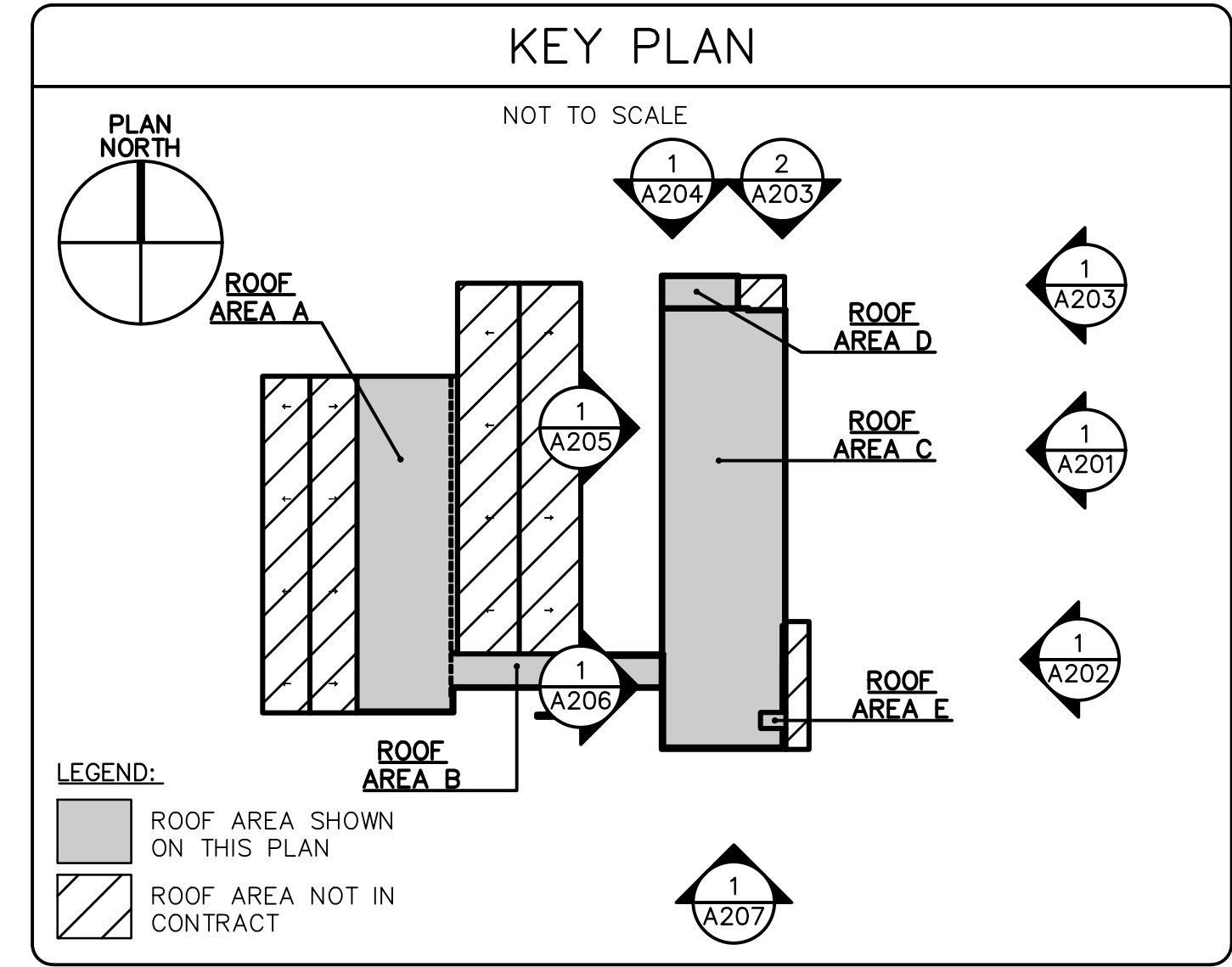
37 EXISTING CONDUIT OVER ROOF NOT TO SCALE



1 CONNECTOR ROOF AREA PLAN SCALE: 1/8" = 1'-0"



REVISIONS			STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
mark	date	description	drawing prepared by	date
X.X.X	X.X.X	X.X.X	GALE ASSOCIATES, INC. 703 HEBRON AVE. GLASTONBURY, CT 06033	12/03/19
			project	scale
			ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE HARTFORD, CT	1/8"=1'-0"
			drawn by	approved by
			JSD/ETH	MAL
			checked by	drawing no.
				A106
			CAD no.	project no.
			H:1978820	SI-28-433

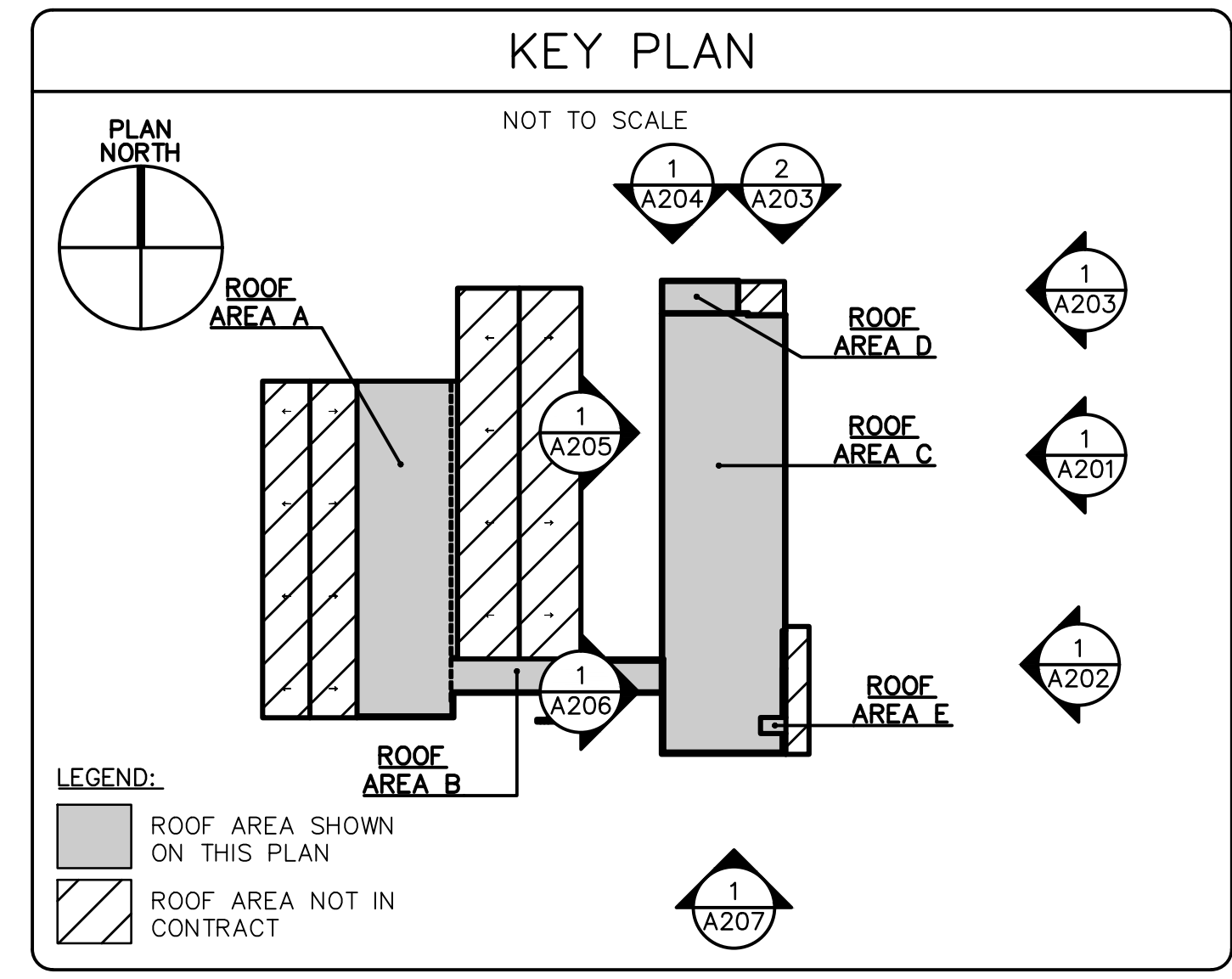


- ### ELEVATION SHEET NOTES
- ④ REFER TO SHEET NOTES ON A201-A207.
  - ① REMOVE AND REBUILD BRICK MASONRY AT ROOF EDGE.\*
  - ①A REPOINT BRICK MASONRY\*. REMOVE AND REPLACE CRACKED/SPALLED BRICKS, WHERE ENCOUNTERED WITHIN LIMITS SHOWN - TOTAL OF 100 ALL ELEVATIONS. PROVIDE PROTECTION OF EXISTING BRICK MASONRY, WINDOWS, AND EQUIPMENT TO REMAIN.
  - ①B NEW BRICK MASONRY\*
  - ② REMOVE EXISTING CHIMNEY DOWN TO DECK LEVEL. PROVIDE NEW WOOD BLOCKING, STEEL PLATE DECK INFILL, NEW EDGE METAL. SEE DETAIL 6/A501.
  - ③ REMOVE AND REBUILD PARAPET. SEE DETAILS ON SHEET A501.
  - ④ REMOVE AND REPLACE PERIMETER SEALANT AT EXISTING LOUVER.
  - ⑤ REMOVE STEEL DUNNAGE EMBEDDED IN BRICK CURB. REMOVE AND REBUILD BRICK MASONRY.
  - ⑥ APPROXIMATE LOCATION OF NOTCHED EDGE SCUPPER, REFER TO A105 FOR LOCATIONS AND DETAIL 3/A501 FOR SECTION AND ISOMETRIC VIEWS.
  - ⑦ REMOVE AND SIPOSE OF BRICK COURSES AT EXTERIOR WYTHE THAT ARE COVERES IN BLACK MASTIC AND REPLACE WITH NEW. \*\_C\* INDICATES NUMBER OF COURSES.
  - ⑧ APPROXIMATE LOCATION OF CORED THROUGHWALL SCUPPER. REFER TO A105 FOR LOCATIONS AND DETAILS 2/A502, 3/A205 AND 4/A205.
- \* \*\_C\* INDICATES NUMBER OF COURSES

1 460 PHOTO ELEVATION - PARTIAL EAST MASONRY WORK  
SCALE: NOT TO SCALE



drawing title: <b>PHOTOGRAPHIC ELEVATIONS</b>		STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
REVISIONS			
mark	date	description	
X.X.X	X.X.X	X.X.X	
drawing prepared by: <b>GALE ASSOCIATES, INC.</b> 703 HEBRON AVE. GLASTONBURY, CT 06033		date: 12/03/19	scale: N.T.S.
project: <b>ROOF REPLACEMENT AND WEATHER-PROOFING, 460 &amp; 470 CAPITOL AVE HARTFORD, CT</b>		drawn by: JSD/ETH	approved by: MML
CAD no. H1978820	project no. SI-28-433	drawing no. <b>A201</b>	

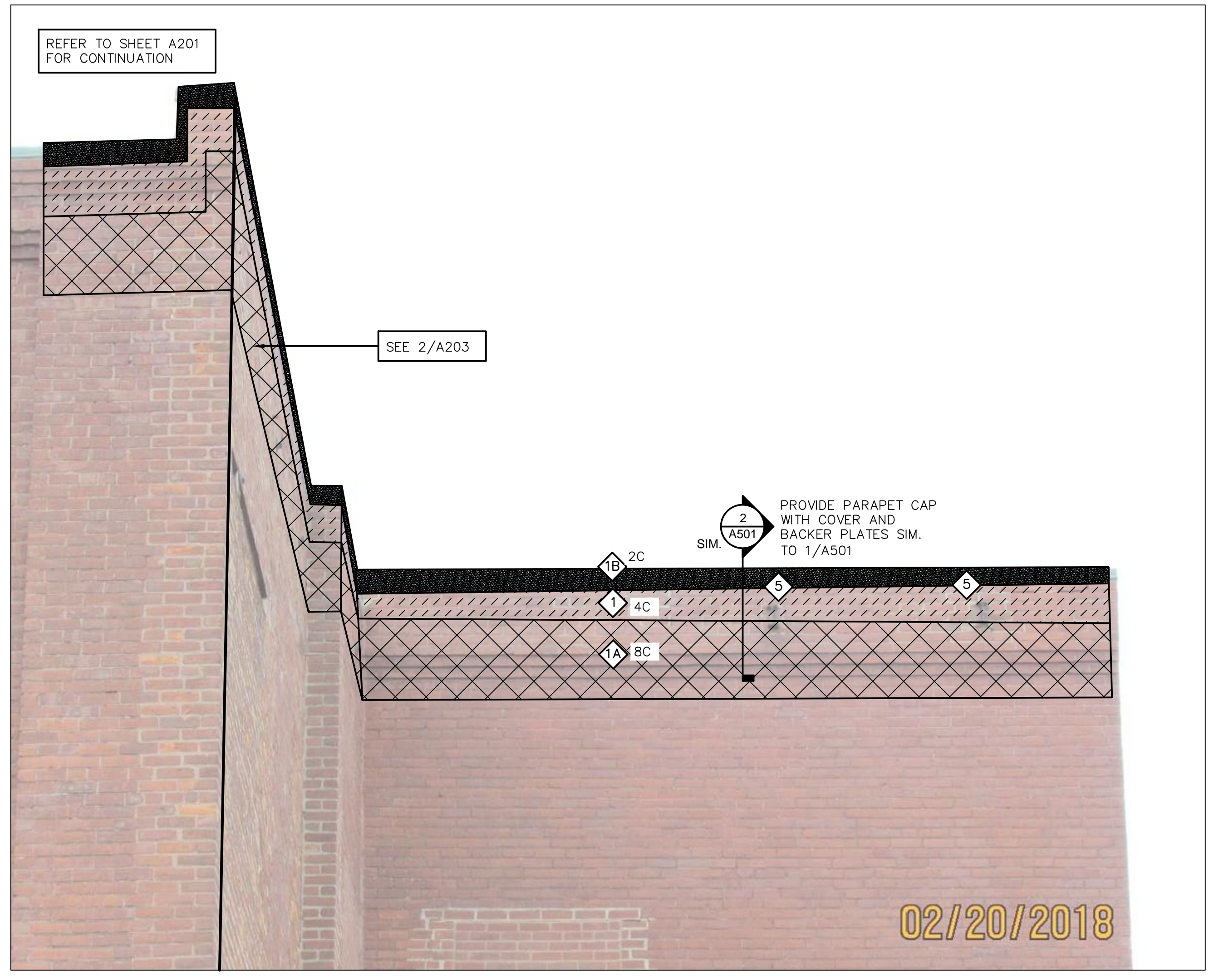
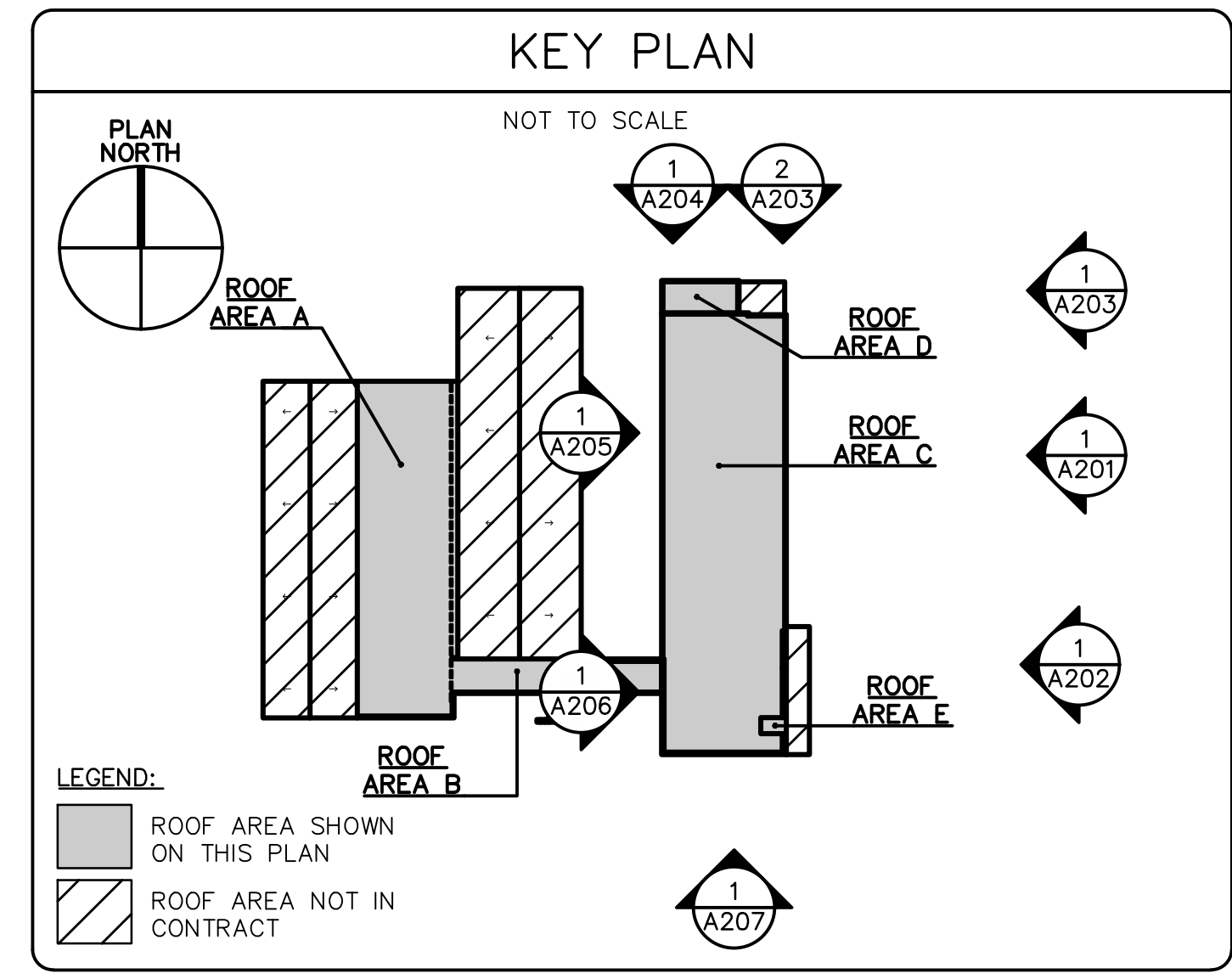


- ELEVATION SHEET NOTES**
- ④ REFER TO SHEET NOTES ON A201-A207.
  - ① REMOVE AND REBUILD BRICK MASONRY AT ROOF EDGE.\*
  - ①A REPOINT BRICK MASONRY\*. REMOVE AND REPLACE CRACKED/SPALLED BRICKS, WHERE ENCOUNTERED WITHIN LIMITS SHOWN - TOTAL OF 100 ALL ELEVATIONS. PROVIDE PROTECTION OF EXISTING BRICK MASONRY, WINDOWS, AND EQUIPMENT TO REMAIN.
  - ①B NEW BRICK MASONRY\*
  - ② REMOVE EXISTING CHIMNEY DOWN TO DECK LEVEL. PROVIDE NEW WOOD BLOCKING, STEEL PLATE DECK INFILL, NEW EDGE METAL. SEE DETAIL 6/A501.
  - ③ REMOVE AND REBUILD PARAPET. SEE DETAILS ON SHEET A501.
  - ④ REMOVE AND REPLACE PERIMETER SEALANT AT EXISTING LOUVER.
  - ⑤ REMOVE STEEL DUNNAGE EMBEDDED IN BRICK CURB. REMOVE AND REBUILD BRICK MASONRY.
  - ⑥ APPROXIMATE LOCATION OF NOTCHED EDGE SCUPPER. REFER TO A105 FOR LOCATIONS AND DETAIL 3/A501 FOR SECTION AND ISOMETRIC VIEWS.
  - ⑦ REMOVE AND SIPOSE OF BRICK COURSES AT EXTERIOR WYTHE THAT ARE COVERES IN BLACK MASTIC AND REPLACE WITH NEW. \*\_C\* INDICATES NUMBER OF COURSES.
  - ⑥ APPROXIMATE LOCATION OF CORED THROUGHWALL SCUPPER. REFER TO A105 FOR LOCATIONS AND DETAILS 2/A502, 3/A205 AND 4/A205.
- \* \*\_C\* INDICATES NUMBER OF COURSES

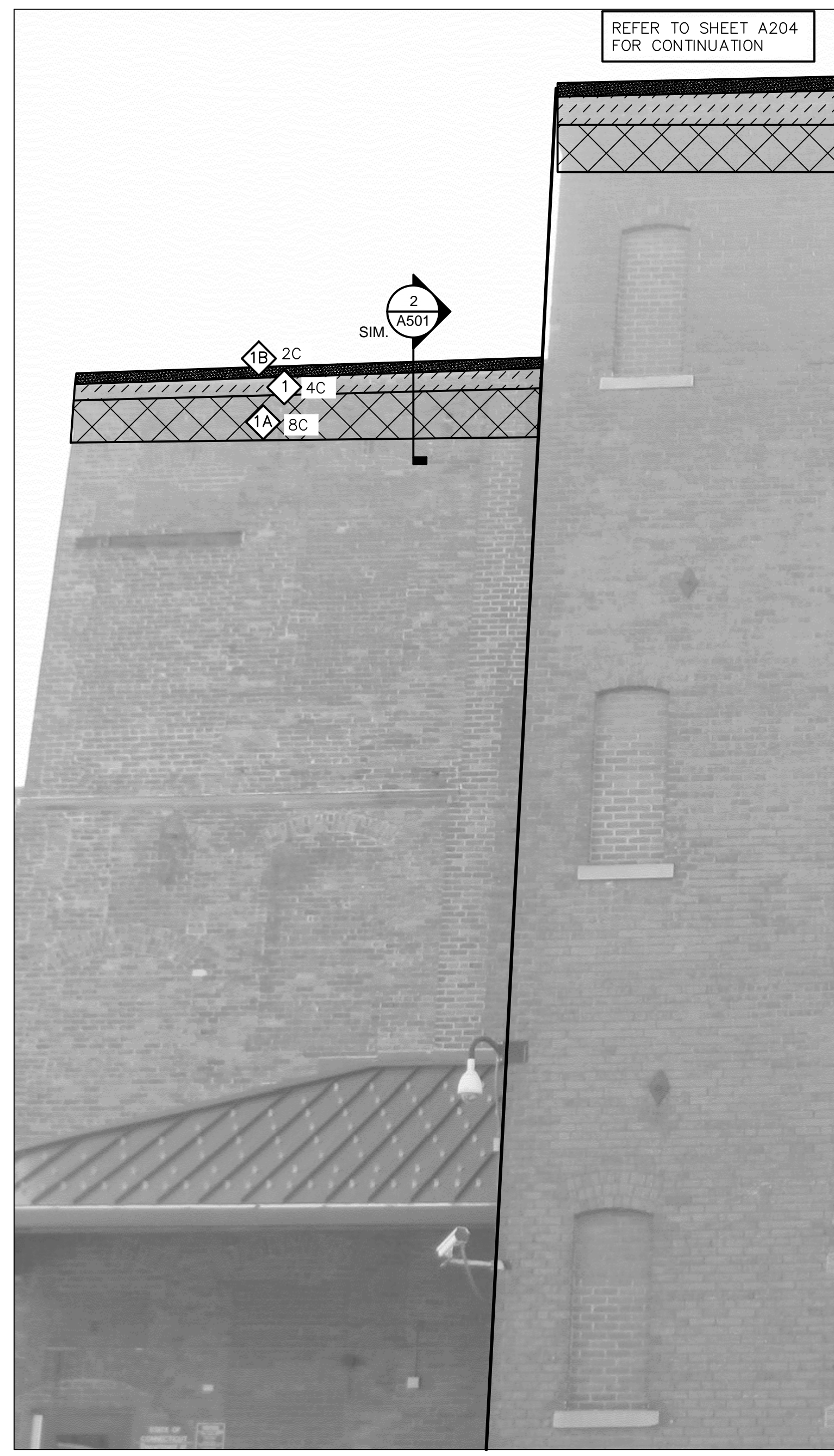
① 460 PHOTO ELEVATION - PARTIAL EAST MASONRY WORK  
SCALE: NOT TO SCALE



drawing title: <b>PHOTOGRAPHIC ELEVATIONS</b>		STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
REVISIONS			
mark	date	description	
X.X.X	X.X.X	X.X.X	
drawing prepared by:		date:	
GALE ASSOCIATES, INC. 703 HEBRON AVE. GLASTONBURY, CT 06033		12/03/19	
project:		scale:	
ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE HARTFORD, CT		N.T.S.	
CAD no.:		drawing no.:	
H:1978820		A202	
project no.:		approved by:	
SI-28-433		JSD/ETH	
		checked by:	
		MML	



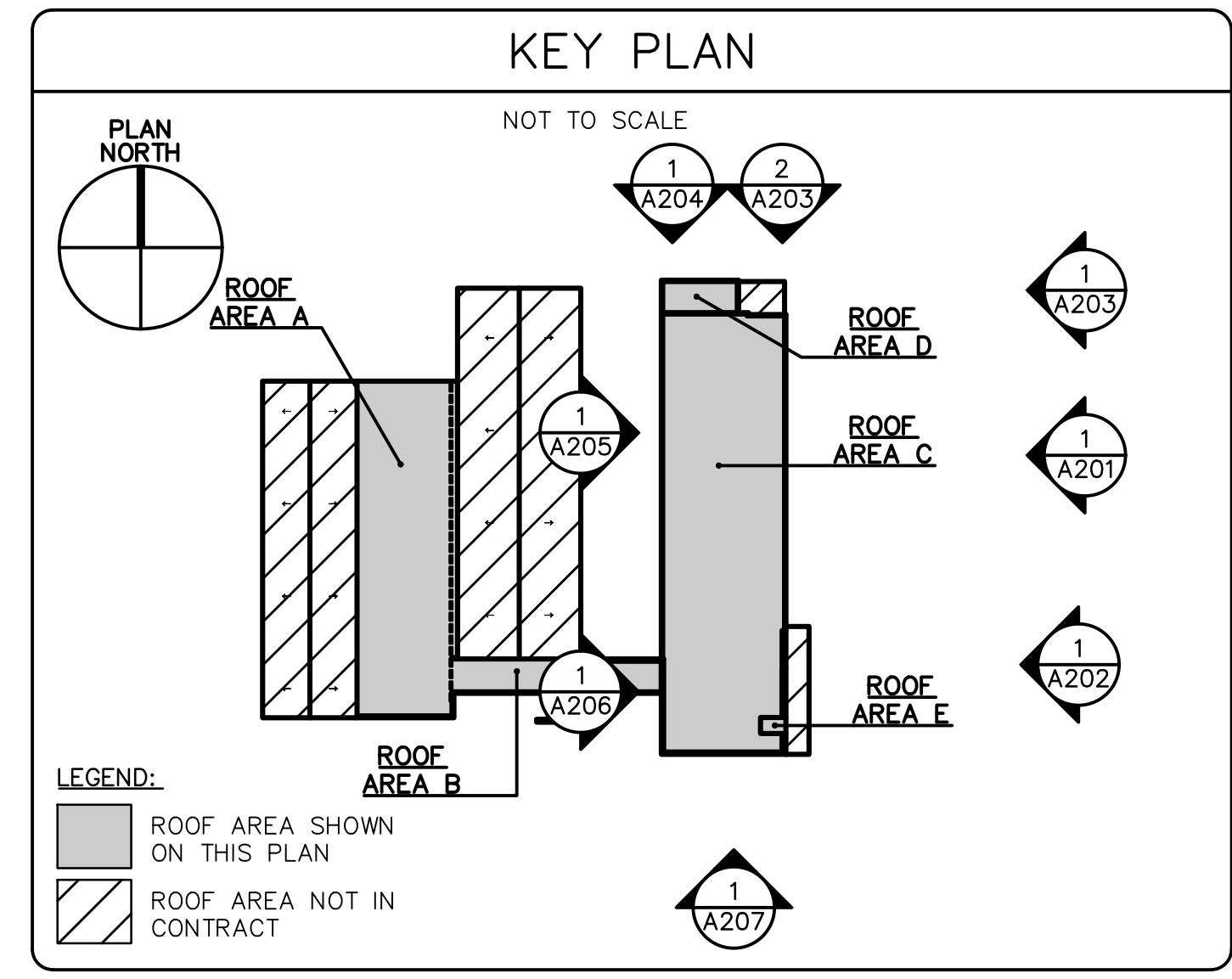
1 460 PHOTO ELEVATION – PARTIAL EAST MASONRY WORK  
SCALE: NOT TO SCALE



2 460 PHOTO ELEVATION – PARTIAL NORTH MASONRY WORK  
SCALE: NOT TO SCALE

- ELEVATION SHEET NOTES**
- 4 REFER TO SHEET NOTES ON A201-A207.
  - 1 REMOVE AND REBUILD BRICK MASONRY AT ROOF EDGE.\*
  - 1A REPOINT BRICK MASONRY\*. REMOVE AND REPLACE CRACKED/SPALLED BRICKS, WHERE ENCOUNTERED WITHIN LIMITS SHOWN – TOTAL OF 100 ALL ELEVATIONS. PROVIDE PROTECTION OF EXISTING BRICK MASONRY, WINDOWS, AND EQUIPMENT TO REMAIN.
  - 1B NEW BRICK MASONRY\*
  - 2 REMOVE EXISTING CHIMNEY DOWN TO DECK LEVEL. PROVIDE NEW WOOD BLOCKING, STEEL PLATE DECK INFILL, NEW EDGE METAL. SEE DETAIL 6/A501.
  - 3 REMOVE AND REBUILD PARAPET. SEE DETAILS ON SHEET A501.
  - 4 REMOVE AND REPLACE PERIMETER SEALANT AT EXISTING LOUVER.
  - 5 REMOVE STEEL DUNNAGE EMBEDDED IN BRICK CURB. REMOVE AND REBUILD BRICK MASONRY.
  - 6 APPROXIMATE LOCATION OF NOTCHED EDGE SCUPPER, REFER TO A105 FOR LOCATIONS AND DETAIL 3/A501 FOR SECTION AND ISOMETRIC VIEWS.
  - 7 REMOVE AND SIPOSE OF BRICK COURSES AT EXTERIOR WYTHE THAT ARE COVERES IN BLACK MASTIC AND REPLACE WITH NEW. \*\_C\* INDICATES NUMBER OF COURSES.
  - 8 APPROXIMATE LOCATION OF CORED THROUGHWALL SCUPPER. REFER TO A105 FOR LOCATIONS AND DETAILS 2/A502, 3/A205 AND 4/A205.
- \* \*\_C\* INDICATES NUMBER OF COURSES

PHOTOGRAPHIC ELEVATIONS			STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES		
REVISIONS			drawing prepared by		
mark	date	description	GALE ASSOCIATES, INC. 703 HEBRON AVE. GLASTONBURY, CT 06033		date
X.X.X	X.X.X	X.X.X			12/03/18
			project		scale
			ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE HARTFORD, CT		N.T.S.
			drawing no.		drawn by
			A203		JSD/ETH
			approved by		DATE
			drawing no.		
			CAD no.		project no.
			H:1978820		SI-2B-433

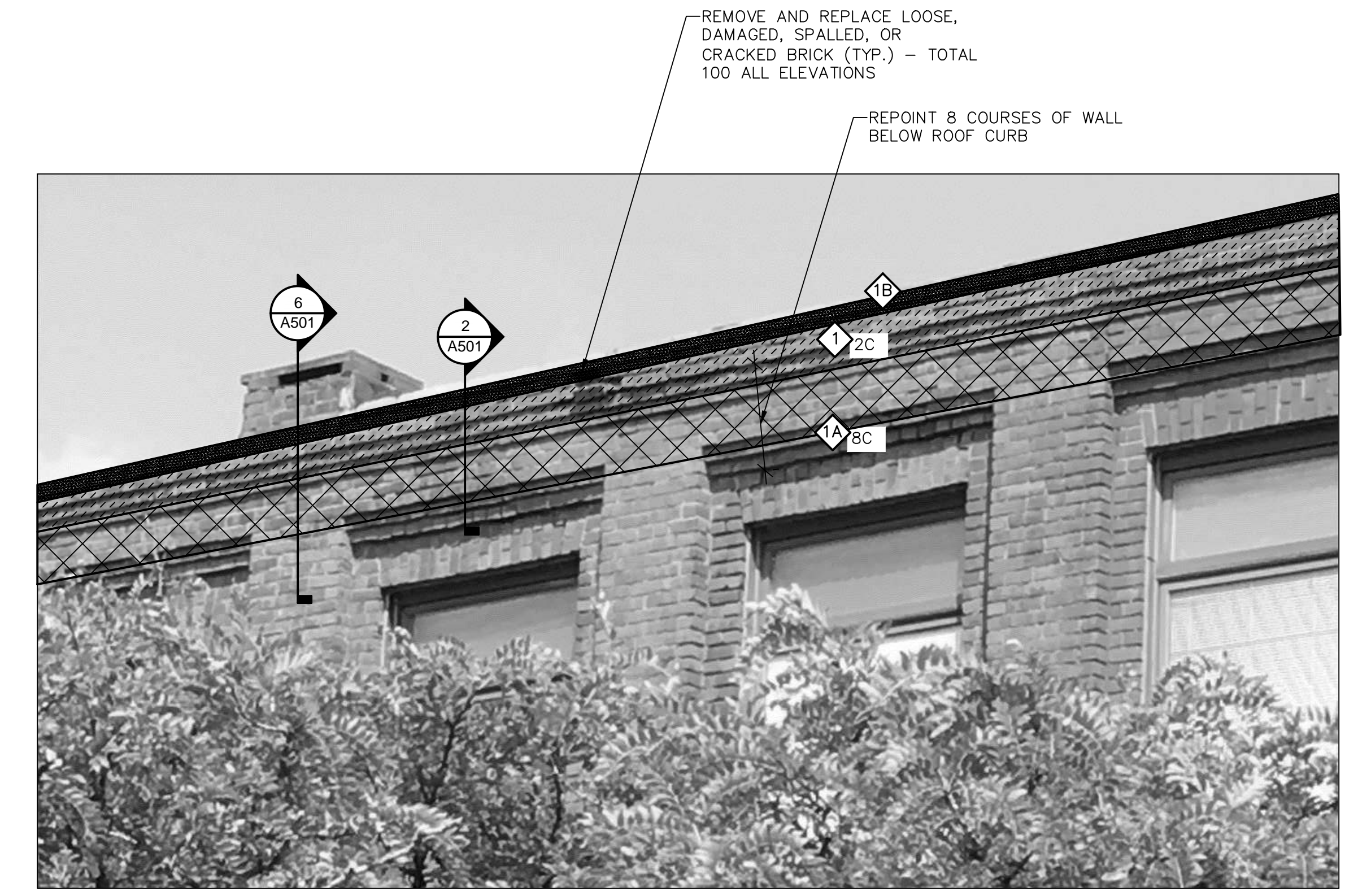
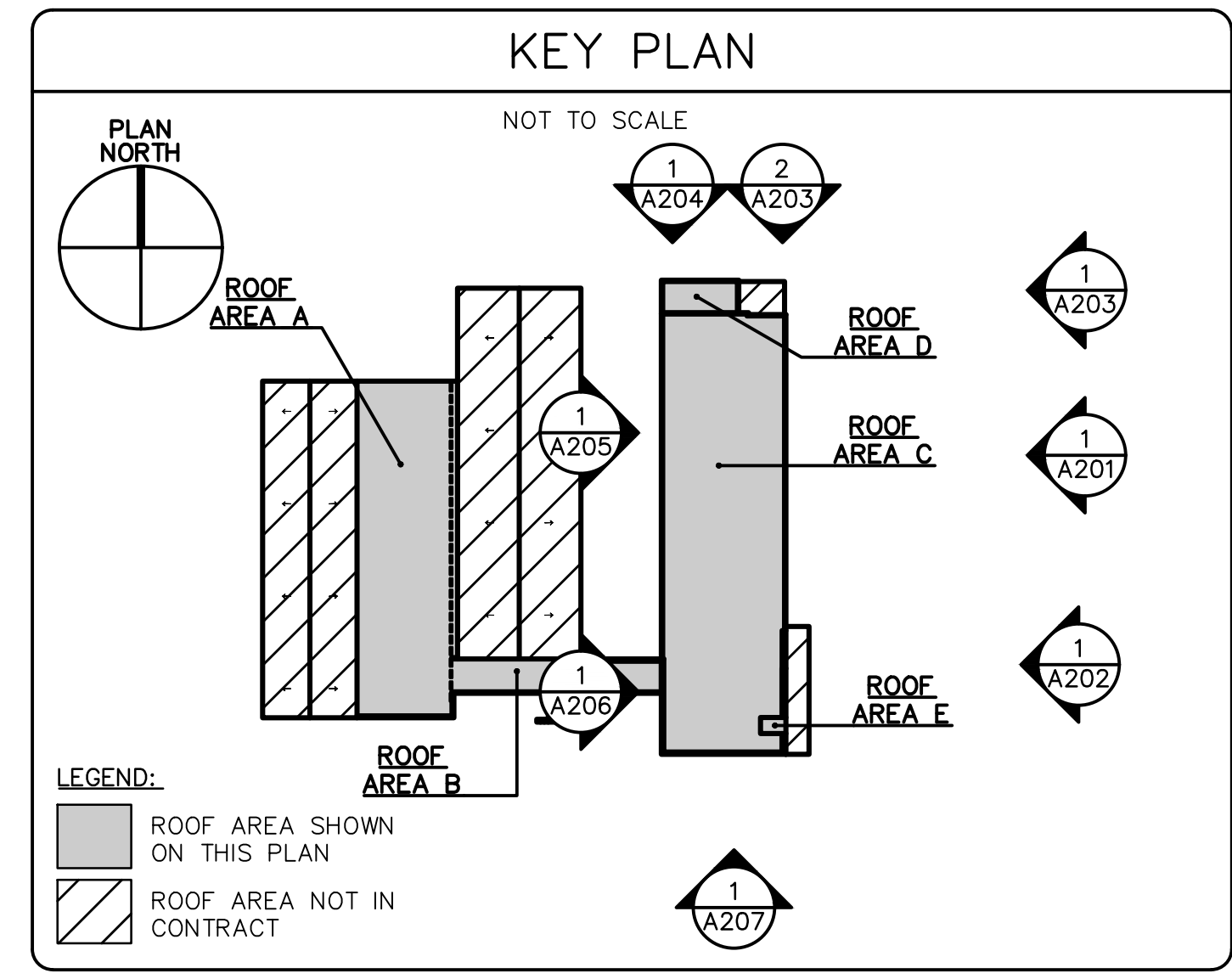


- ELEVATION SHEET NOTES**
- 4 REFER TO SHEET NOTES ON A201-A207.
  - 1 REMOVE AND REBUILD BRICK MASONRY AT ROOF EDGE.\*
  - 1A REPOINT BRICK MASONRY\*. REMOVE AND REPLACE CRACKED/SPALLED BRICKS, WHERE ENCOUNTERED WITHIN LIMITS SHOWN - TOTAL OF 100 ALL ELEVATIONS. PROVIDE PROTECTION OF EXISTING BRICK MASONRY, WINDOWS, AND EQUIPMENT TO REMAIN.
  - 1B NEW BRICK MASONRY\*
  - 2 REMOVE EXISTING CHIMNEY DOWN TO DECK LEVEL. PROVIDE NEW WOOD BLOCKING, STEEL PLATE DECK INFILL, NEW EDGE METAL. SEE DETAIL 6/A501.
  - 3 REMOVE AND REBUILD PARAPET. SEE DETAILS ON SHEET A501.
  - 4 REMOVE AND REPLACE PERIMETER SEALANT AT EXISTING LOUVER.
  - 5 REMOVE STEEL DUNNAGE EMBEDDED IN BRICK CURB. REMOVE AND REBUILD BRICK MASONRY.
  - 6 APPROXIMATE LOCATION OF NOTCHED EDGE SCUPPER, REFER TO A105 FOR LOCATIONS AND DETAIL 3/A501 FOR SECTION AND ISOMETRIC VIEWS.
  - 7 REMOVE AND SIPOSE OF BRICK COURSES AT EXTERIOR WYTHE THAT ARE COVERES IN BLACK MASTIC AND REPLACE WITH NEW. \*\_C\* INDICATES NUMBER OF COURSES.
  - 8 APPROXIMATE LOCATION OF CORED THROUGHWALL SCUPPER. REFER TO A105 FOR LOCATIONS AND DETAILS 2/A502, 3/A205 AND 4/A205.
- \* \*\_C\* INDICATES NUMBER OF COURSES

1 **460 PHOTO ELEVATION - PARTIAL NORTH MASONRY WORK**  
SCALE: NOT TO SCALE



drawing title: <b>PHOTOGRAPHIC ELEVATIONS</b>			STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES		
REVISIONS			drawing prepared by <b>GALE ASSOCIATES, INC.</b> 703 HEBRON AVE. GLASTONBURY, CT 06033		
mark	date	description	date	scale	date
X.X.X	X.X.X	X.X.X	12/03/19	N.T.S.	
			project	drawn by	approved by
			ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE HARTFORD, CT	JSD/ETH	MAE
			drawing no.	A204	
			CAD no.	project no.	
			H:976820	SI-2B-433	



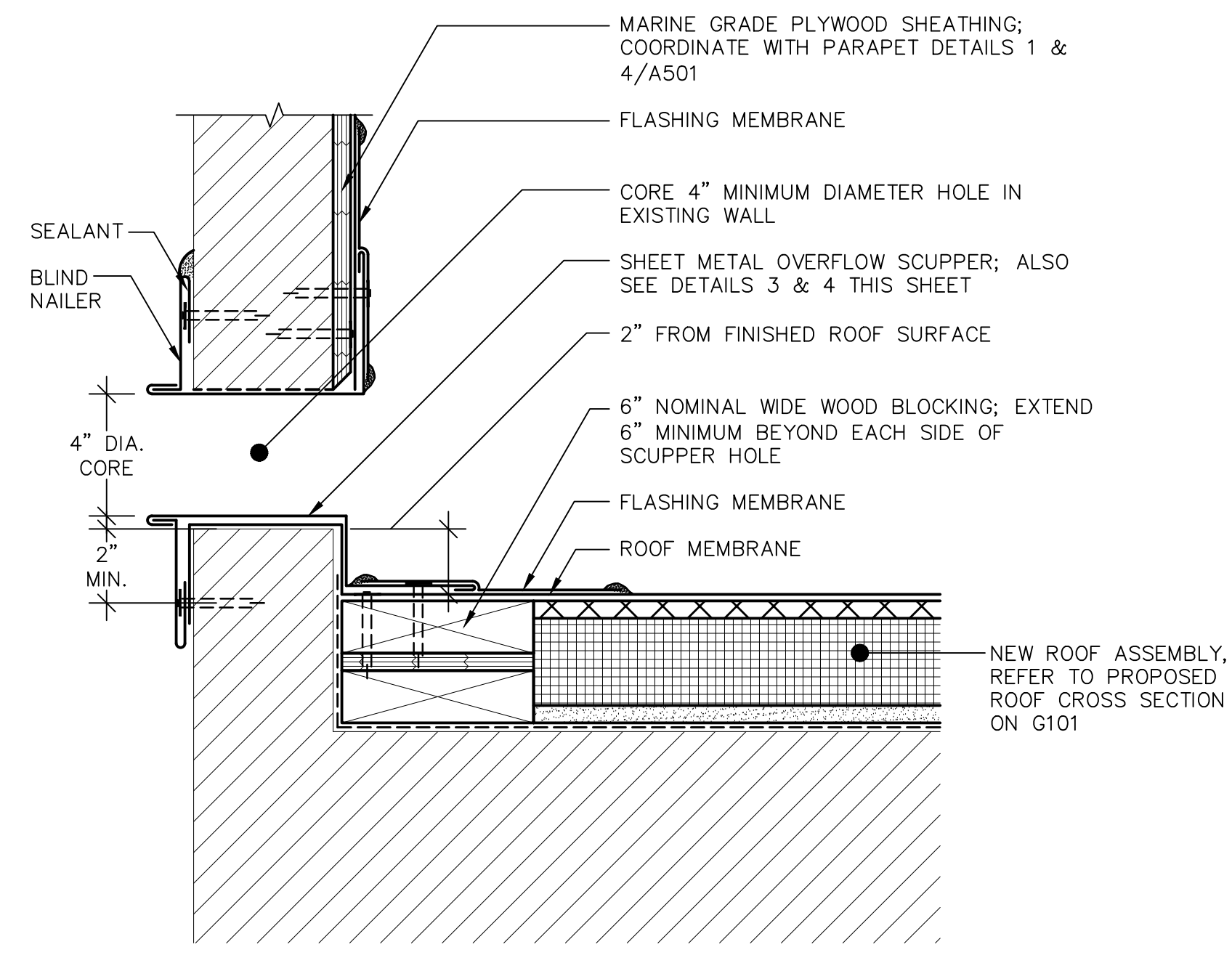
1 460 PHOTO ELEVATION – PARTIAL WEST MASONRY WORK  
SCALE: NOT TO SCALE

2 460 PHOTO ELEVATION – ENLARGED PARTIAL WEST MASONRY WORK  
SCALE: NOT TO SCALE

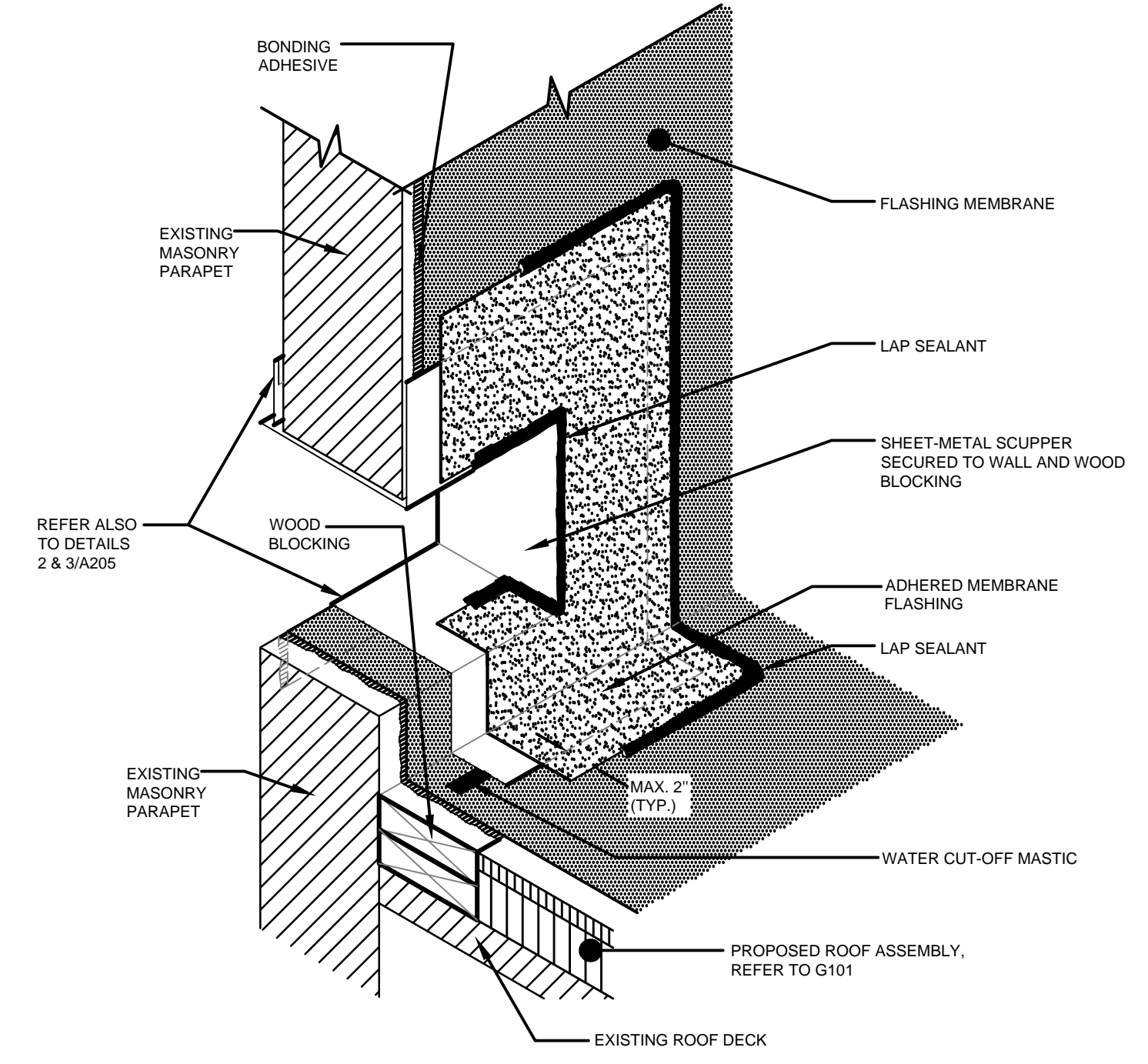
- ELEVATION SHEET NOTES**
- 6 REFER TO SHEET NOTES ON A201-A207.
  - 1 REMOVE AND REBUILD BRICK MASONRY AT ROOF EDGE.\*
  - 1A REPOINT BRICK MASONRY\*. REMOVE AND REPLACE CRACKED/SPALLED BRICKS, WHERE ENCOUNTERED WITHIN LIMITS SHOWN – TOTAL OF 100 ALL ELEVATIONS. PROVIDE PROTECTION OF EXISTING BRICK MASONRY, WINDOWS, AND EQUIPMENT TO REMAIN.
  - 1B NEW BRICK MASONRY\*
  - 2 REMOVE EXISTING CHIMNEY DOWN TO DECK LEVEL. PROVIDE NEW WOOD BLOCKING, STEEL PLATE DECK INFILL, NEW EDGE METAL. SEE DETAIL 6/A501.
  - 3 REMOVE AND REBUILD PARAPET. SEE DETAILS ON SHEET A501.
  - 4 REMOVE AND REPLACE PERIMETER SEALANT AT EXISTING LOUVER.
  - 5 REMOVE STEEL DUNNAGE EMBEDDED IN BRICK CURB. REMOVE AND REBUILD BRICK MASONRY.
  - 6 APPROXIMATE LOCATION OF NOTCHED EDGE SCUPPER, REFER TO A105 FOR LOCATIONS AND DETAIL 3/A501 FOR SECTION AND ISOMETRIC VIEWS.
  - 7 REMOVE AND SIPOSE OF BRICK COURSES AT EXTERIOR WYTHE THAT ARE COVERED IN BLACK MASTIC AND REPLACE WITH NEW. \*\_C\_ INDICATES NUMBER OF COURSES.
  - 8 APPROXIMATE LOCATION OF CORED THROUGHWALL SCUPPER. REFER TO A105 FOR LOCATIONS AND DETAILS 2/A502, 3/A205 AND 4/A205.
- \*\_\*\_C\_ INDICATES NUMBER OF COURSES



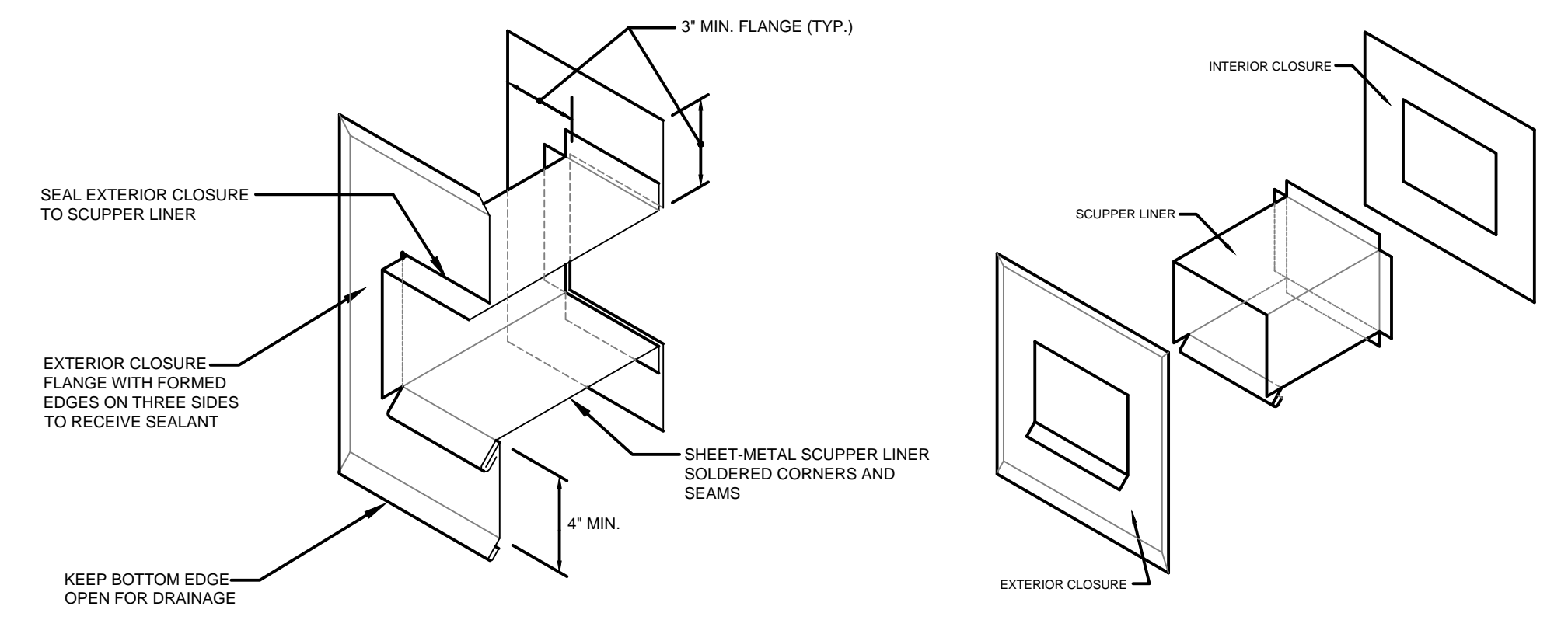
drawing title: <b>PHOTOGRAPHIC ELEVATIONS</b>			STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES		
REVISIONS			drawing prepared by <b>GALE ASSOCIATES, INC.</b> 703 HEBRON AVE. GLASTONBURY, CT 06033		
mark	date	description	date	scale	date
X.X.X	X.X.X	X.X.X		N.T.S.	12/03/18
project			drawn by	approved by	drawing no.
ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE HARTFORD, CT			JSD/ETH	MAL	A205
CAD no.	project no.				
H:1978820	SI-2B-433				



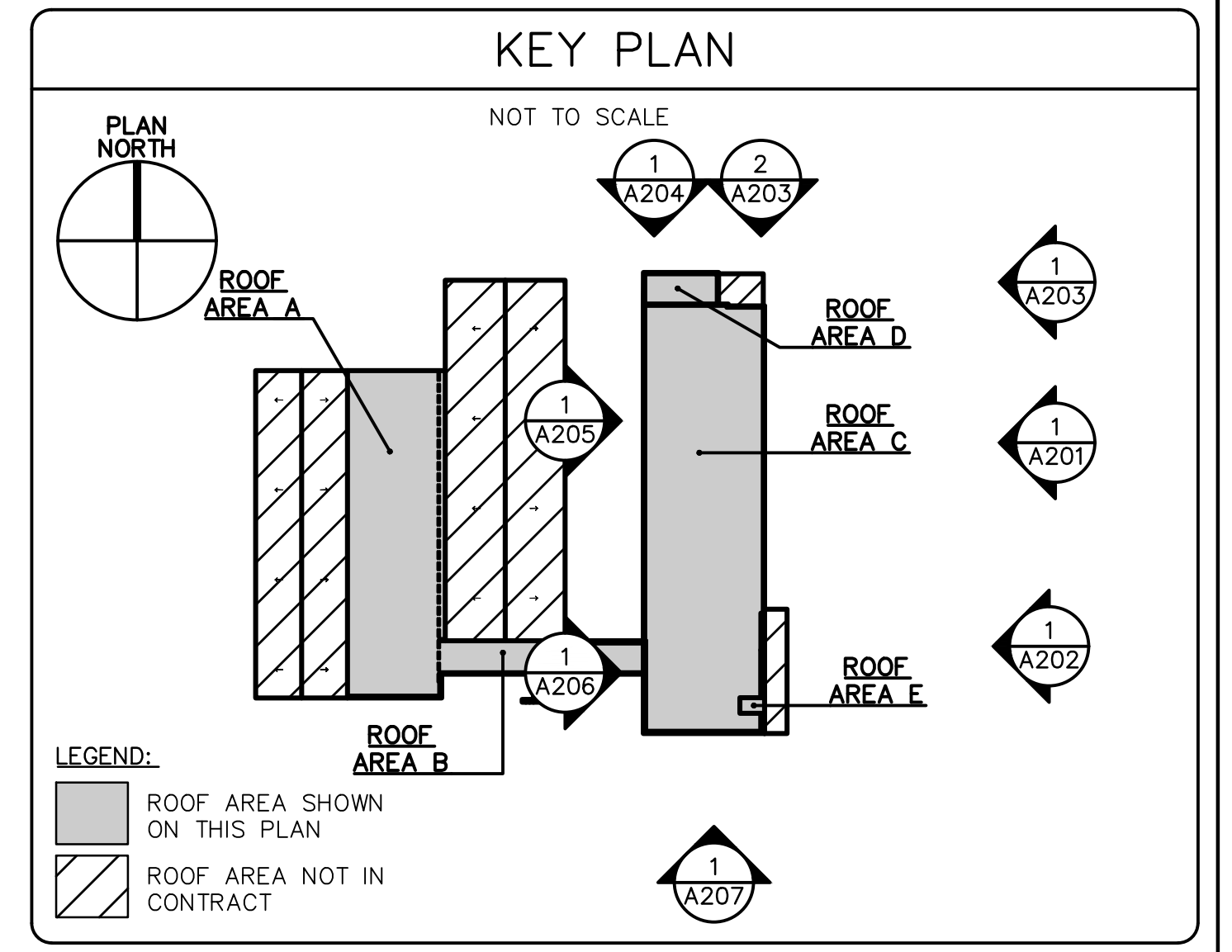
2 BUILDING 460 CORED THROUGHWALL SCUPPER  
SCALE: 3/8"=1'-0"



3 BUILDING 460 CORED THROUGHWALL SCUPPER ISOMETRIC  
SCALE: NOT TO SCALE



4 BUILDING 460 CORED THROUGHWALL SCUPPER ISOMETRIC  
SCALE: NOT TO SCALE



1 460 PHOTO ELEVATION - PARTIAL WEST MASONRY WORK  
SCALE: NOT TO SCALE

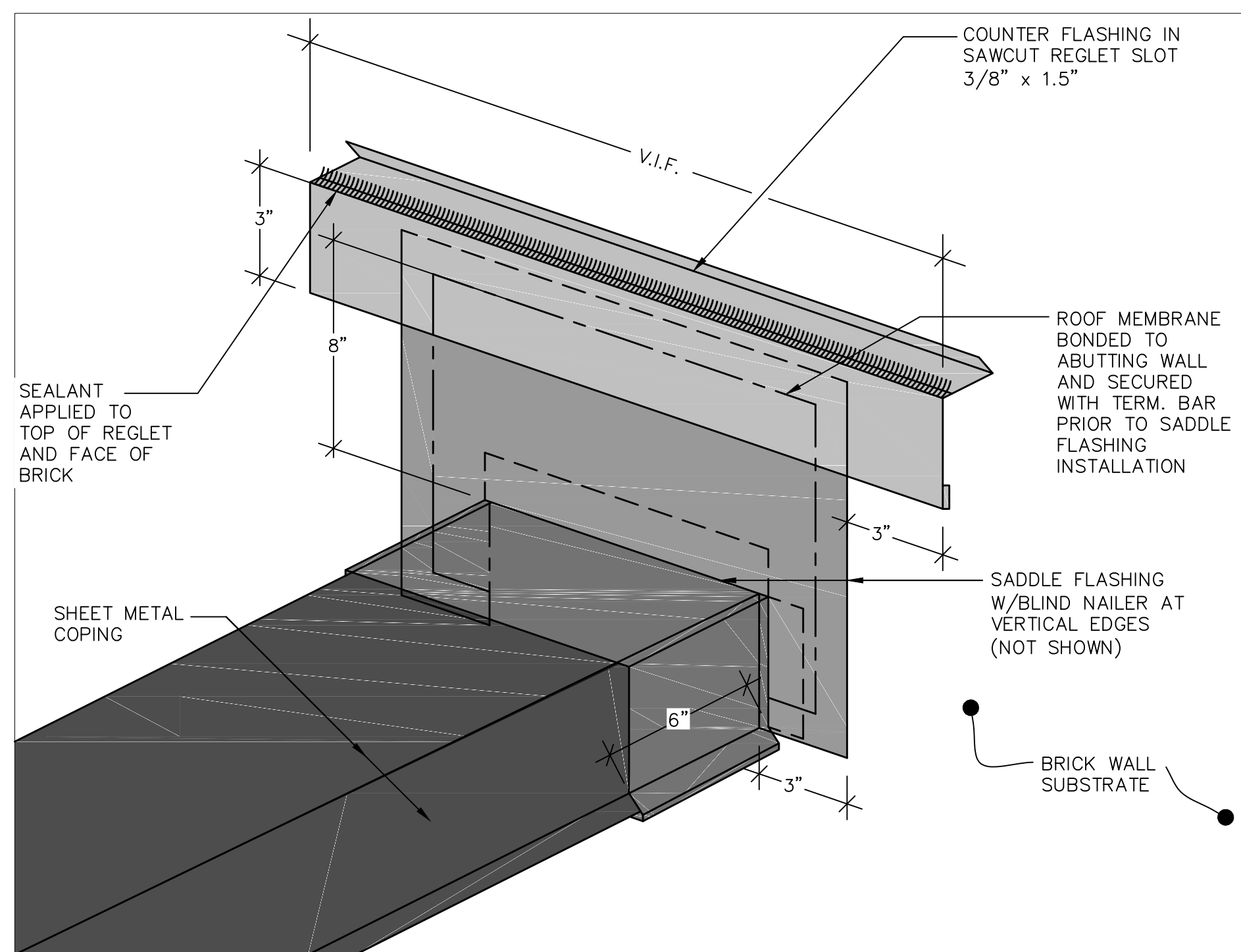
ELEVATION SHEET NOTES	
4	REFER TO SHEET NOTES ON A201-A207.
1	REMOVE AND REBUILD BRICK MASONRY AT ROOF EDGE.*
1A	REPOINT BRICK MASONRY*. REMOVE AND REPLACE CRACKED/SPALLED BRICKS, WHERE ENCOUNTERED WITHIN LIMITS SHOWN - TOTAL OF 100 ALL ELEVATIONS. PROVIDE PROTECTION OF EXISTING BRICK MASONRY, WINDOWS, AND EQUIPMENT TO REMAIN.
1B	NEW BRICK MASONRY*
2	REMOVE EXISTING CHIMNEY DOWN TO DECK LEVEL. PROVIDE NEW WOOD BLOCKING, STEEL PLATE DECK INFILL, NEW EDGE METAL. SEE DETAIL 6/A501.
3	REMOVE AND REBUILD PARAPET. SEE DETAILS ON SHEET A501.
4	REMOVE AND REPLACE PERIMETER SEALANT AT EXISTING LOUVER.
5	REMOVE STEEL DUNNAGE EMBEDDED IN BRICK CURB. REMOVE AND REBUILD BRICK MASONRY.
6	APPROXIMATE LOCATION OF NOTCHED EDGE SCUPPER, REFER TO A105 FOR LOCATIONS AND DETAIL 3/A501 FOR SECTION AND ISOMETRIC VIEWS.
7	REMOVE AND SIPOSE OF BRICK COURSES AT EXTERIOR WYTHE THAT ARE COVERES IN BLACK MASTIC AND REPLACE WITH NEW. *_C* INDICATES NUMBER OF COURSES.
8	APPROXIMATE LOCATION OF CORED THROUGHWALL SCUPPER. REFER TO A105 FOR LOCATIONS AND DETAILS 2/A502, 3/A205 AND 4/A205.

\* \*\_C\* INDICATES NUMBER OF COURSES

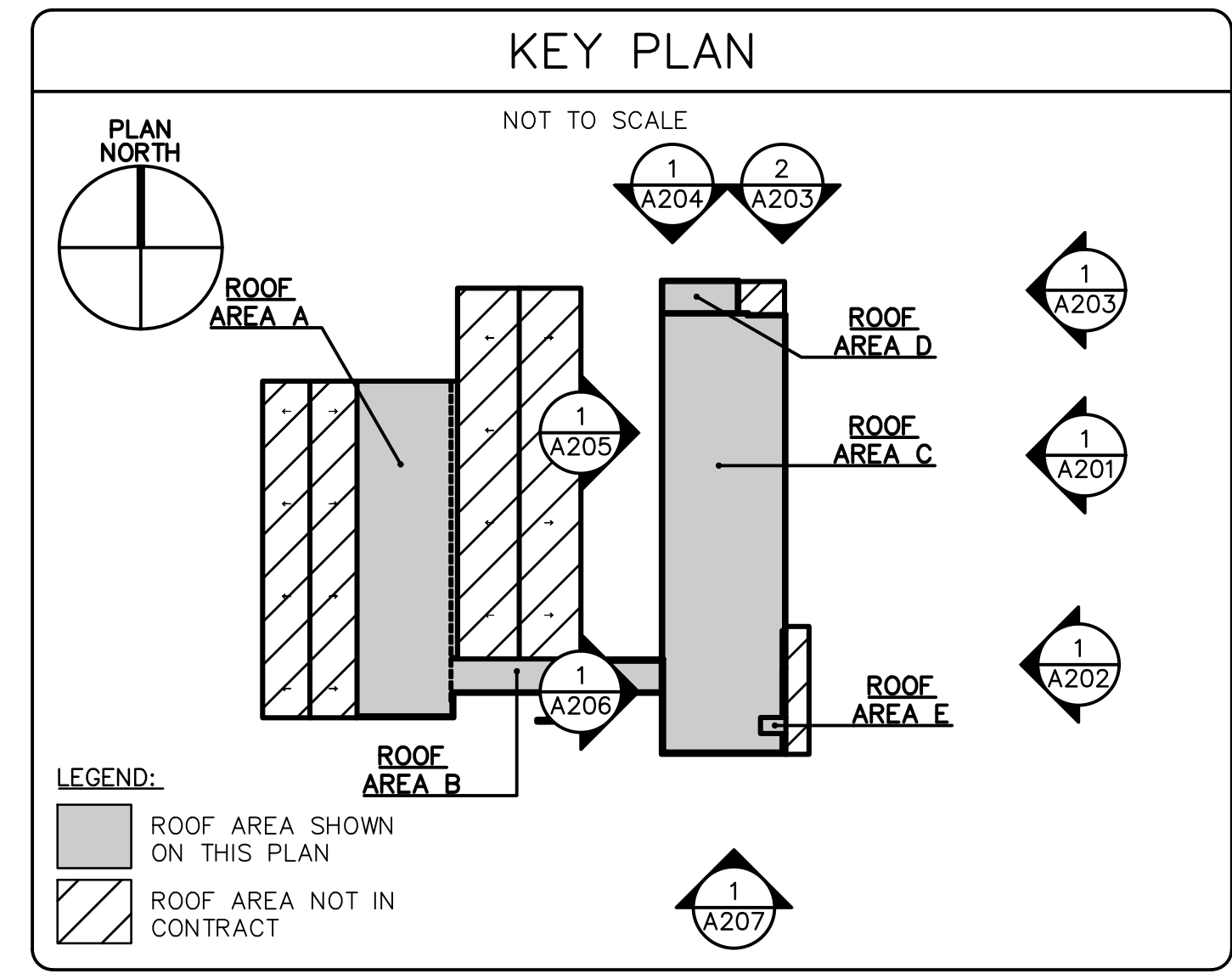


DRAWING TITLE			STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
PHOTOGRAPHIC ELEVATIONS			REVISIONS	
mark	date	description	drawing prepared by	date
X.X.X	X.X.X	X.X.X	GALE ASSOCIATES, INC. 703 HEBRON AVE. GLASTONBURY, CT 06033	12/03/19
			project	scale
			ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE HARTFORD, CT	N.T.S.
			drawn by	approved by
			JSD/ETH	MAL
			drawing no.	A206
CAD no.		project no.		
H:1978820		SI-28-433		





**2 BUILDING 460 – PARAPET COPING TRANSITION**  
 SCALE: NOT TO SCALE  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

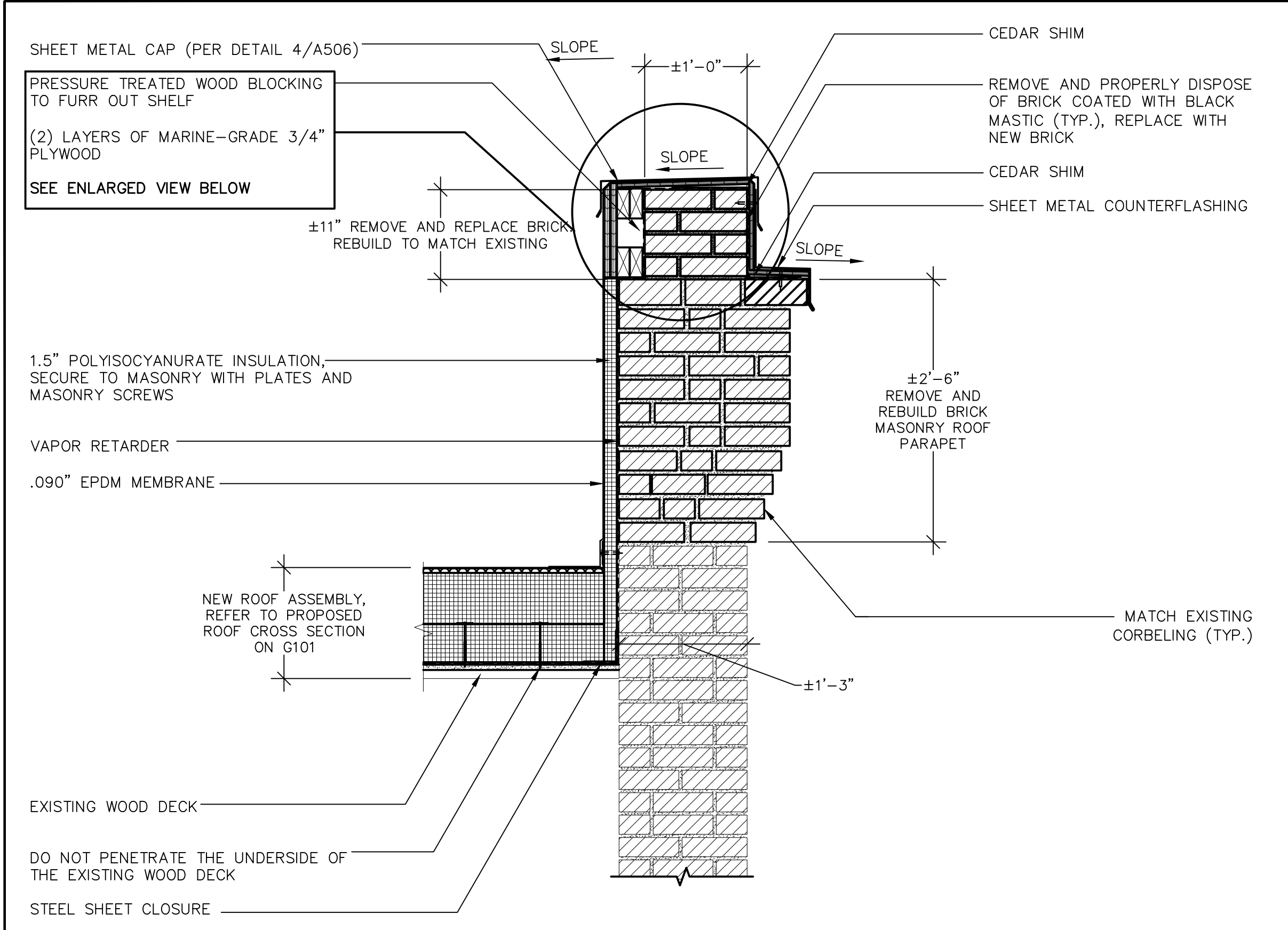


**1 460 PHOTO ELEVATION – PARTIAL SOUTH MASONRY WORK**  
 SCALE: NOT TO SCALE

- ELEVATION SHEET NOTES**
- 4 REFER TO SHEET NOTES ON A201-A207.
  - 1 REMOVE AND REBUILD BRICK MASONRY AT ROOF EDGE.\*
  - 1A REPOINT BRICK MASONRY\*. REMOVE AND REPLACE CRACKED/SPALLED BRICKS, WHERE ENCOUNTERED WITHIN LIMITS SHOWN – TOTAL OF 100 ALL ELEVATIONS. PROVIDE PROTECTION OF EXISTING BRICK MASONRY, WINDOWS, AND EQUIPMENT TO REMAIN.
  - 1B NEW BRICK MASONRY\*
  - 2 REMOVE EXISTING CHIMNEY DOWN TO DECK LEVEL. PROVIDE NEW WOOD BLOCKING, STEEL PLATE DECK INFILL, NEW EDGE METAL. SEE DETAIL 6/A501.
  - 3 REMOVE AND REBUILD PARAPET. SEE DETAILS ON SHEET A501.
  - 4 REMOVE AND REPLACE PERIMETER SEALANT AT EXISTING LOUVER.
  - 5 REMOVE STEEL DUNNAGE EMBEDDED IN BRICK CURB. REMOVE AND REBUILD BRICK MASONRY.
  - 6 APPROXIMATE LOCATION OF NOTCHED EDGE SCUPPER, REFER TO A105 FOR LOCATIONS AND DETAIL 3/A501 FOR SECTION AND ISOMETRIC VIEWS.
  - 7 REMOVE AND SIPOSE OF BRICK COURSES AT EXTERIOR WYTHE THAT ARE COVERES IN BLACK MASTIC AND REPLACE WITH NEW. \*\_C\* INDICATES NUMBER OF COURSES.
  - 8 APPROXIMATE LOCATION OF CORED THROUGHWALL SCUPPER. REFER TO A105 FOR LOCATIONS AND DETAILS 2/A502, 3/A205 AND 4/A205.
- \* \*\_C\* INDICATES NUMBER OF COURSES



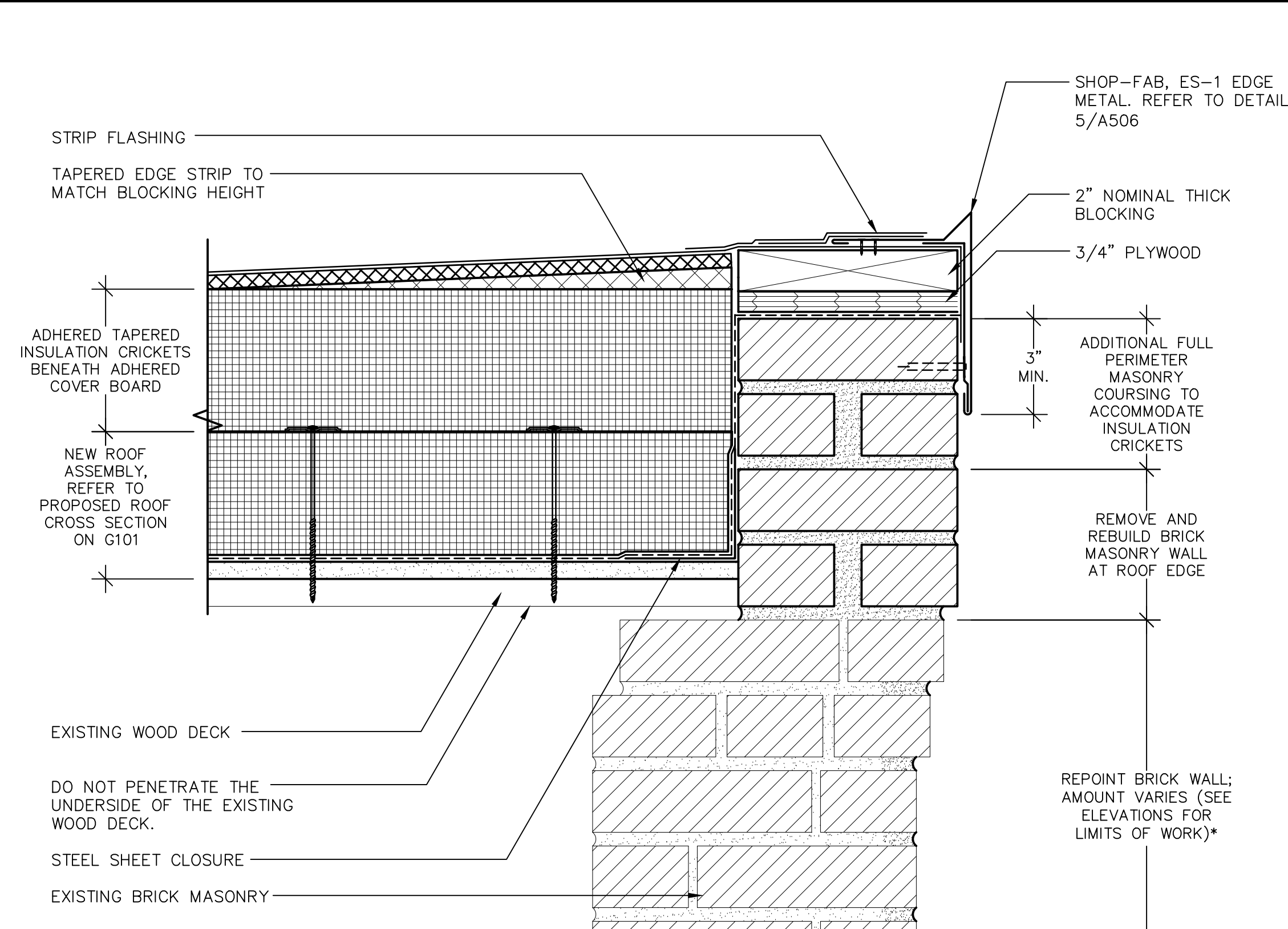
drawing title: <b>PHOTOGRAPHIC ELEVATIONS</b>			STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES		
REVISIONS			drawing prepared by: <b>GALE ASSOCIATES, INC.</b> 703 HEBRON AVE. GLASTONBURY, CT 06033		
mark	date	description	date	scale	date
X.X.X	X.X.X	X.X.X	12/03/19	N.T.S.	
			project: ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE HARTFORD, CT	drawn by: JSD/ETH	approved by: MML
			CAD no. H:1978820	project no. SI-2B-433	drawing no. <b>A207</b>



**1 BUILDING 460 – WEST ROOF PARAPET**  
 SCALE: 1"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

**NOTES:**

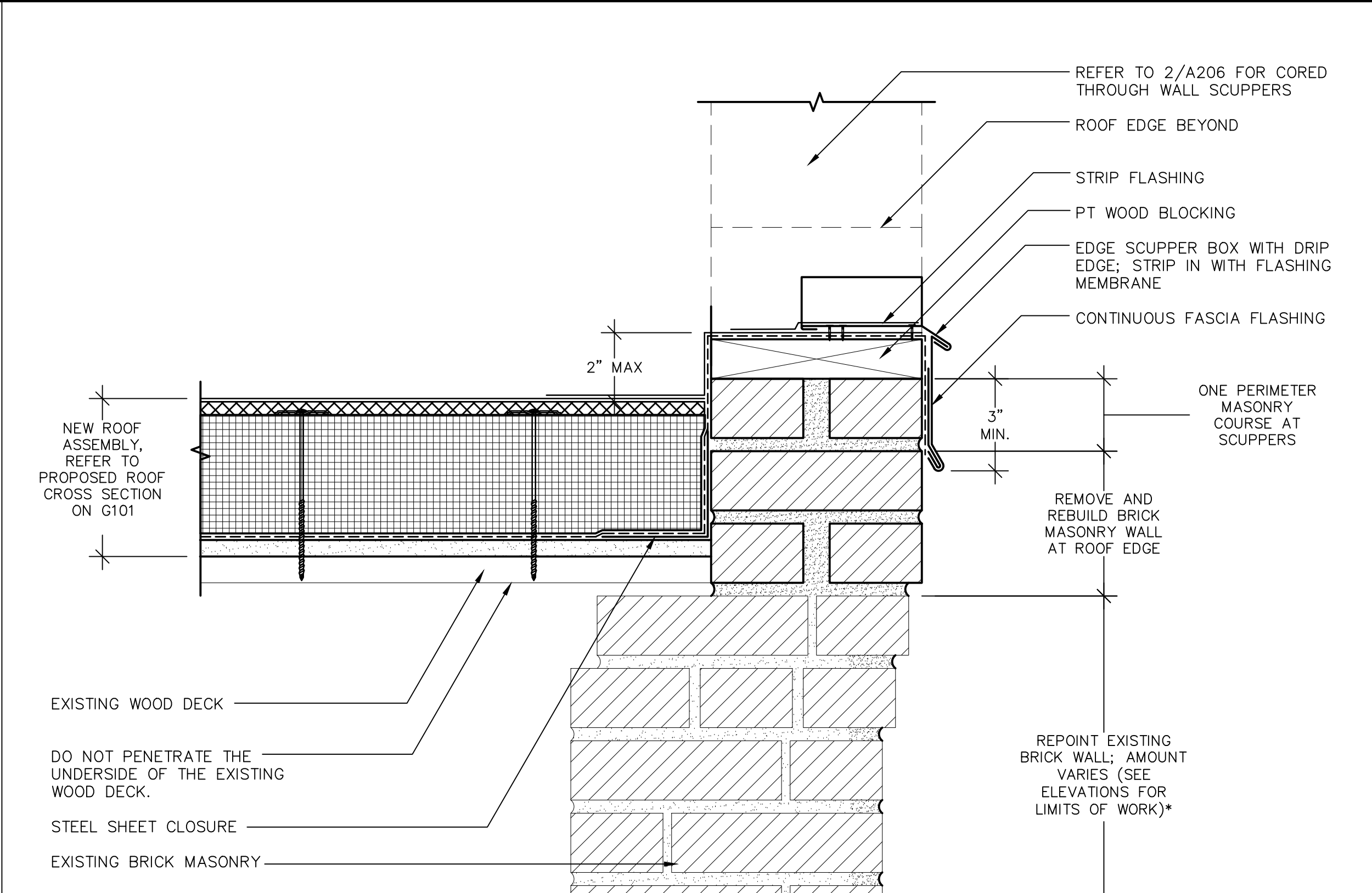
- REMOVE AND REPLACE DAMAGED, SPALLED, OR CRACKED BRICKS WITHIN LIMITS OF WORK – 100 TOTAL ALL ELEVATIONS.
- REBUILD MASONRY AT ROOF PERIMETER SHALL MATCH EXISTING CORBELING ALIGNMENT, GEOMETRY, AND SIZE, INCLUDING PLACEMENT OF HEADER COURSES
- PLACE HORIZONTAL REINFORCING SPACED AT 16" O.C. MAXIMUM WITH CROSS-RODS SPACED AT 24" O.C. MAXIMUM.



**2 ROOF EDGE AT CRICKET HIGH POINT**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

**NOTES:**

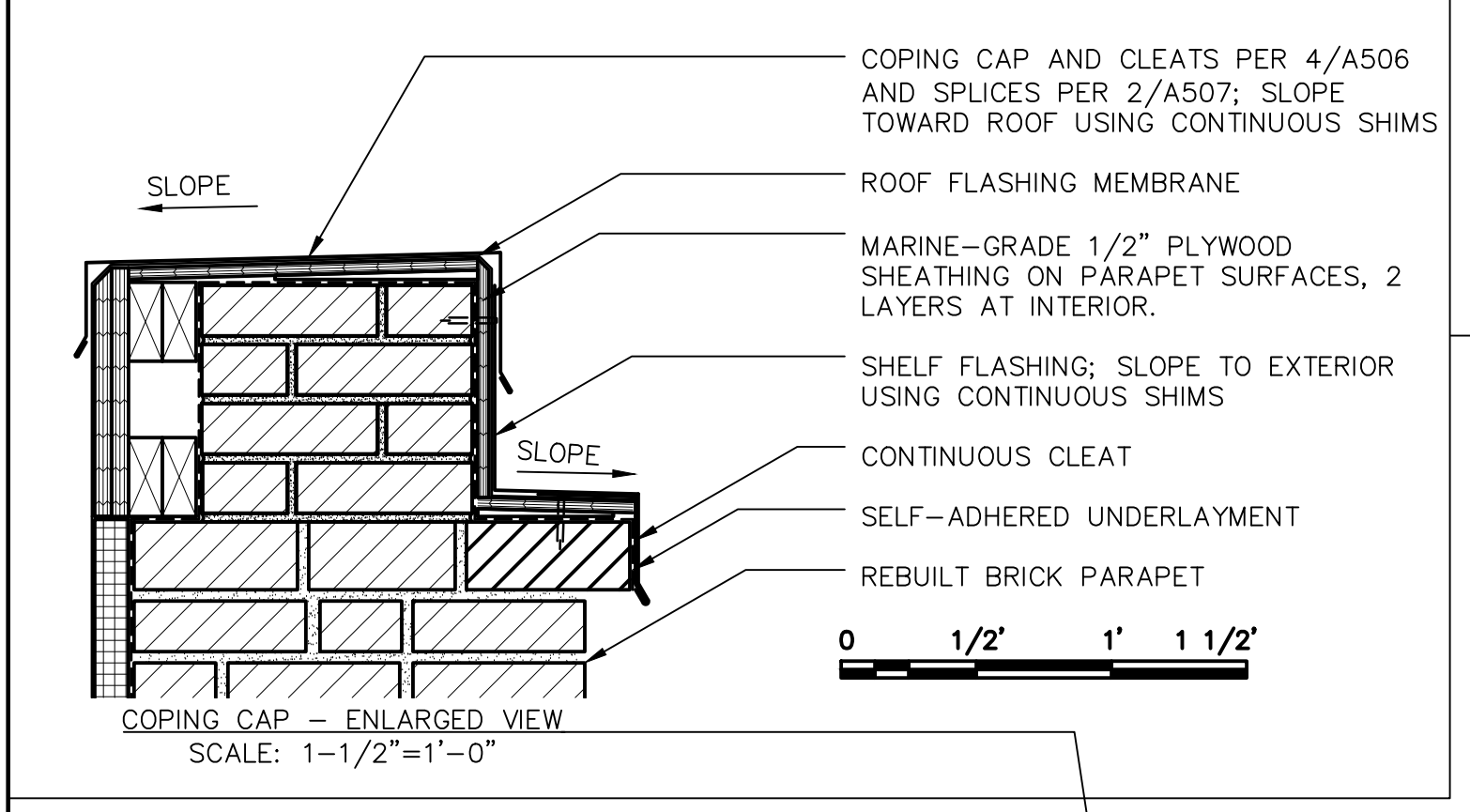
- REMOVE AND REPLACE DAMAGED, SPALLED, OR CRACKED BRICKS WITHIN LIMITS OF WORK – 100 TOTAL ALL ELEVATIONS.
- REBUILD MASONRY AT ROOF PERIMETER SHALL MATCH EXISTING CORBELING ALIGNMENT, GEOMETRY, AND SIZE, INCLUDING PLACEMENT OF HEADER COURSES
- PLACE HORIZONTAL REINFORCING SPACED AT 16" O.C. MAXIMUM WITH CROSS-RODS SPACED AT 24" O.C. MAXIMUM.



**3 ROOF EDGE AT SCUPPER**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

**NOTES:**

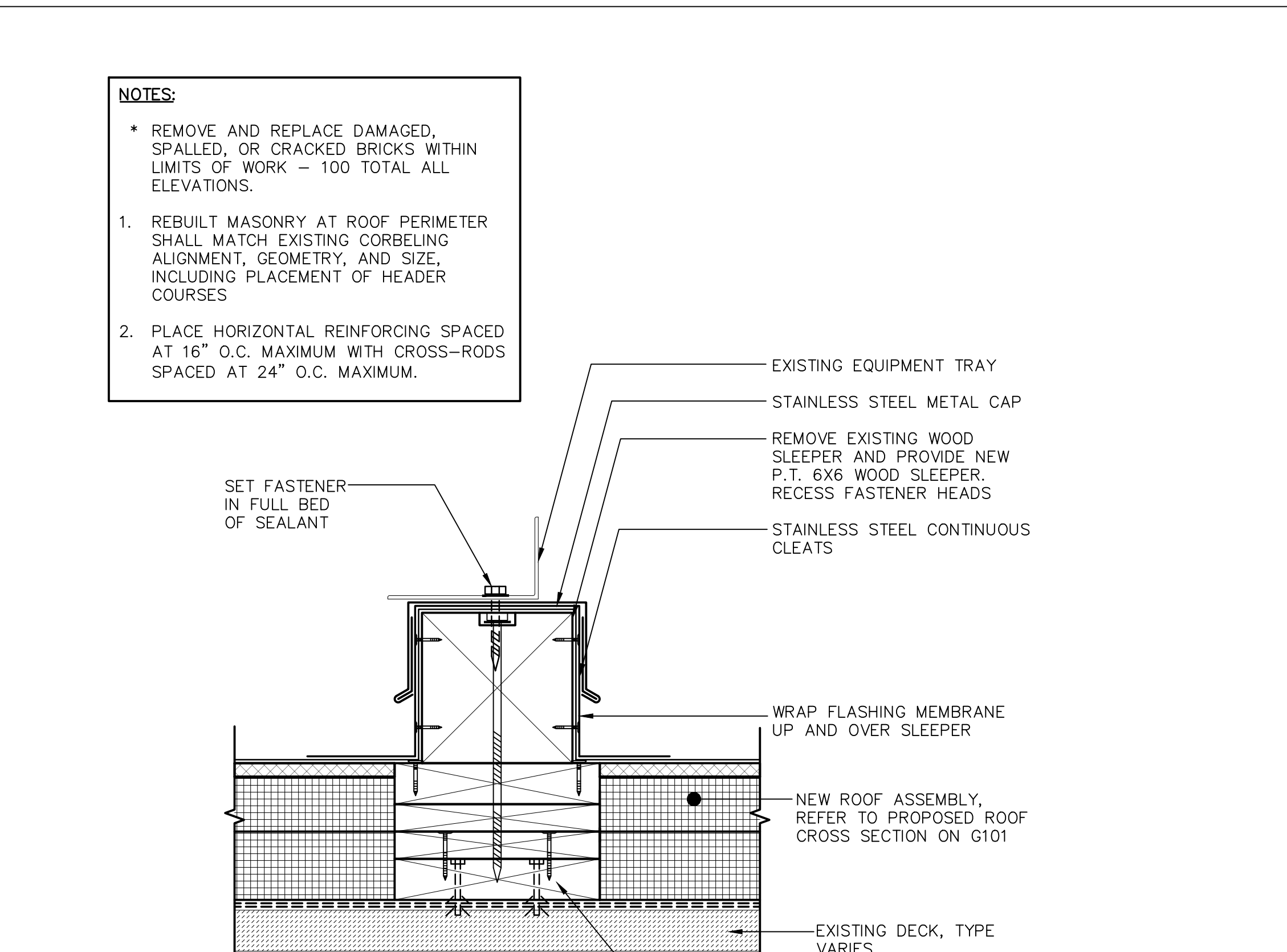
- REMOVE AND REPLACE DAMAGED, SPALLED, OR CRACKED BRICKS WITHIN LIMITS OF WORK – 100 TOTAL ALL ELEVATIONS.
- REBUILD MASONRY AT ROOF PERIMETER SHALL MATCH EXISTING CORBELING ALIGNMENT, GEOMETRY, AND SIZE, INCLUDING PLACEMENT OF HEADER COURSES
- PLACE HORIZONTAL REINFORCING SPACED AT 16" O.C. MAXIMUM WITH CROSS-RODS SPACED AT 24" O.C. MAXIMUM.



**4 BUILDING 460 – SOUTH ROOF PARAPET**  
 SCALE: 1"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

**NOTES:**

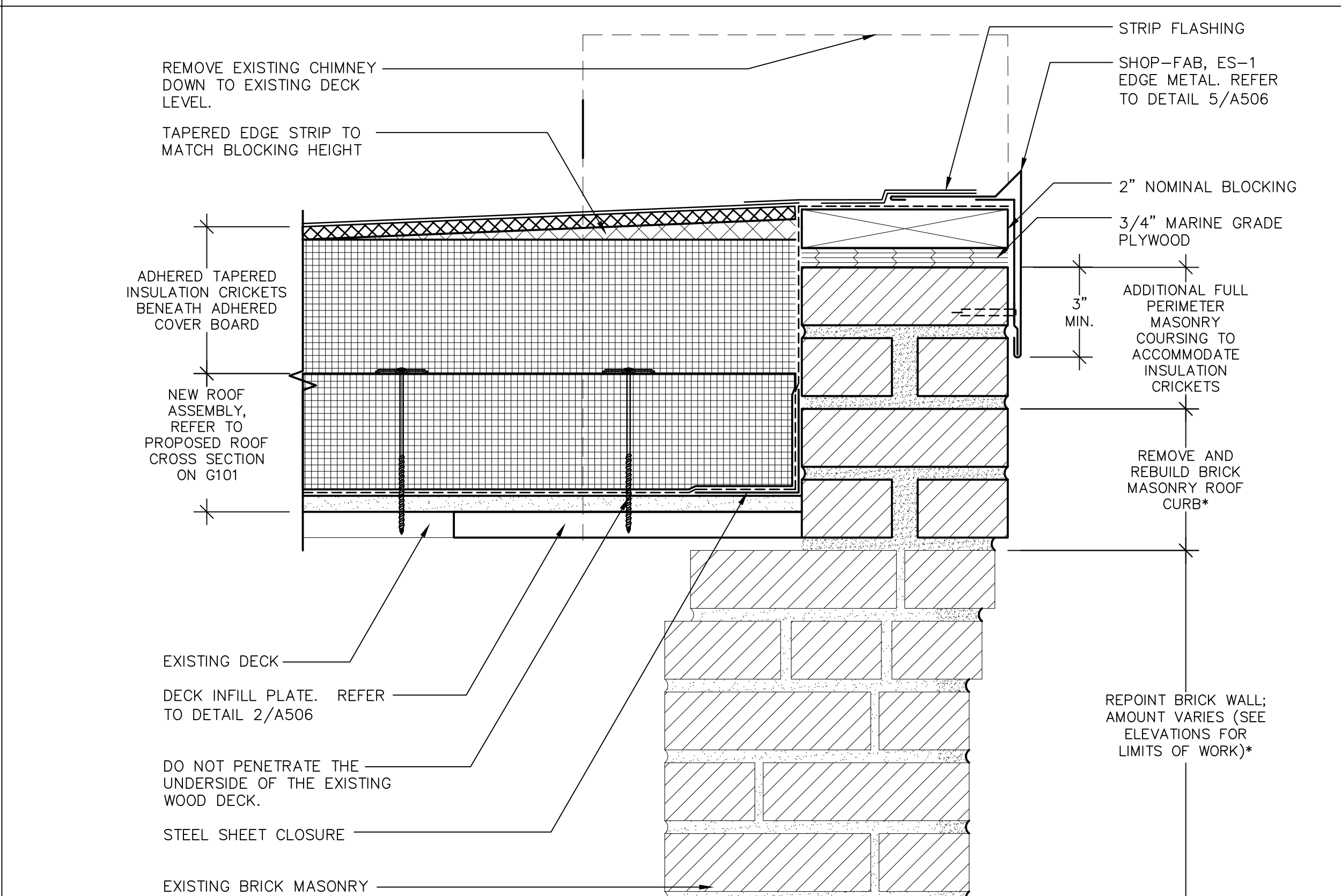
- REMOVE AND REPLACE DAMAGED, SPALLED, OR CRACKED BRICKS WITHIN LIMITS OF WORK – 100 TOTAL ALL ELEVATIONS.
- REBUILD MASONRY AT ROOF PERIMETER SHALL MATCH EXISTING CORBELING ALIGNMENT, GEOMETRY, AND SIZE, INCLUDING PLACEMENT OF HEADER COURSES
- PLACE HORIZONTAL REINFORCING SPACED AT 16" O.C. MAXIMUM WITH CROSS-RODS SPACED AT 24" O.C. MAXIMUM.



**5 SLEEPER CURB**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

**NOTES:**

- REMOVE AND REPLACE DAMAGED, SPALLED, OR CRACKED BRICKS WITHIN LIMITS OF WORK – 100 TOTAL ALL ELEVATIONS.
- REBUILD MASONRY AT ROOF PERIMETER SHALL MATCH EXISTING CORBELING ALIGNMENT, GEOMETRY, AND SIZE, INCLUDING PLACEMENT OF HEADER COURSES
- PLACE HORIZONTAL REINFORCING SPACED AT 16" O.C. MAXIMUM WITH CROSS-RODS SPACED AT 24" O.C. MAXIMUM.



**6 ROOF EDGE AT CHIMNEY REMOVAL**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

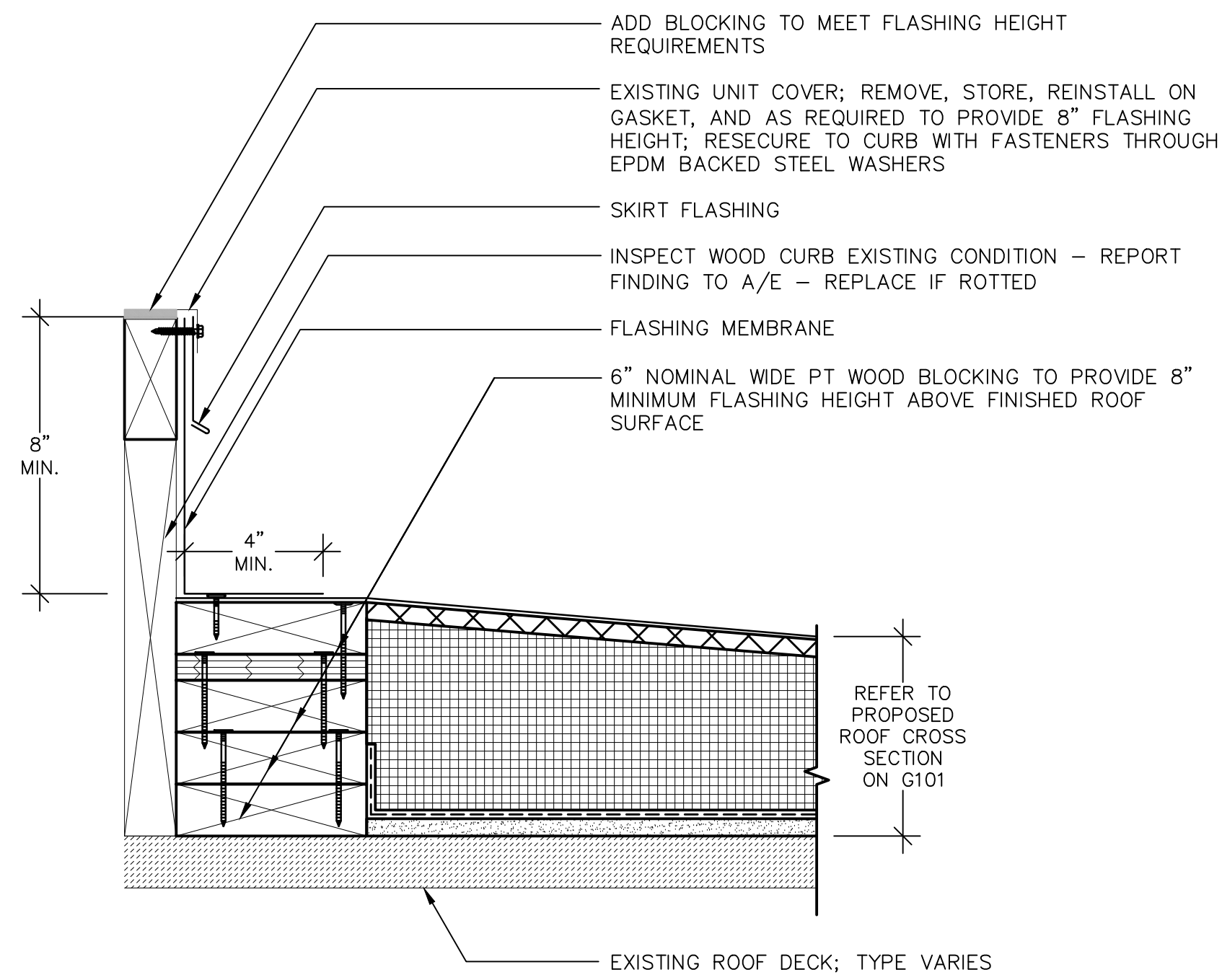
**NOTES:**

- REMOVE AND REPLACE DAMAGED, SPALLED, OR CRACKED BRICKS WITHIN LIMITS OF WORK – 100 TOTAL ALL ELEVATIONS.
- REBUILD MASONRY AT ROOF PERIMETER SHALL MATCH EXISTING CORBELING ALIGNMENT, GEOMETRY, AND SIZE, INCLUDING PLACEMENT OF HEADER COURSES
- PLACE HORIZONTAL REINFORCING SPACED AT 16" O.C. MAXIMUM WITH CROSS-RODS SPACED AT 24" O.C. MAXIMUM.



REVISIONS			STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
mark	date	description	drawing prepared by	date
XXX	XXX	XXX	GALE ASSOCIATES, INC. 703 HEBRON AVE. GLASTONBURY, CT 06033	12/03/19
			project ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE HARTFORD, CT	scale AS NOTED
			drawn by JSD/ETH	approved by MML
			checked by MML	drawing no. A501
			CD no. H1978820	project no. SI-28-433

**NOTES:**  
 1. FOR SMALL FANS: USE A MINIMUM OF 2 SCREWS PER SIDE SPACED NO MORE THAN 12" O.C.  
 2. FOR LARGER FANS, USE A MINIMUM OF 3 SCREWS PER SIDE SPACED NO MORE THAN 12" O.C.  
 3. ALL DISCONNECTS/RECONNECTS SHALL BE PERFORMED BY LICENSED TRADES PERSONS.

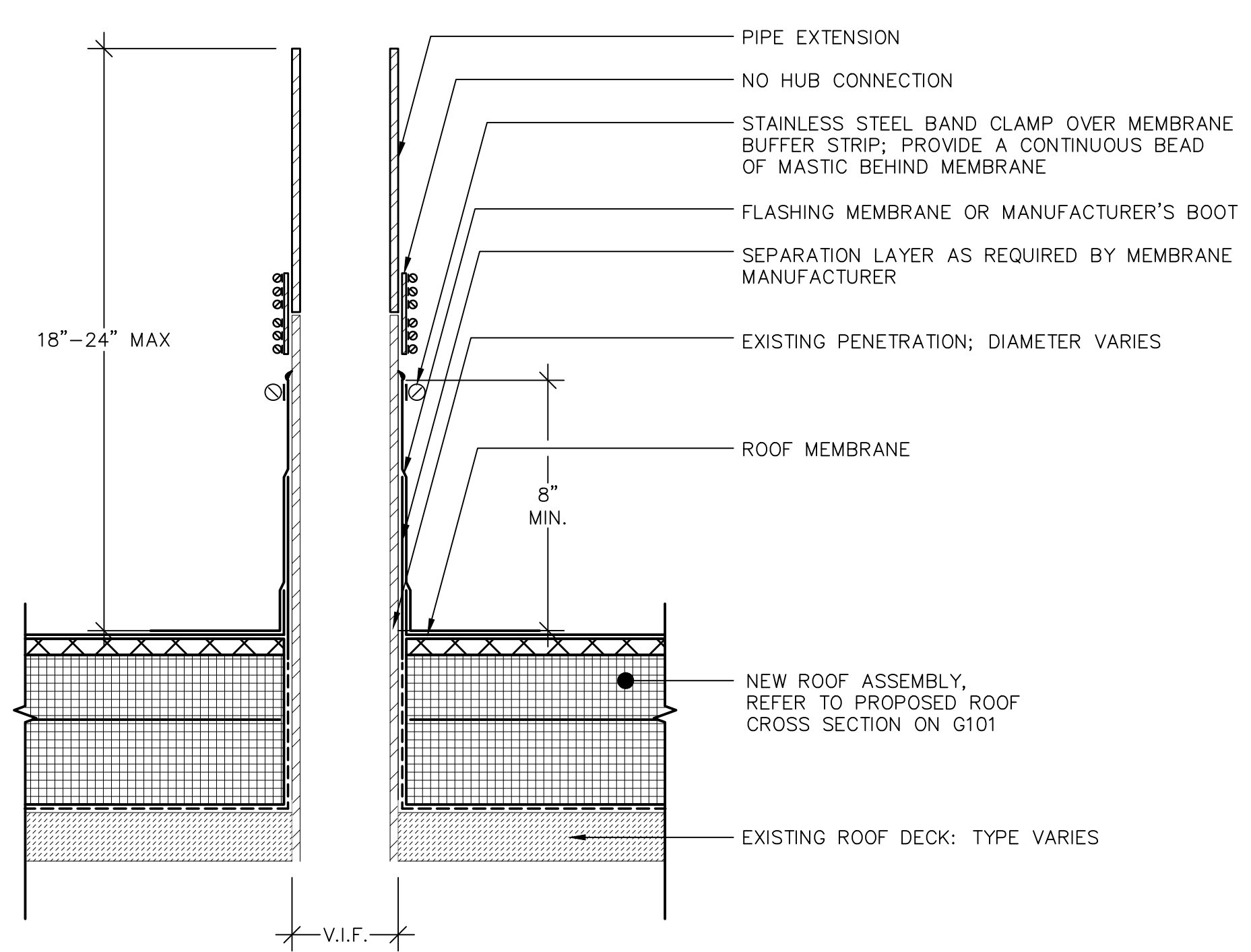


PROVIDE MANUFACTURER'S WALKWAY PAD. REFER TO ROOF AREA PLANS FOR WALKWAY EXTENTS.

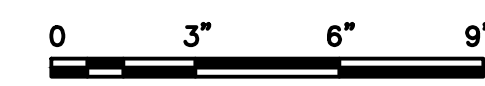
**1 FAN CURB**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



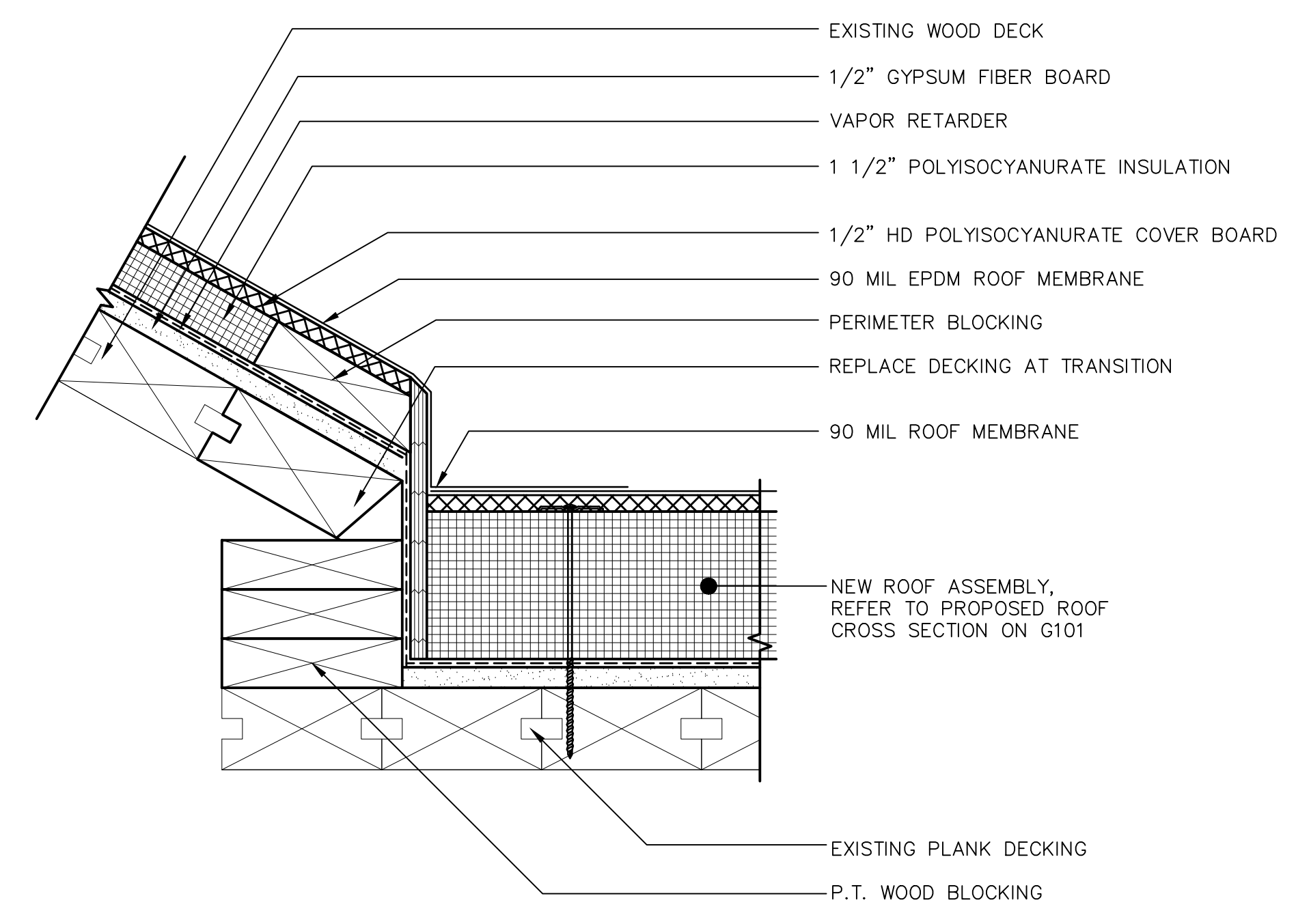
NOTE: THE EXISTING VENT PIPES APPEAR TO BE LESS THAN 18"-24" ABOVE THE EXISTING ROOF SURFACE, AND REQUIRE RAISING UNDER THIS CONTRACT.



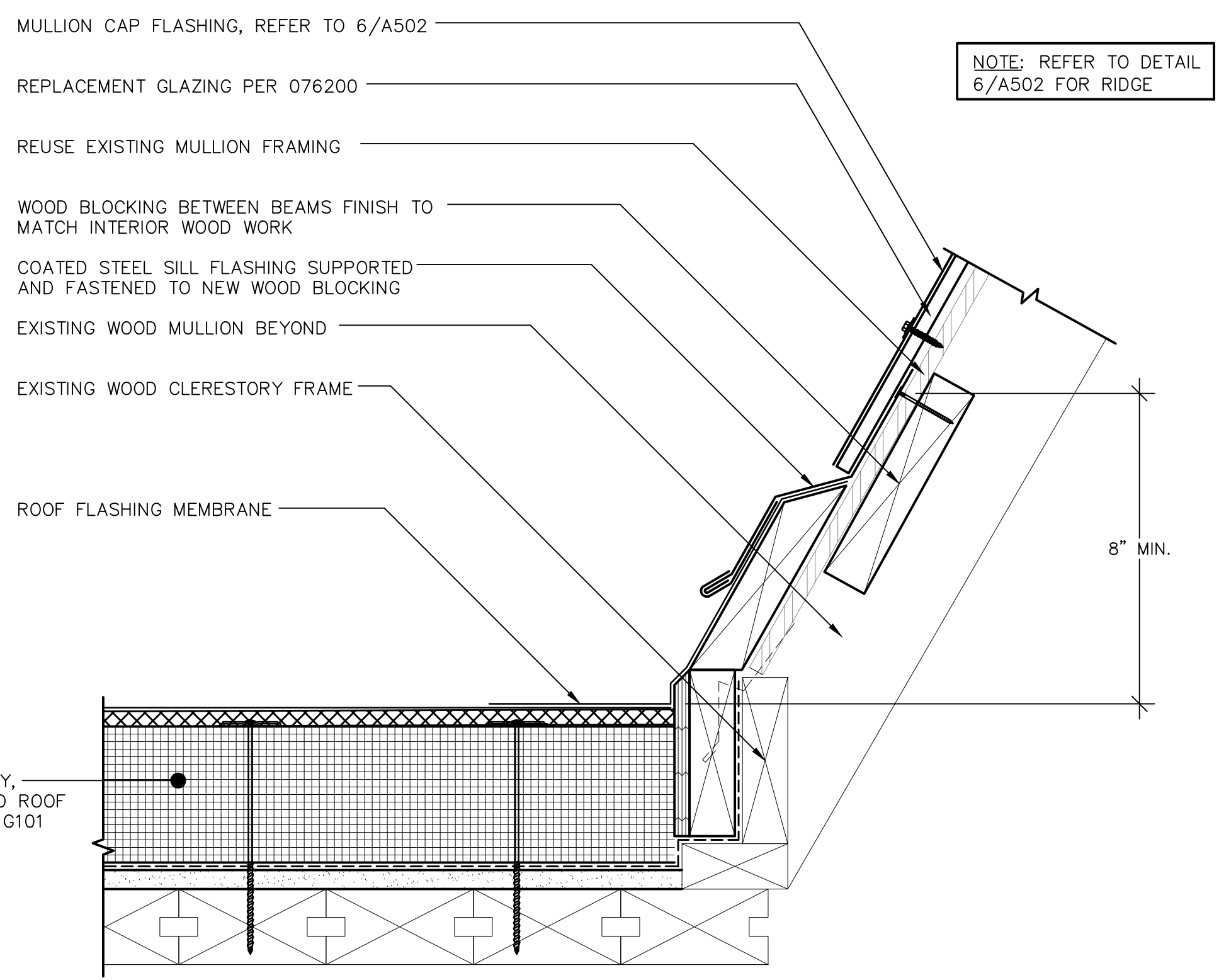
**2 VENT PIPE WITH EXTENSION - TYPICAL**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



NOTE: PROVIDE MECHANICALLY ATTACHED INSULATION ON CLERESTORY ROOF. DO NOT PENETRATE ROOF DECK WITH DRILLING OR FASTENERS.

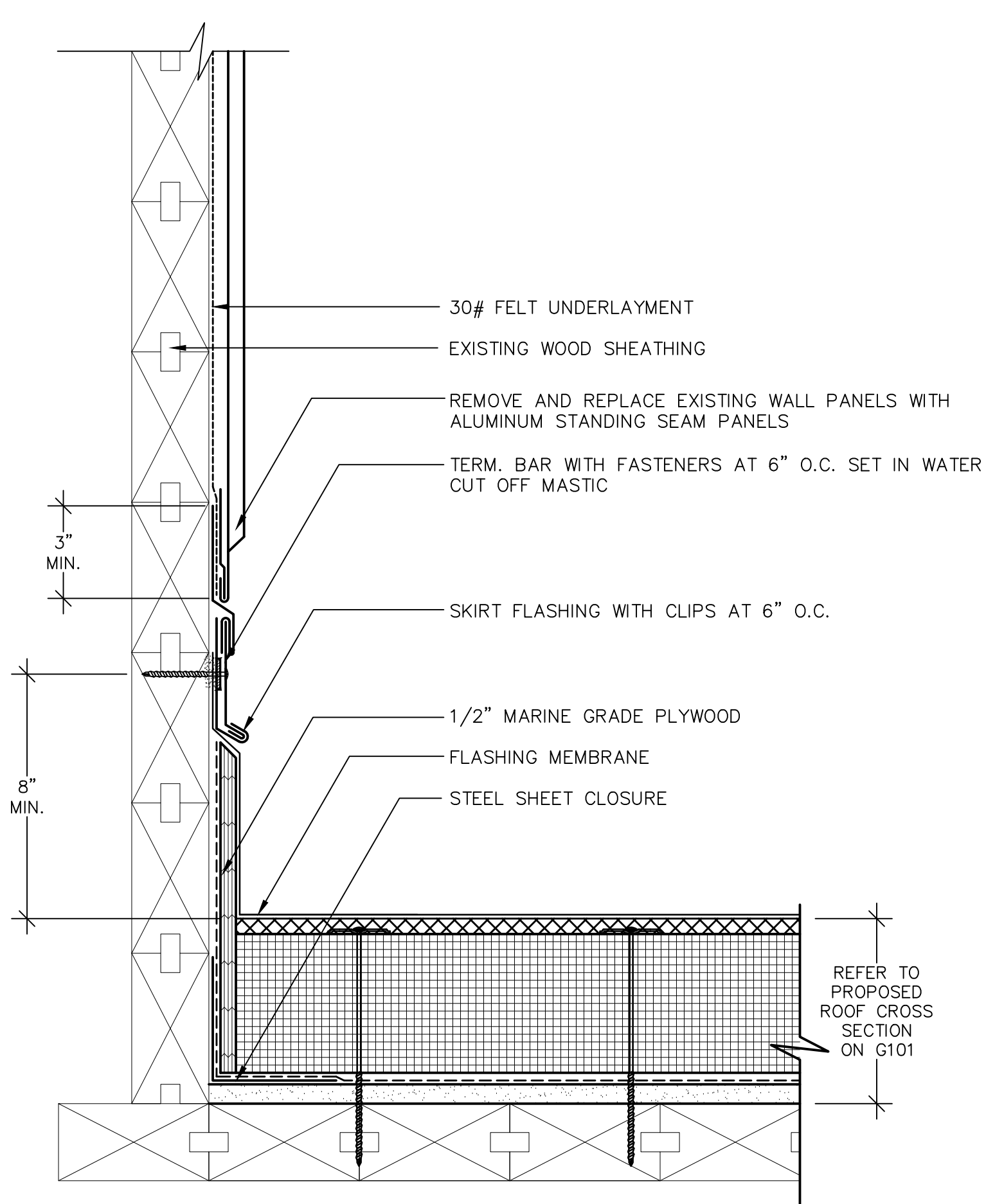


**3 ROOF EDGE TO CLERESTORY**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

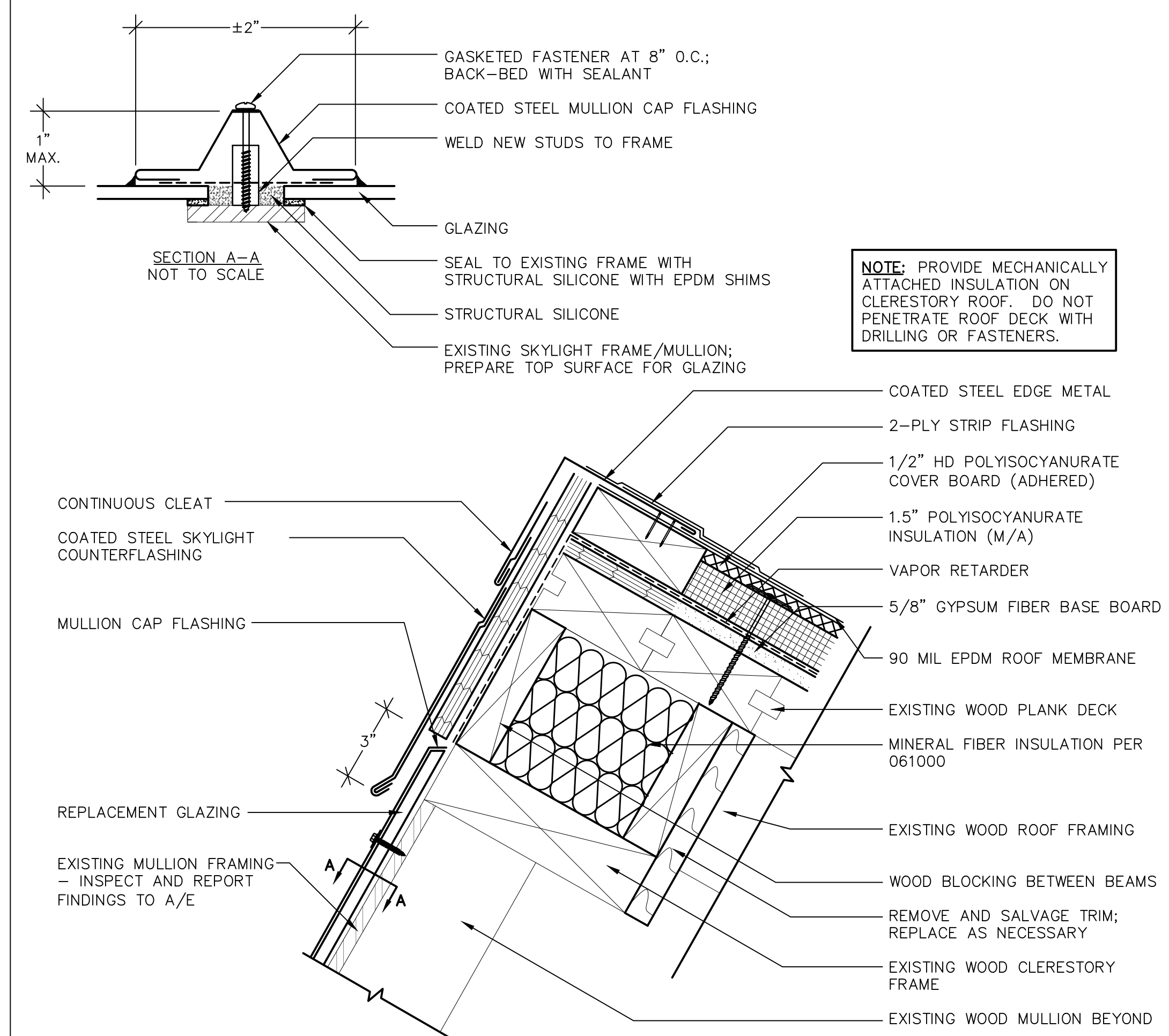


NOTE: REFER TO DETAIL 6/A502 FOR RIDGE

**4 TRANSITION TO EXISTING CLERESTORY**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**5 CLERESTORY END WALL (METAL PANEL)**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



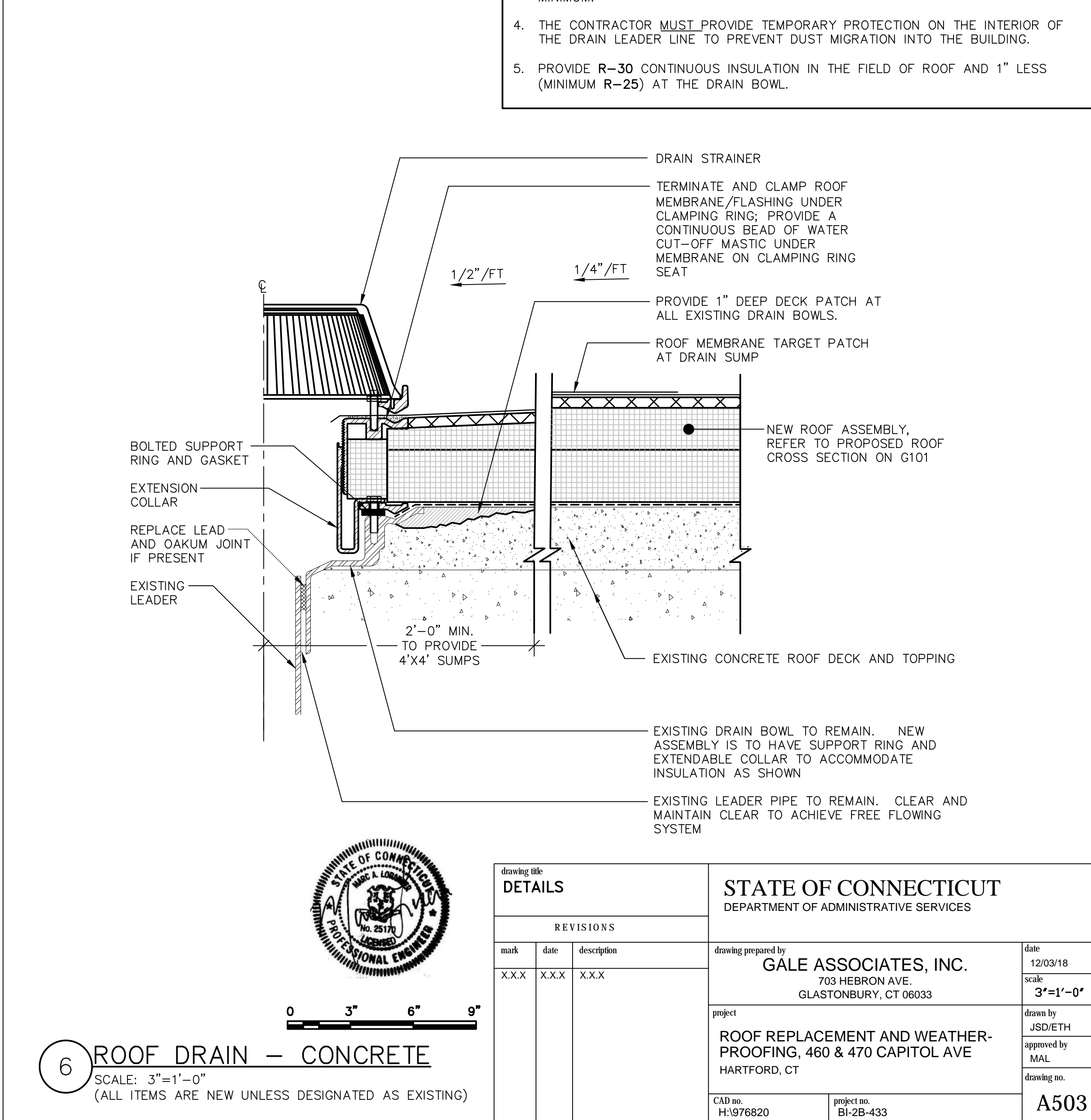
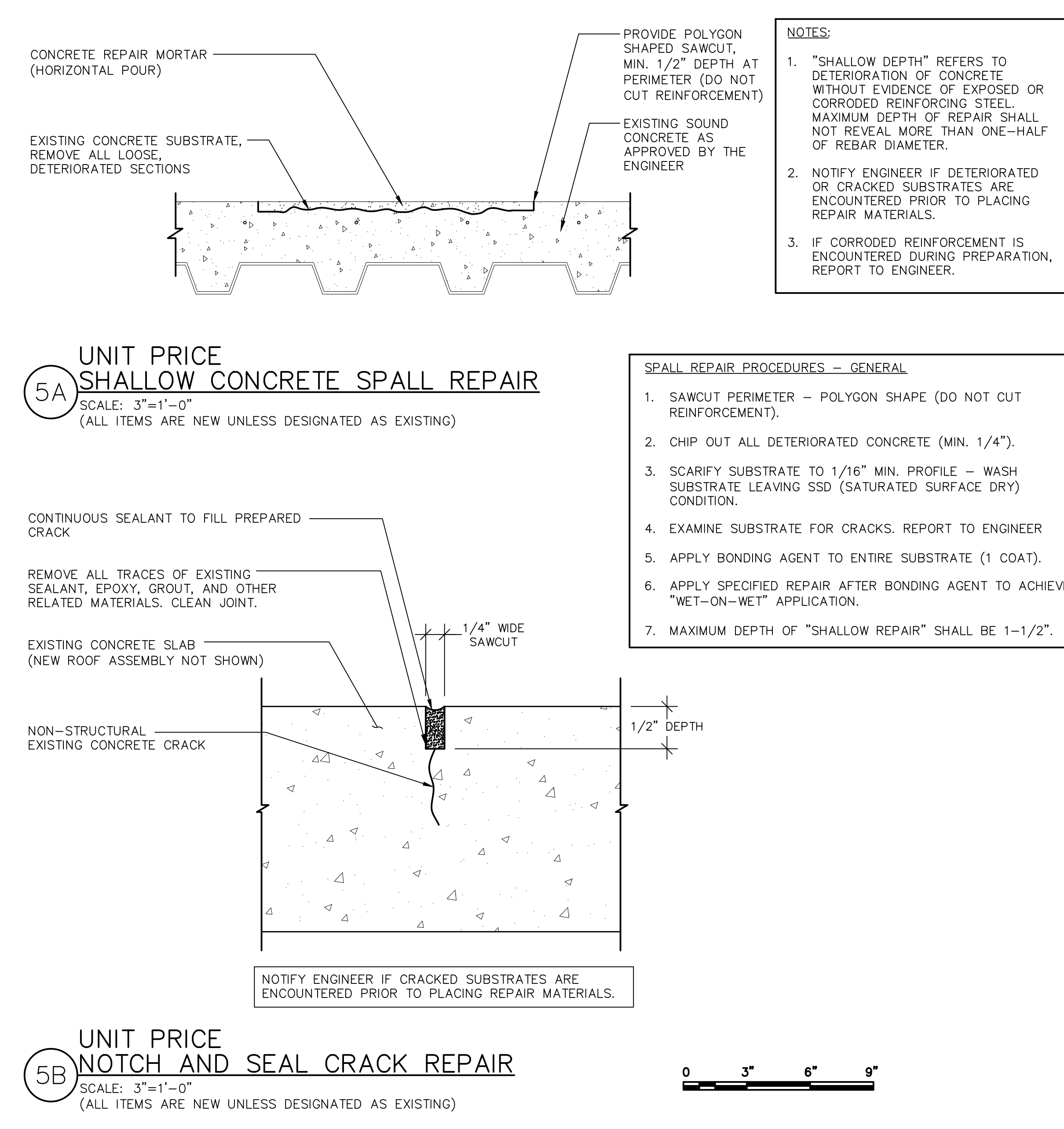
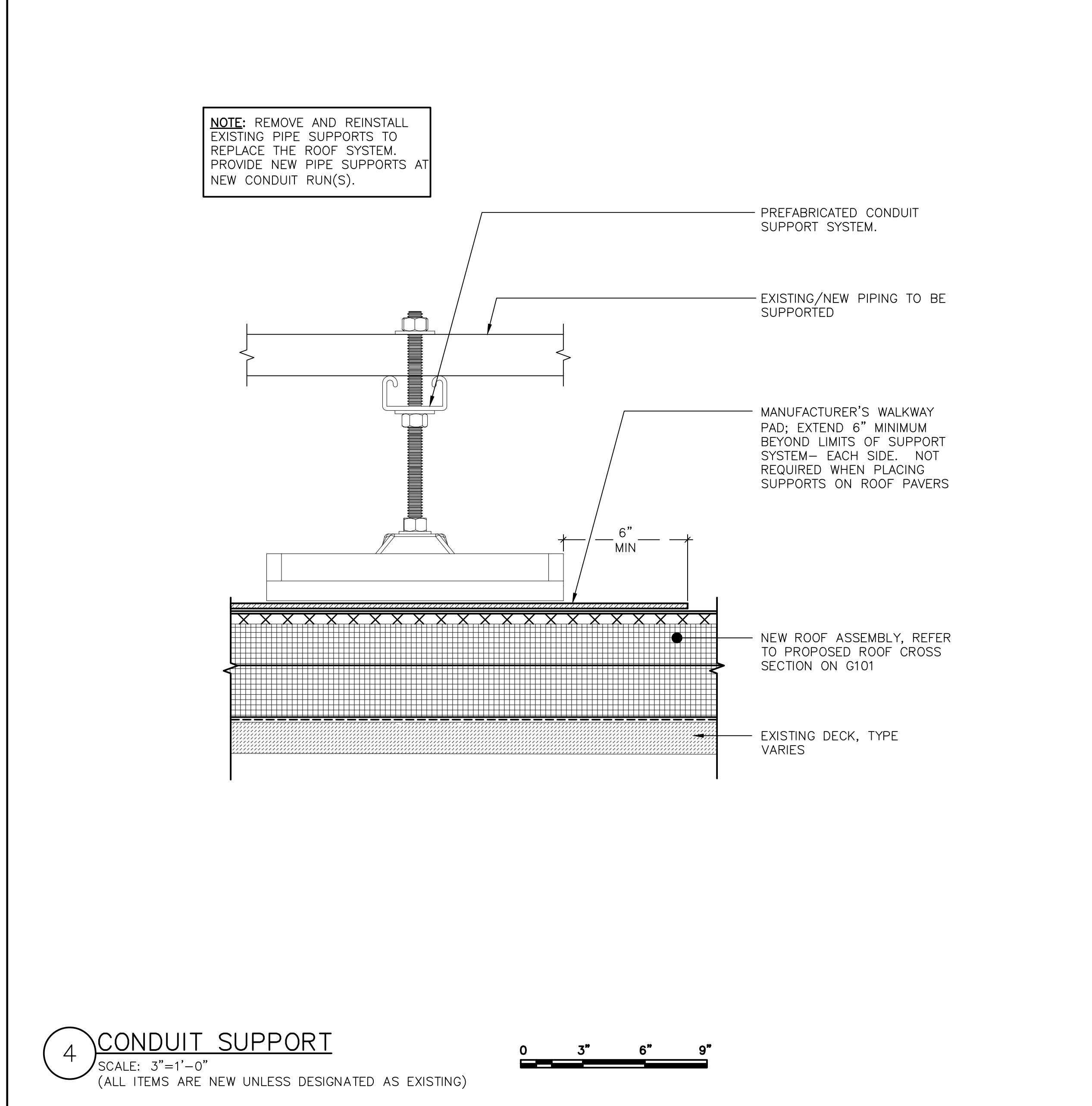
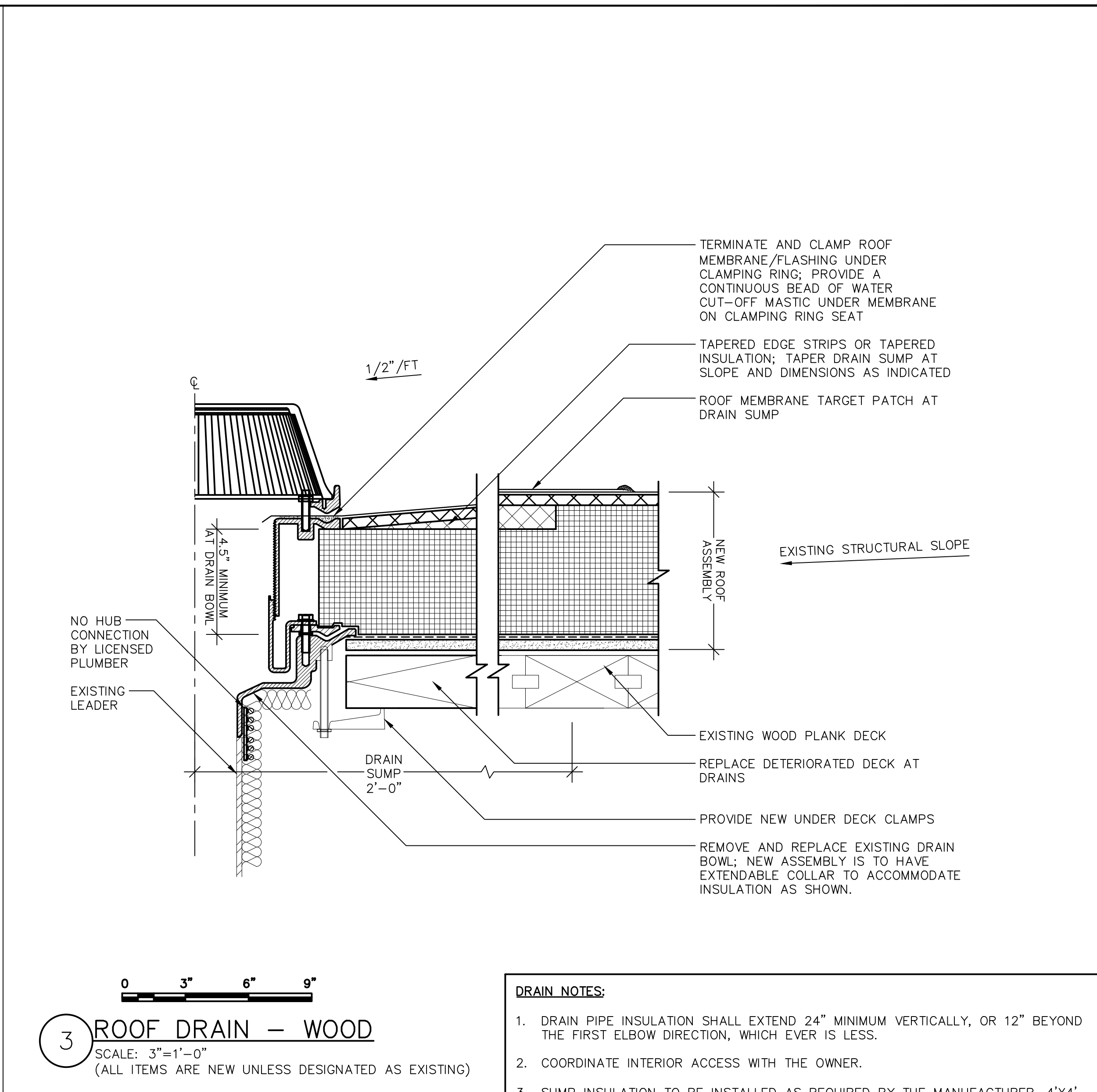
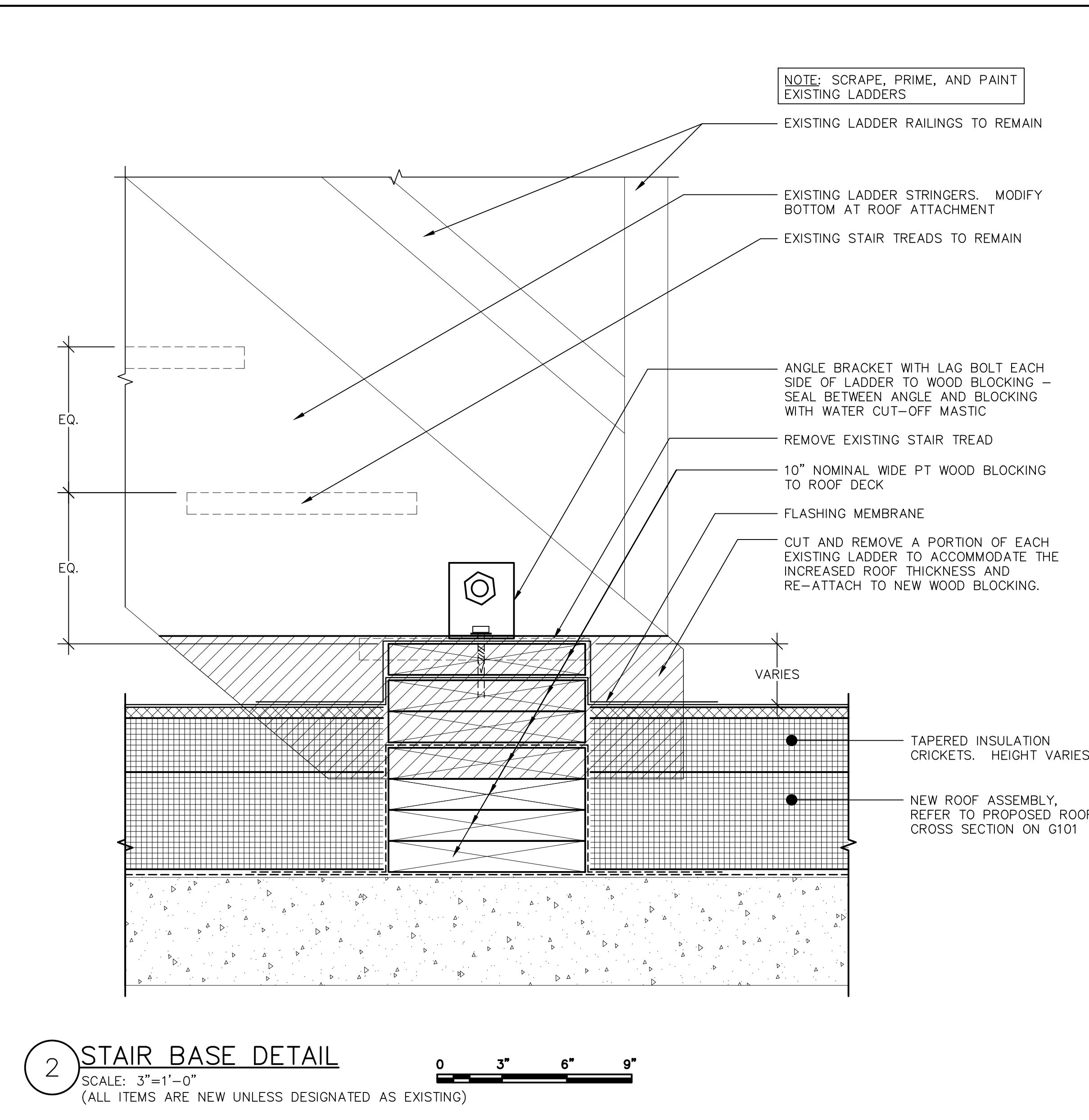
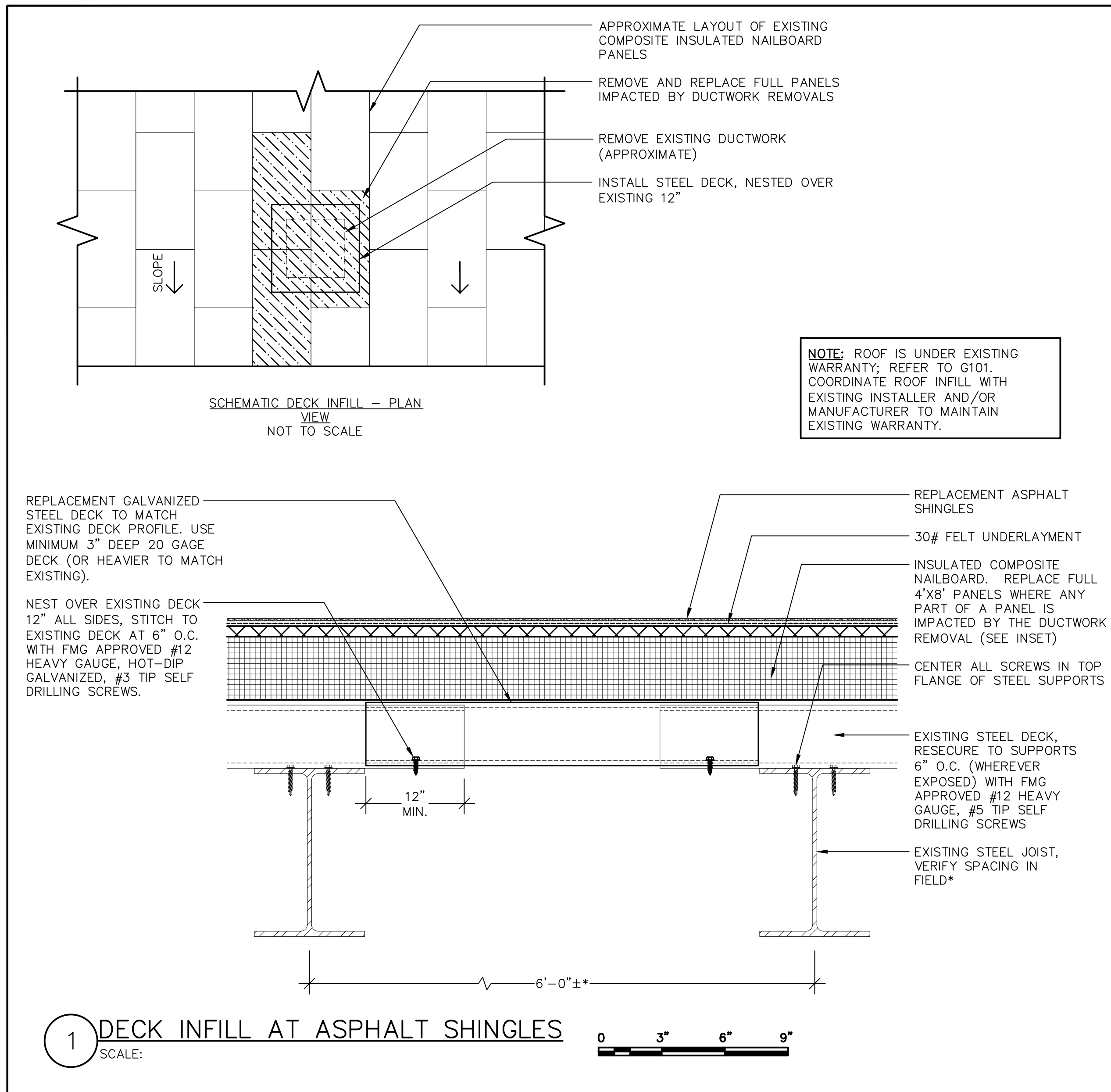
NOTE: PROVIDE MECHANICALLY ATTACHED INSULATION ON CLERESTORY ROOF. DO NOT PENETRATE ROOF DECK WITH DRILLING OR FASTENERS.

NOTE: REFER TO DETAIL 4/A502 FOR SILL

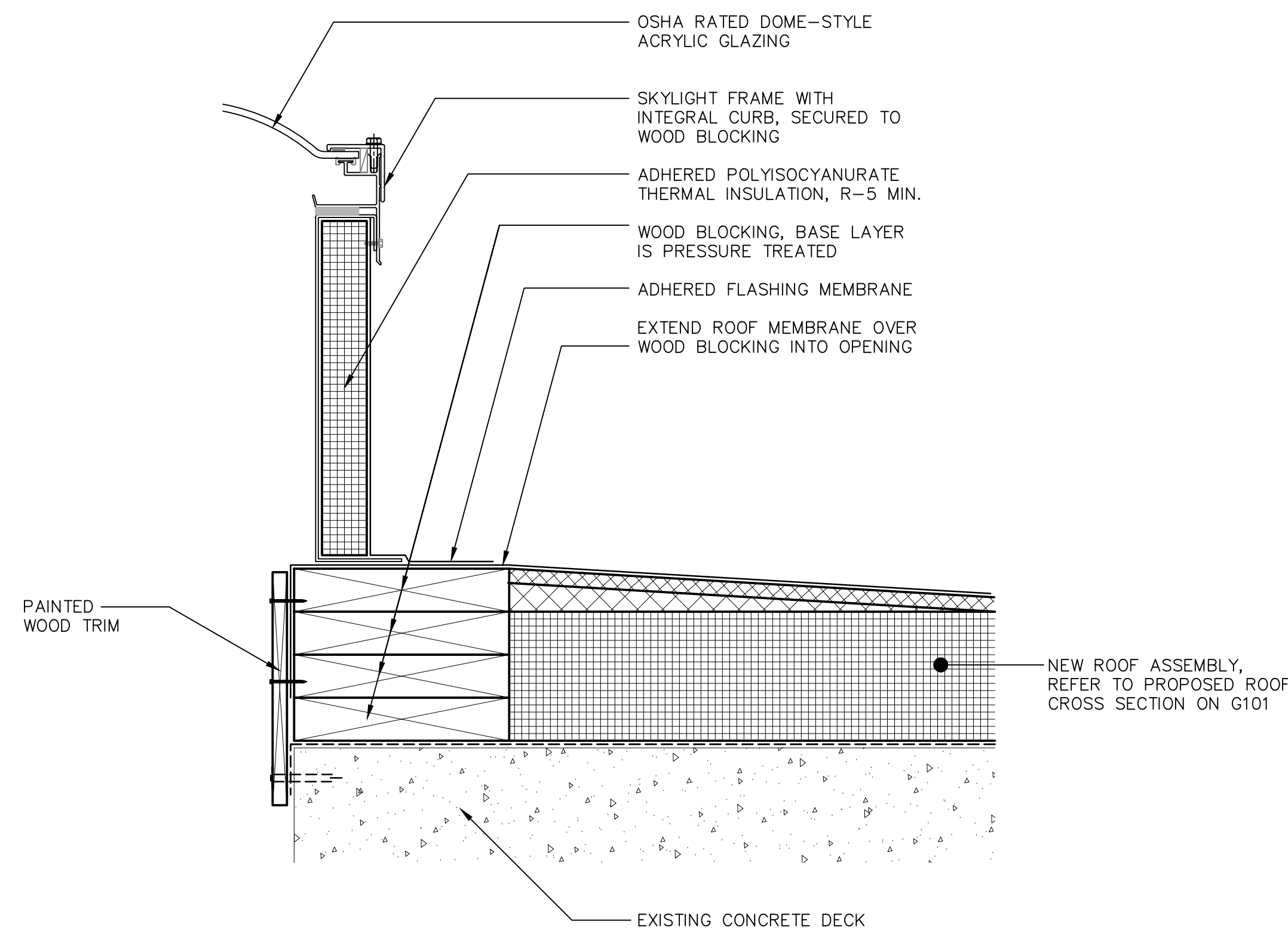
**6 CLERESTORY RIDGE**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



REVISIONS			STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
mark	date	description	drawing prepared by	date
XXX	XXX	XXX	GALE ASSOCIATES, INC. 703 HEBRON AVE. GLASTONBURY, CT 06033	12/03/18
			project	scale
			ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE HARTFORD, CT	3"=1'-0"
			drawing no.	approved by
			H1978820	JSD/ETH
			project no.	checked by
			SI-2B-433	MAL
				drawing no.
				A502

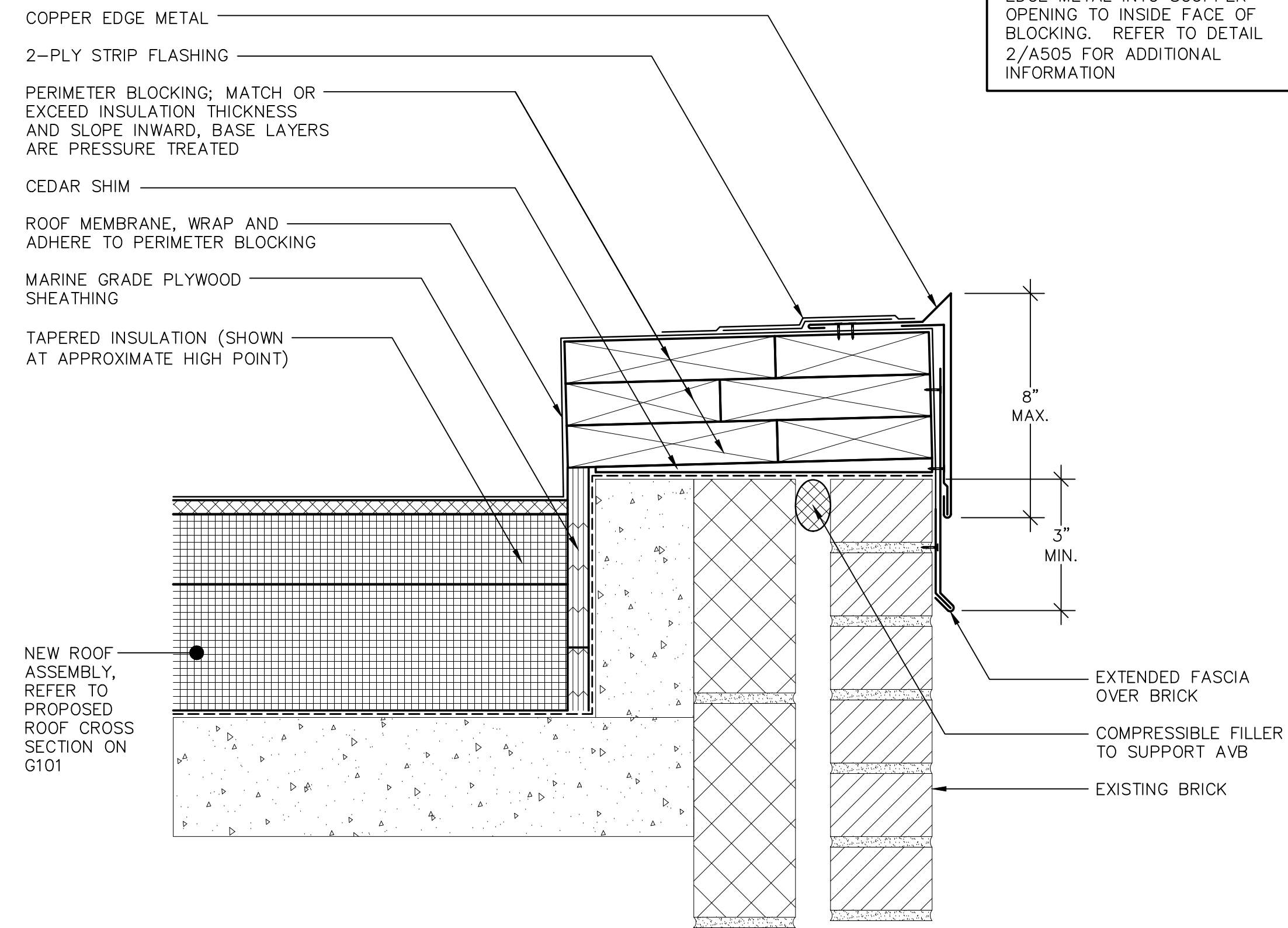
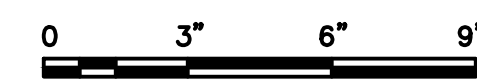


REVISIONS			STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
mark	date	description	drawing prepared by	date
XXX	XXX	XXX	GALE ASSOCIATES, INC. 703 HEBRON AVE. GLASTONBURY, CT 06033	12/03/19
			drawing approved by	scale
			JSD/ETH	3"=1'-0"
			approved by	drawn by
			MAI	JSD/ETH
			drawing no.	approved by
				MAI
			CAD no.	project no.
			H1978820	SI-2B-433
				<b>A503</b>



1 SKYLIGHT CURB

SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

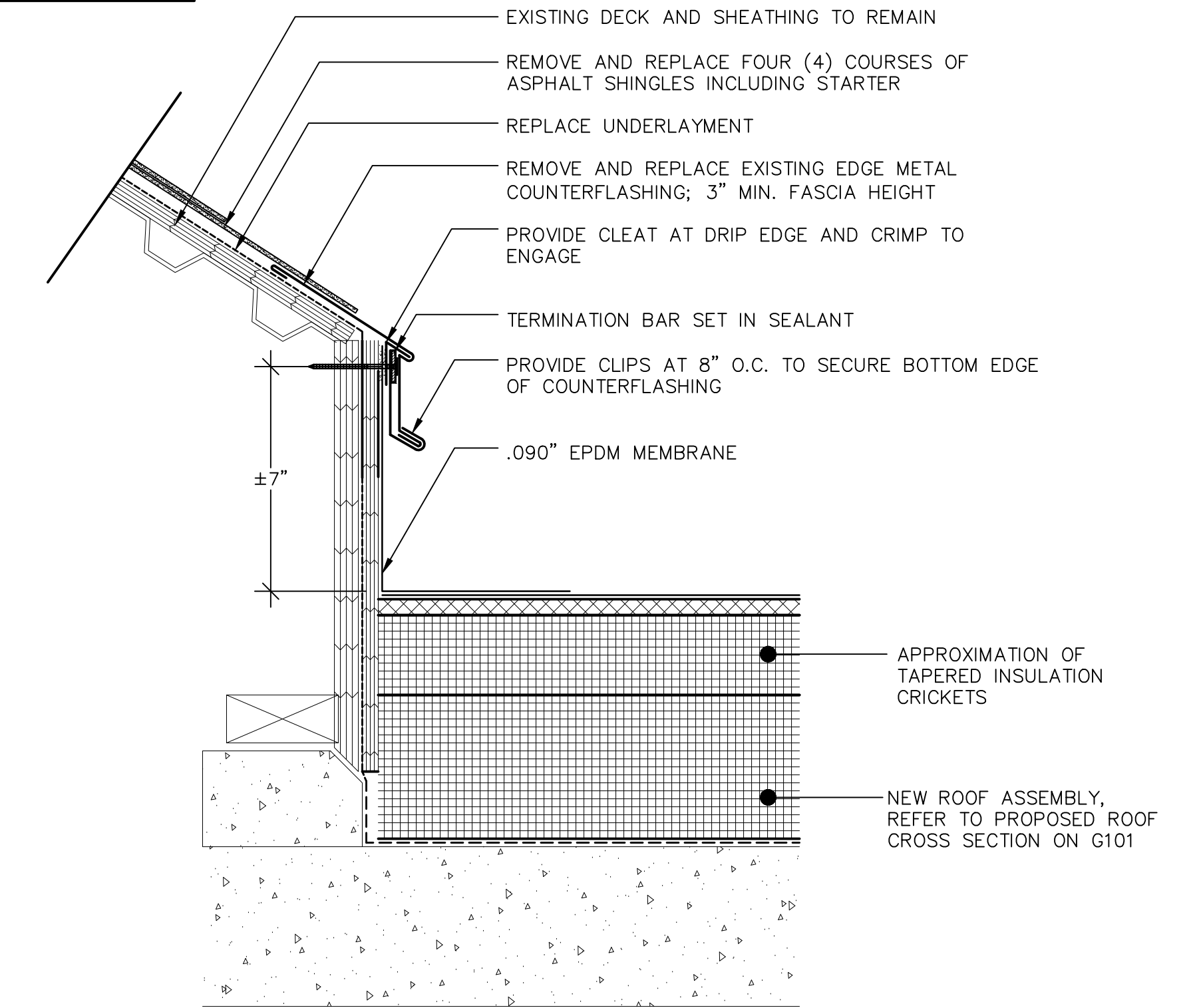


2 BUILDING 470 - EDGE METAL

SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

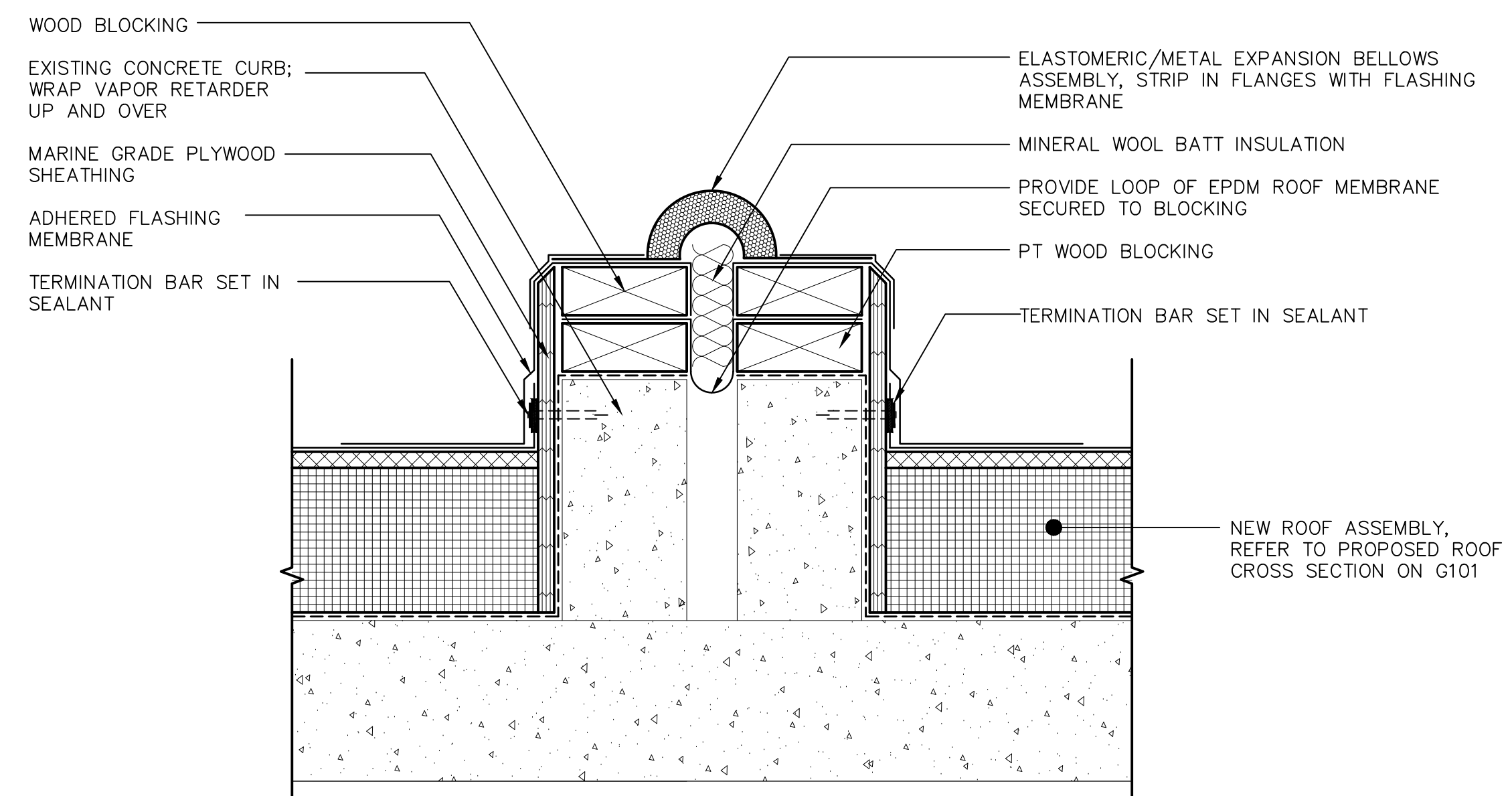


NOTE: ROOF IS UNDER EXISTING WARRANTY; REFER TO G101. COORDINATE ROOF WORK WITH EXISTING INSTALLER AND/OR MANUFACTURER TO MAINTAIN EXISTING WARRANTY.



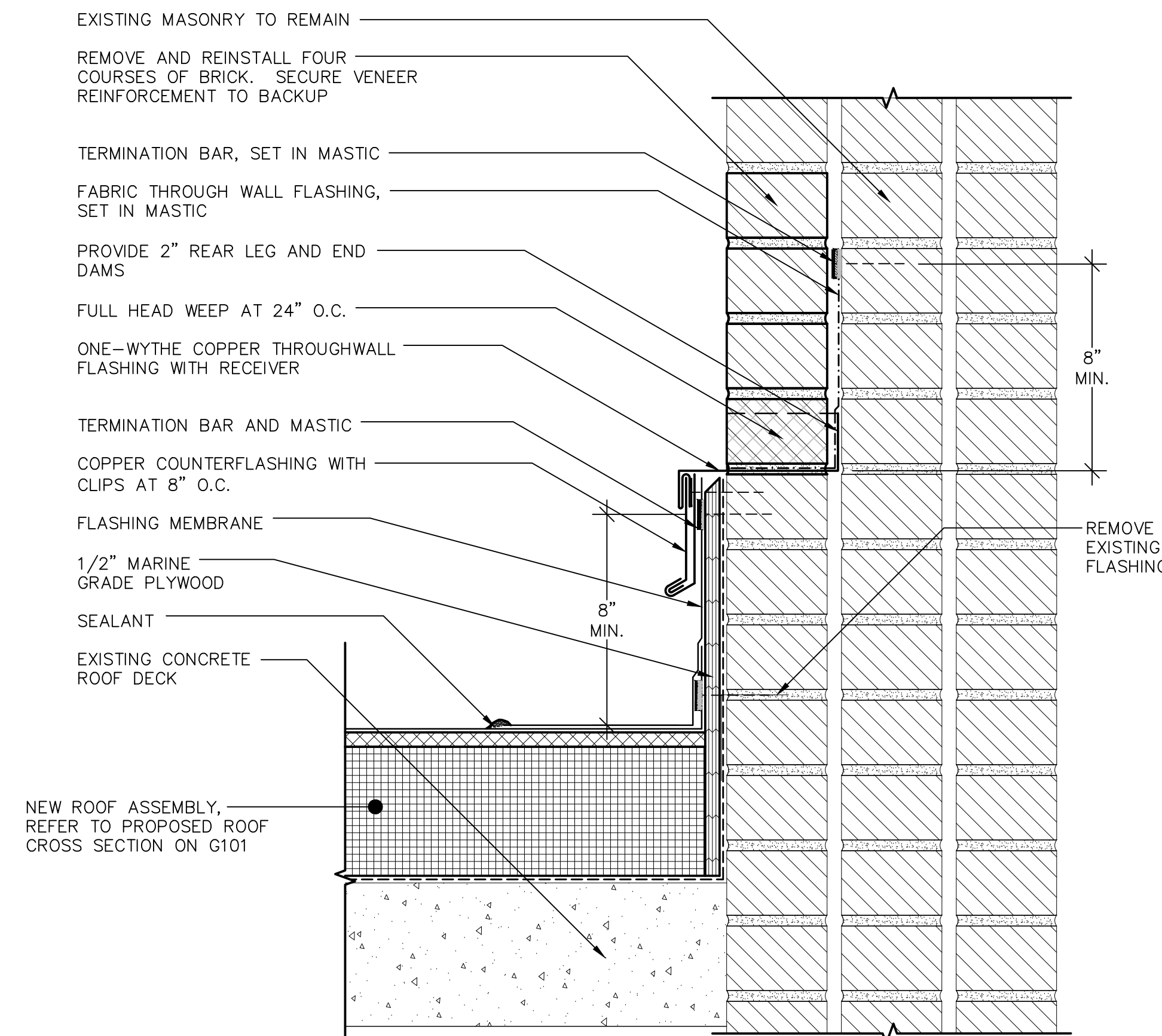
3 BUILDING 470 - TRANSITION TO EXISTING

SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



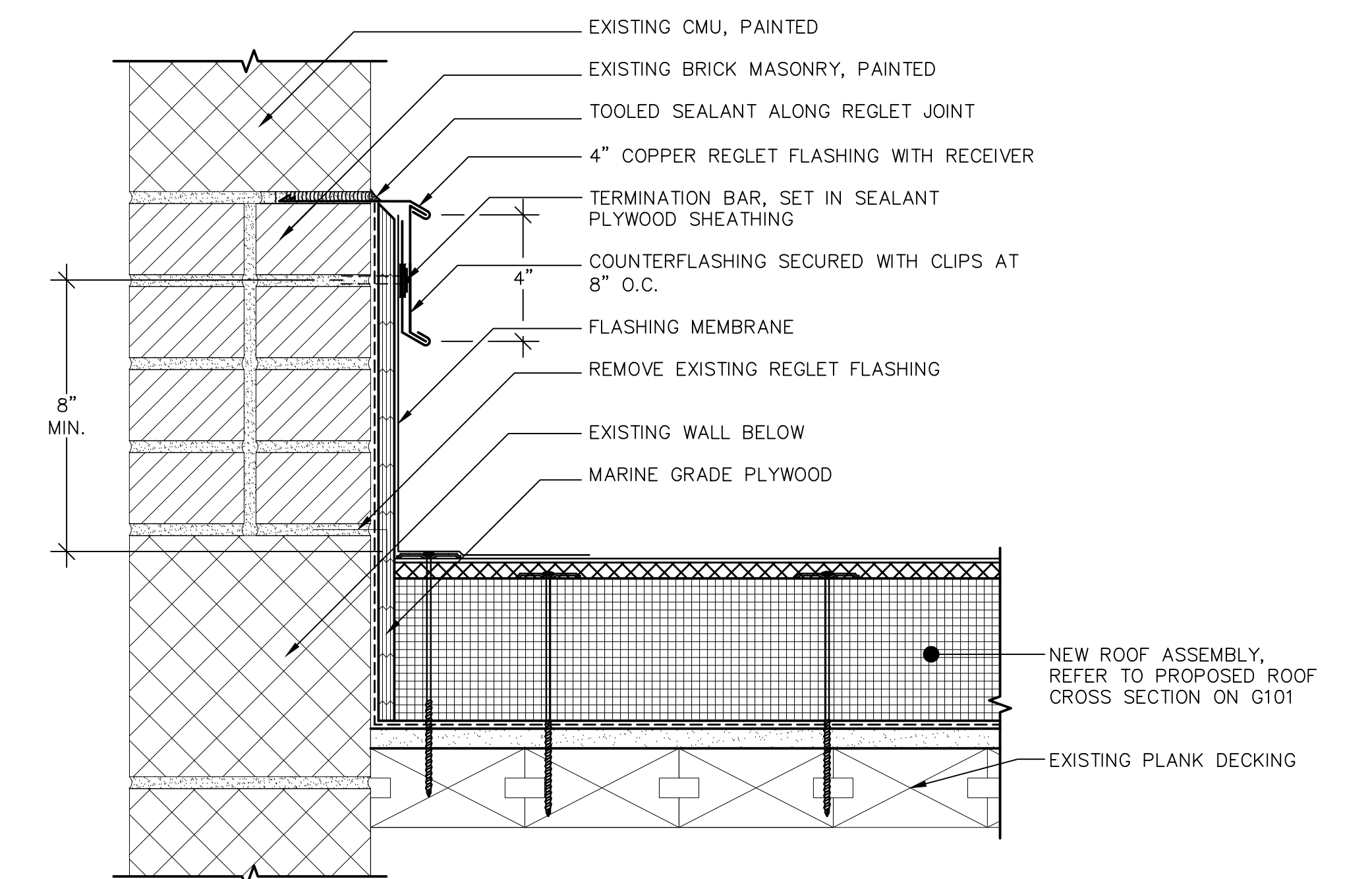
4 BUILDING 470 - EXPANSION JOINT

SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



5 BUILDING 470 - ROOF TO THROUGH WALL

SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

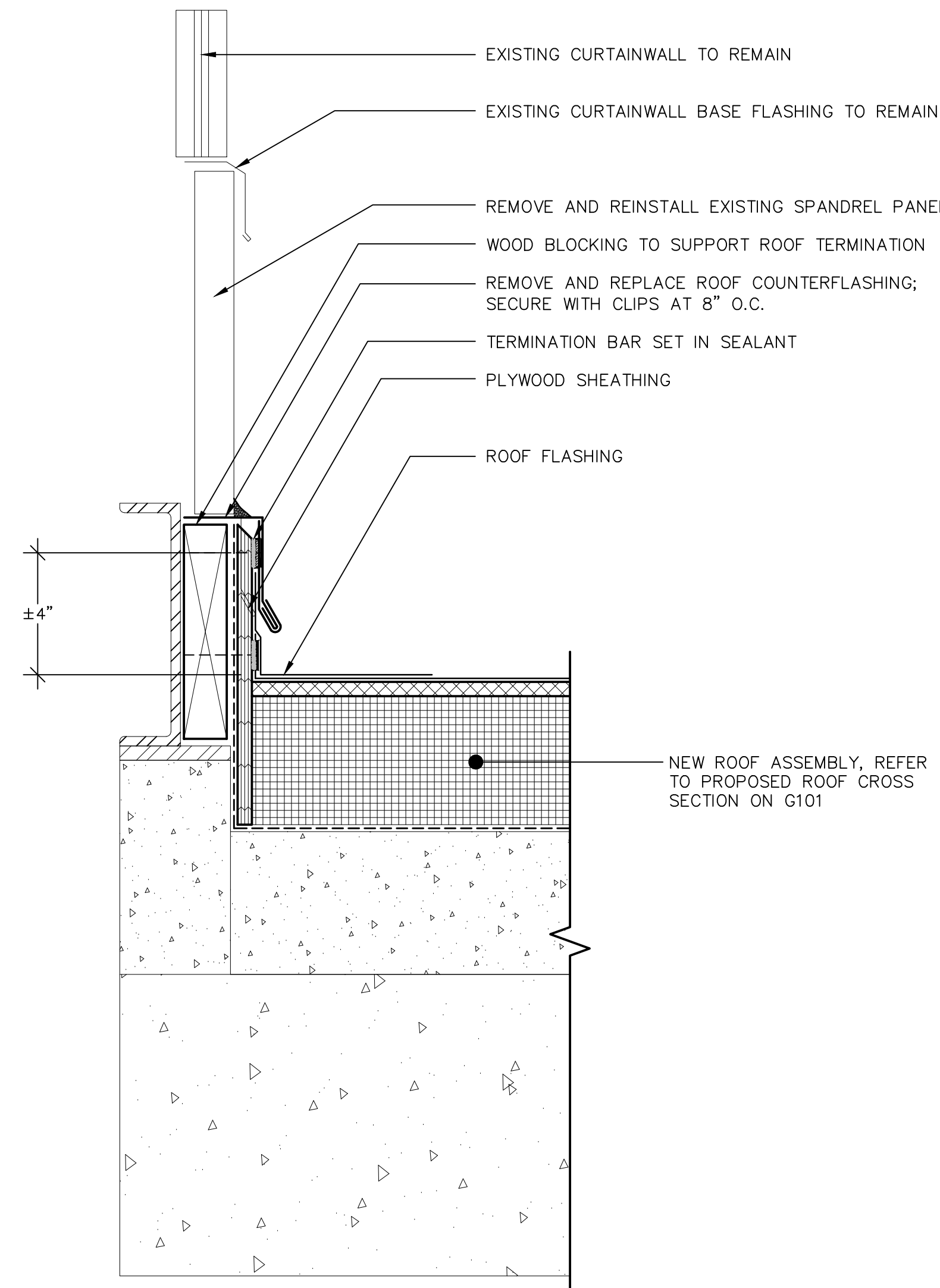


6 BUILDING 460 - ROOF TO REGLET

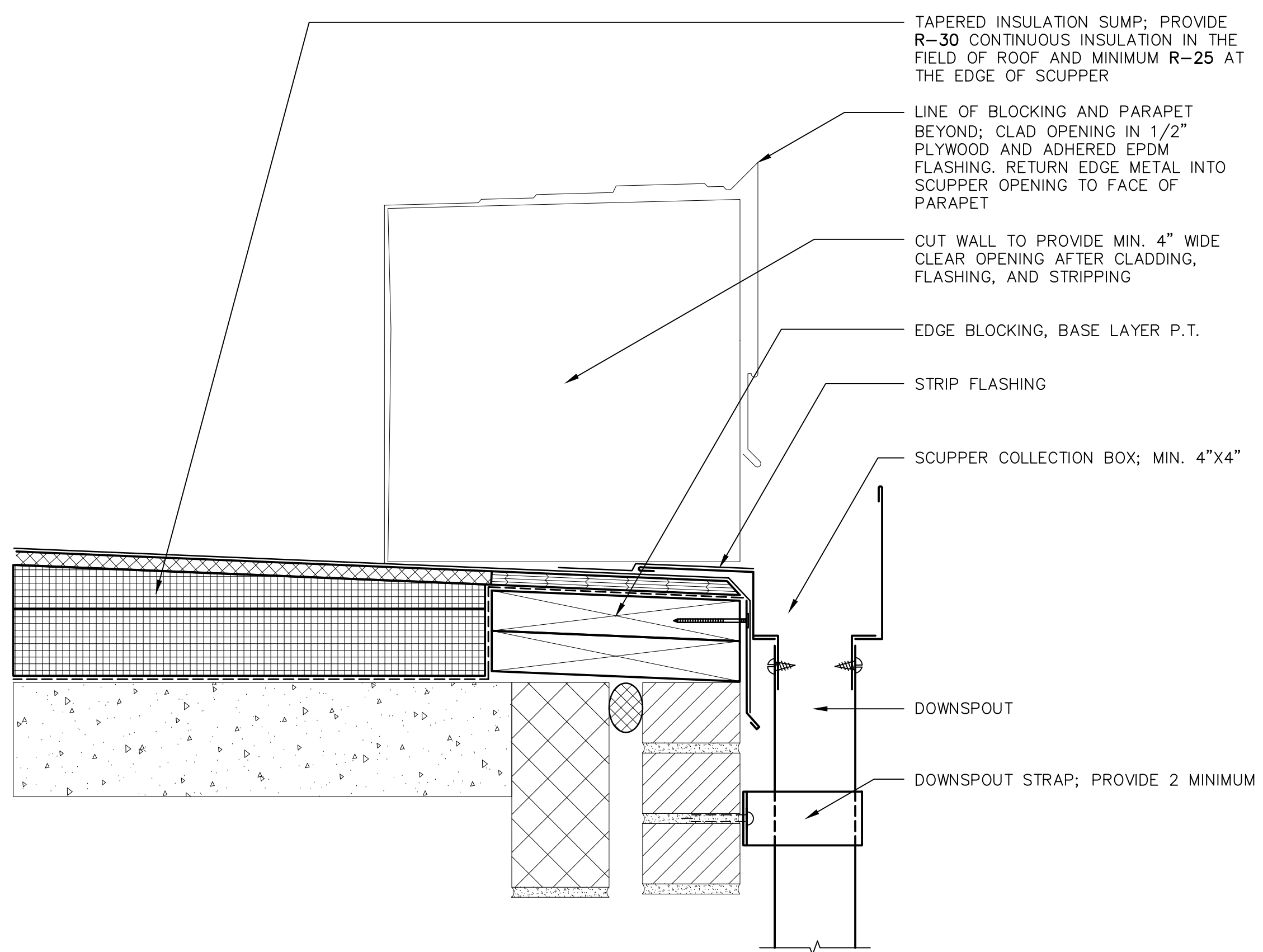
SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



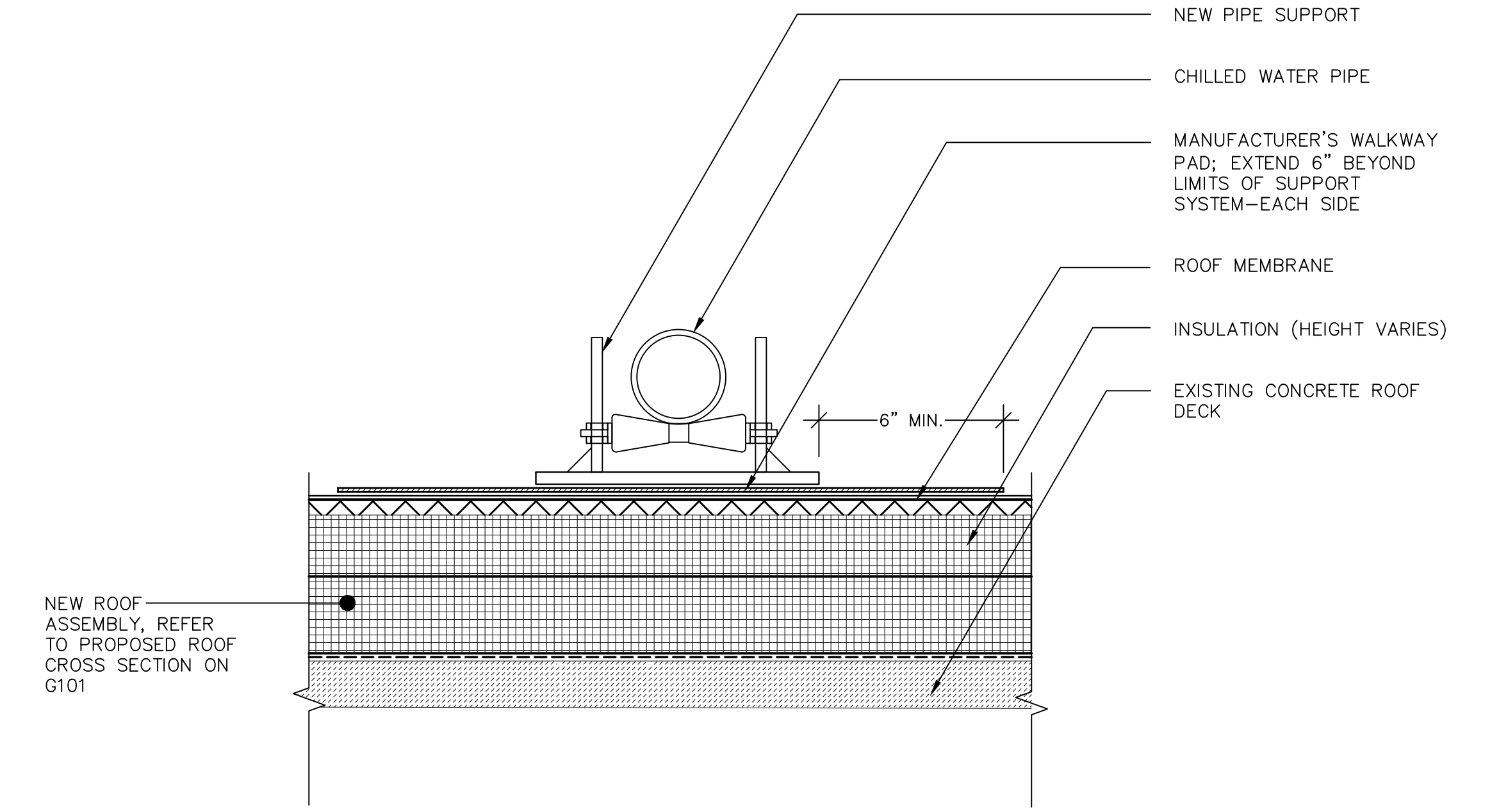
REVISIONS			STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
mark	date	description	drawing prepared by	date
XXX	XXX	XXX	GALE ASSOCIATES, INC. 703 HEBRON AVE. GLASTONBURY, CT 06033	12/03/18
			project	scale
			ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE HARTFORD, CT	AS NOTED
			drawn by	approved by
			JSD/ETH	MM
			drawing no.	A504
CAD no.		project no.		
H1978820		SI-28-433		



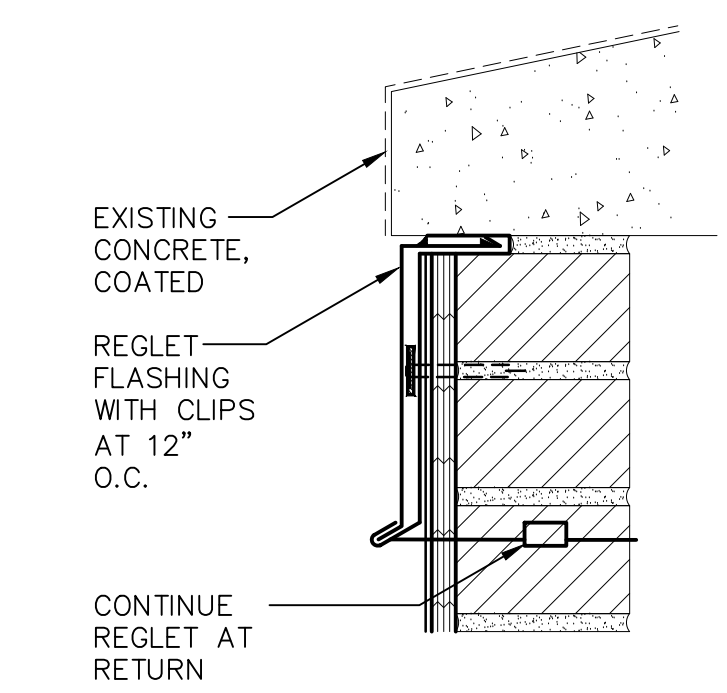
**1 BUILDING 470 – ROOF TO CURTAIN WALL**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



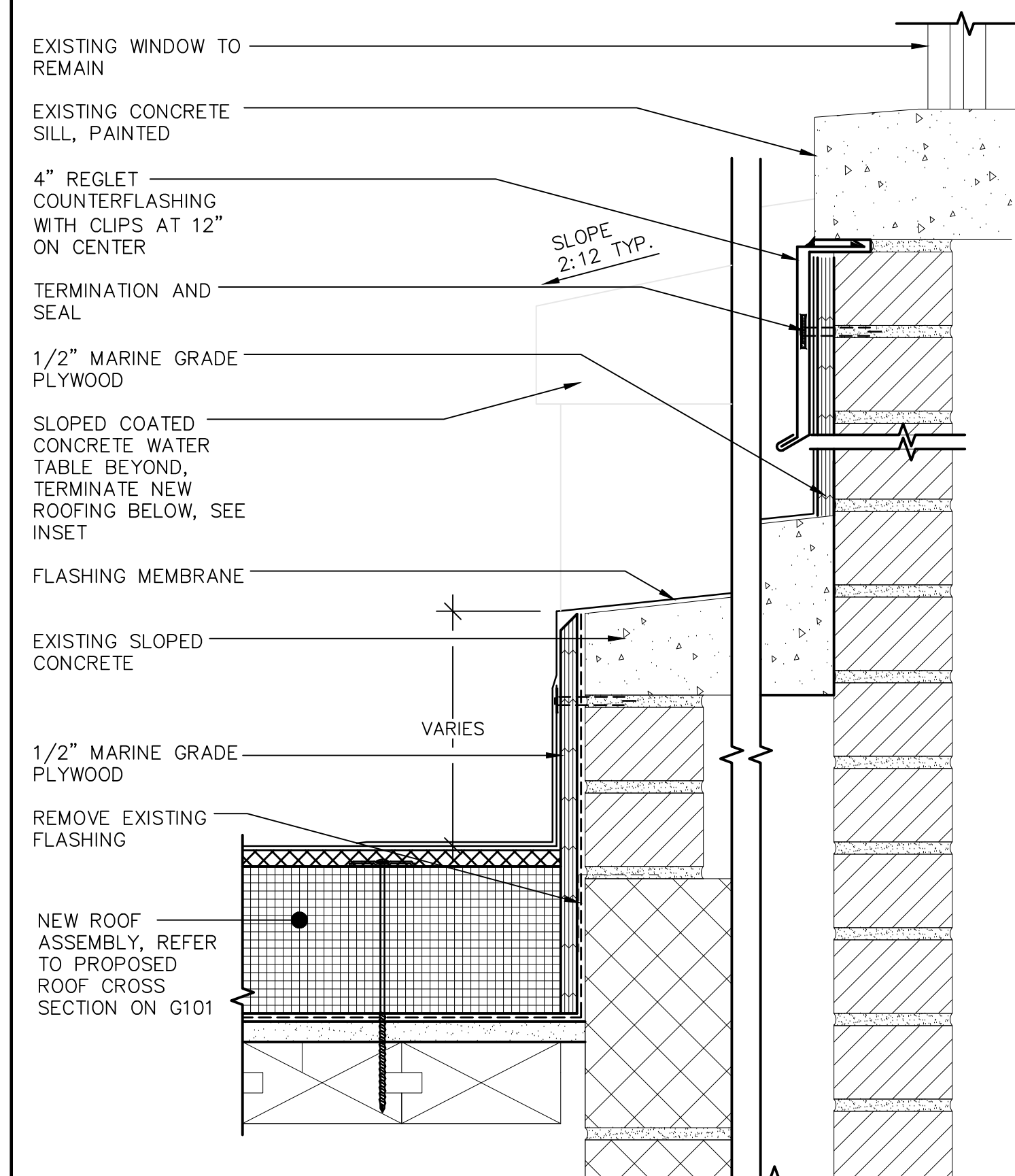
**2 BUILDING 470 – EDGE SCUPPER**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**3 BUILDING 470 – CHILLED WATER PIPE SUPPORT**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

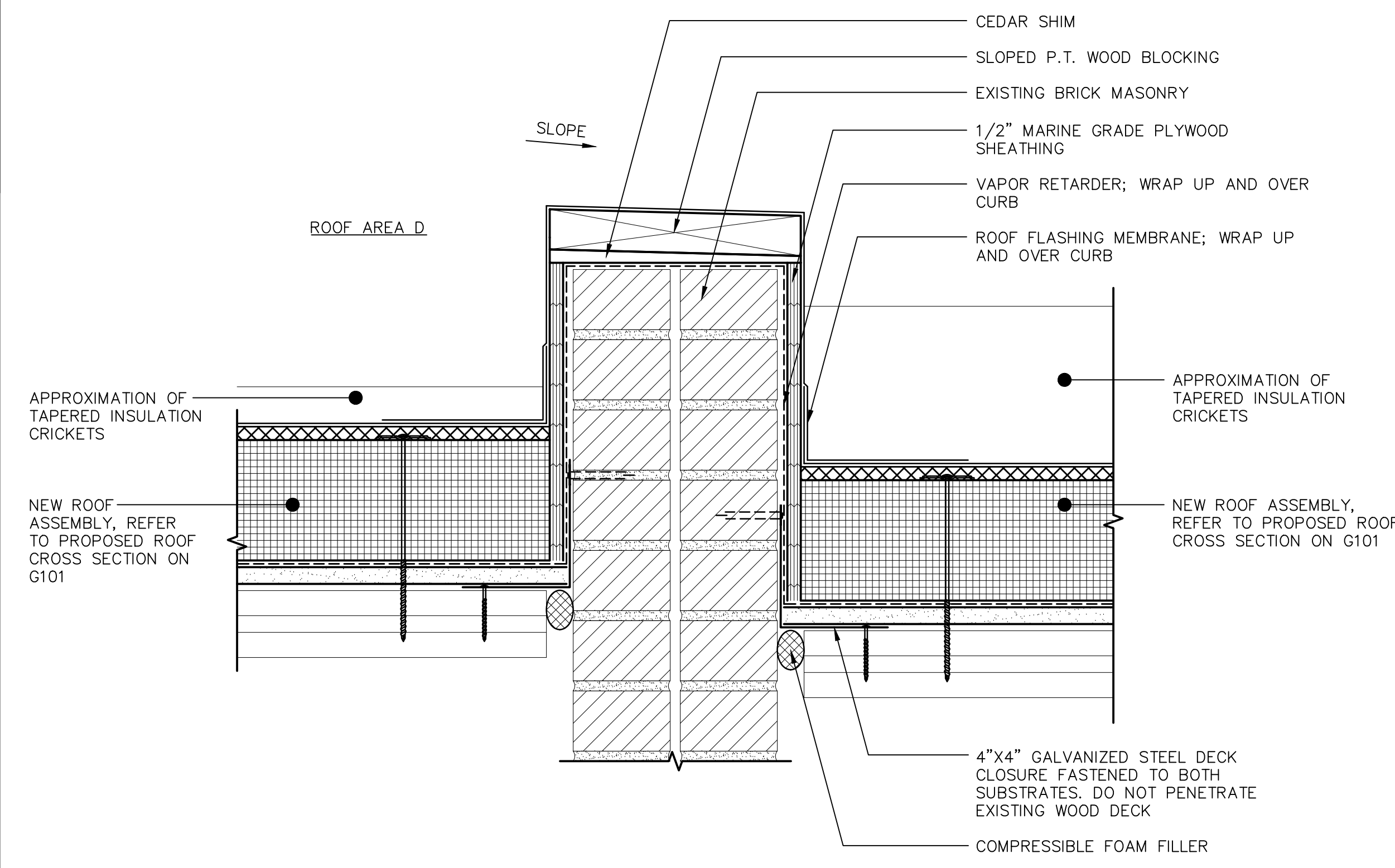


**4B SECTION AT COATED SHELF**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

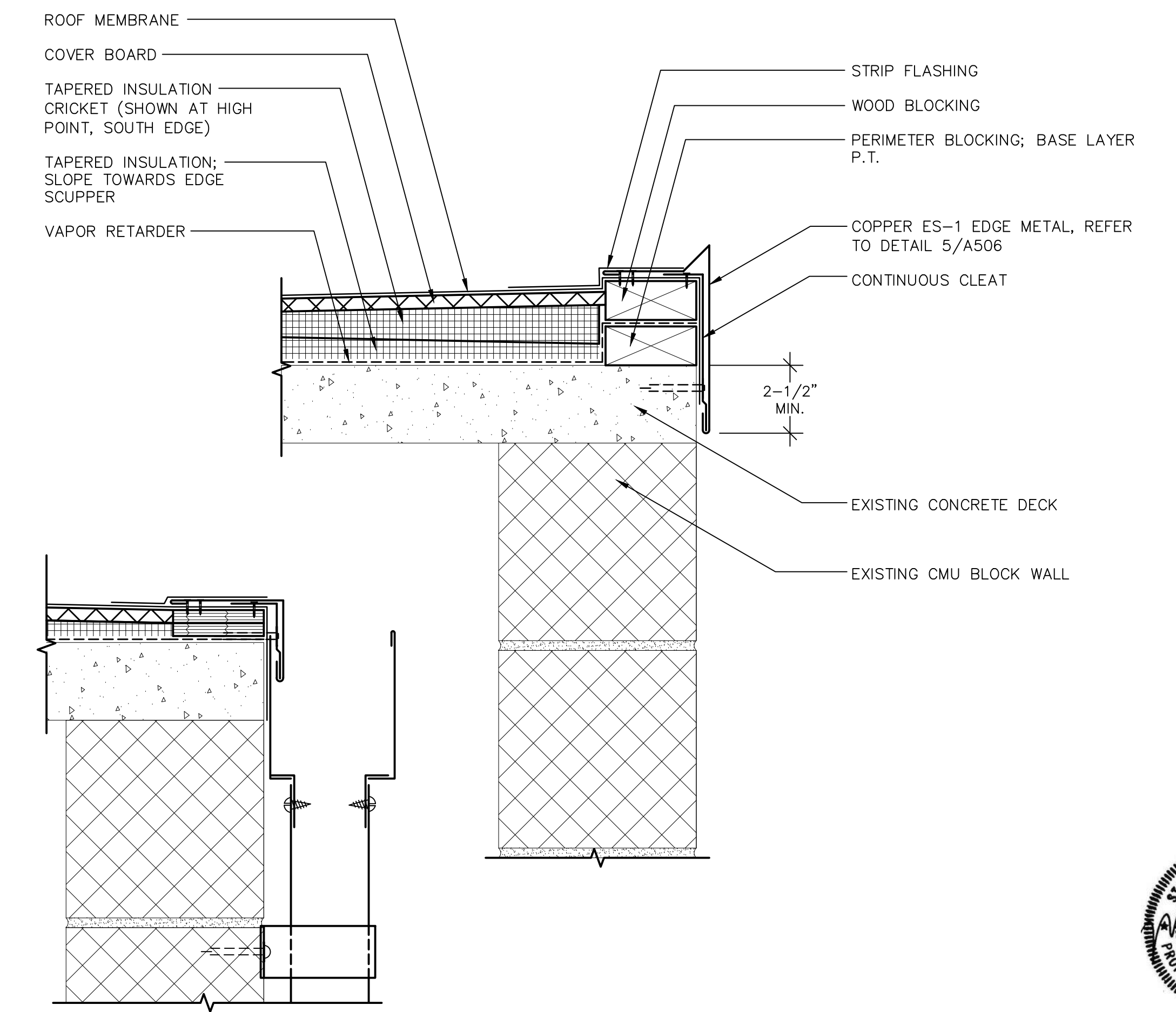


**4A BUILDING 460 – ROOF TO WALL**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

**NOTE:** REFER TO SHEET G101 NOTE 44. LOW END OF ROOF CURB REQUIRES ADDITIONAL BLOCKING LAYERS



**5 BUILDING 460 – FIRE WALL**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

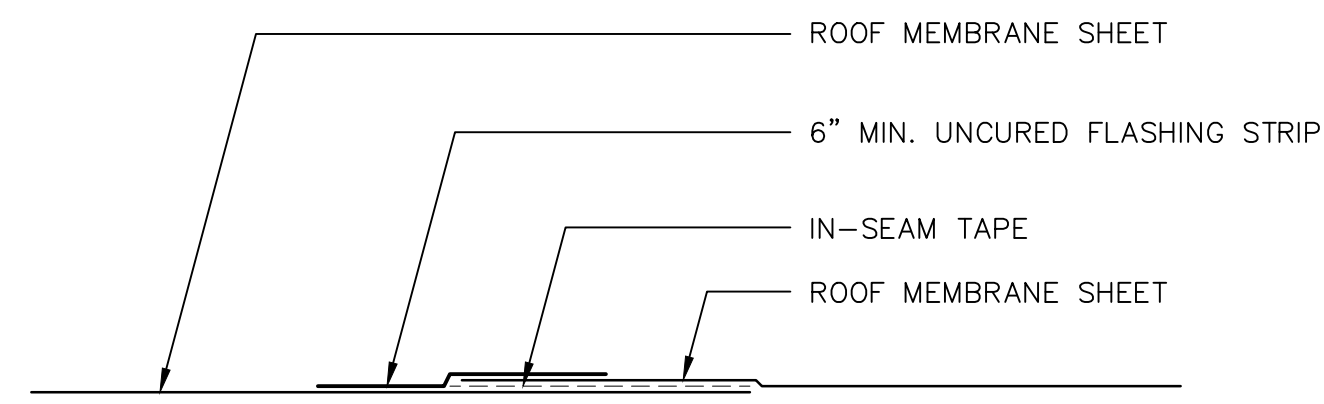


**SECTION AT EDGE SCUPPER**  
 SCALE: 3"=1'-0"

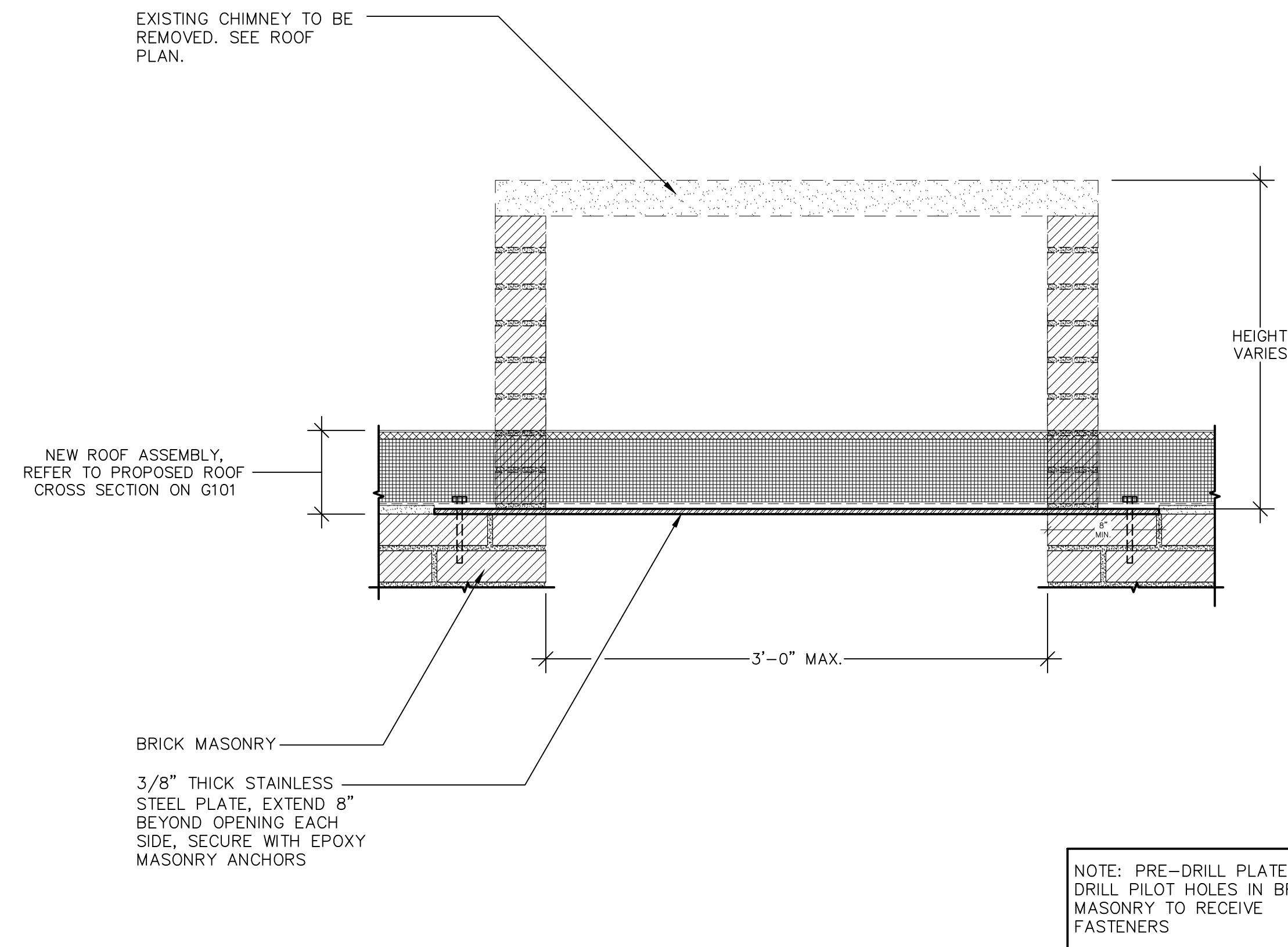
**6 BUILDING 460 – PENTHOUSE EDGE**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



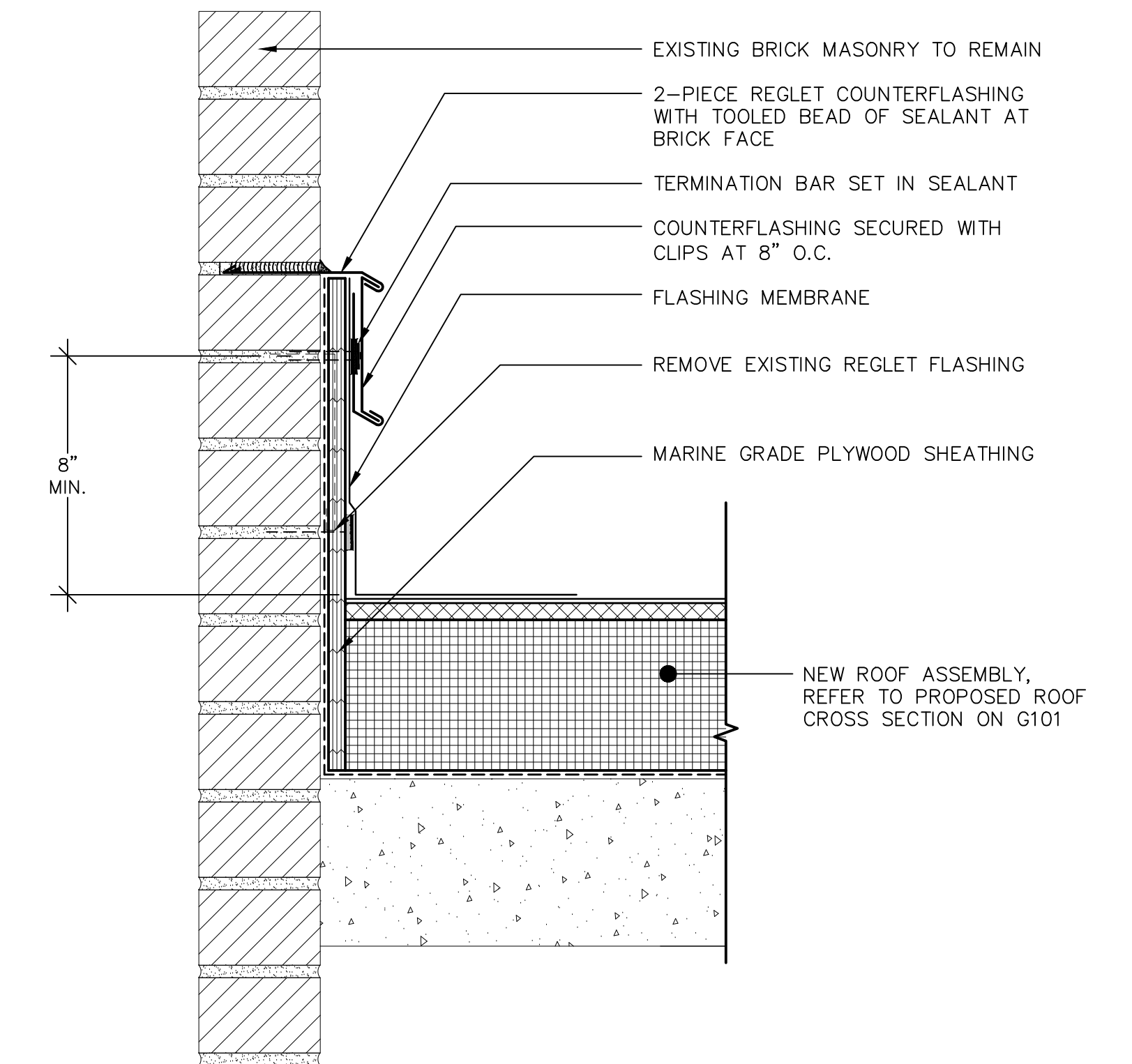
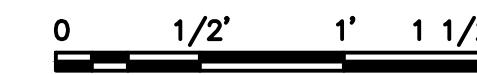
REVISIONS			STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
mark	date	description	drawing prepared by	date
XXX	XXX	XXX	GALE ASSOCIATES, INC. 703 HEBRON AVE. GLASTONBURY, CT 06033	12/03/19
			project ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE HARTFORD, CT	drawn by JSD/ETH
			CAD no. H1978820	approved by JMAL
			project no. SI-28-433	drawing no. A505



**1 EPDM SEAM STRIPPING**  
SCALE: NOT TO SCALE  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**2 BUILDING 460 - DECK PLATE DETAIL @ ABANDONED CHIMNEYS AND PENETRATIONS**  
SCALE: 1-1/2"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

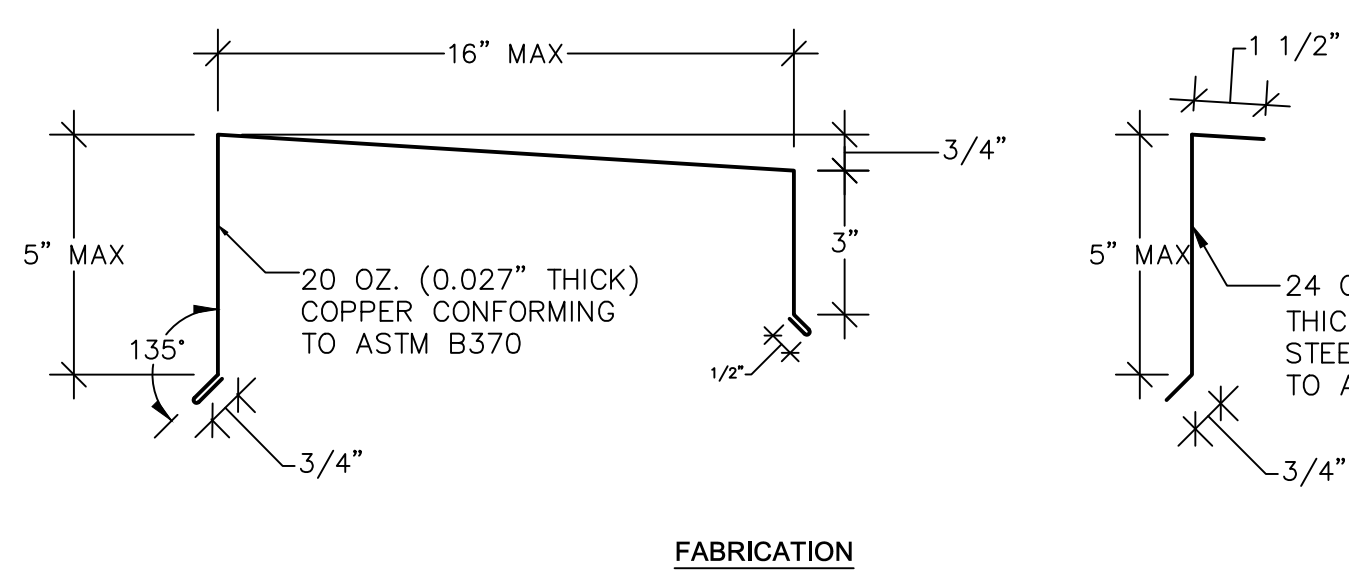


**3 BUILDING 470 REGLET AT RISING WALL**  
SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

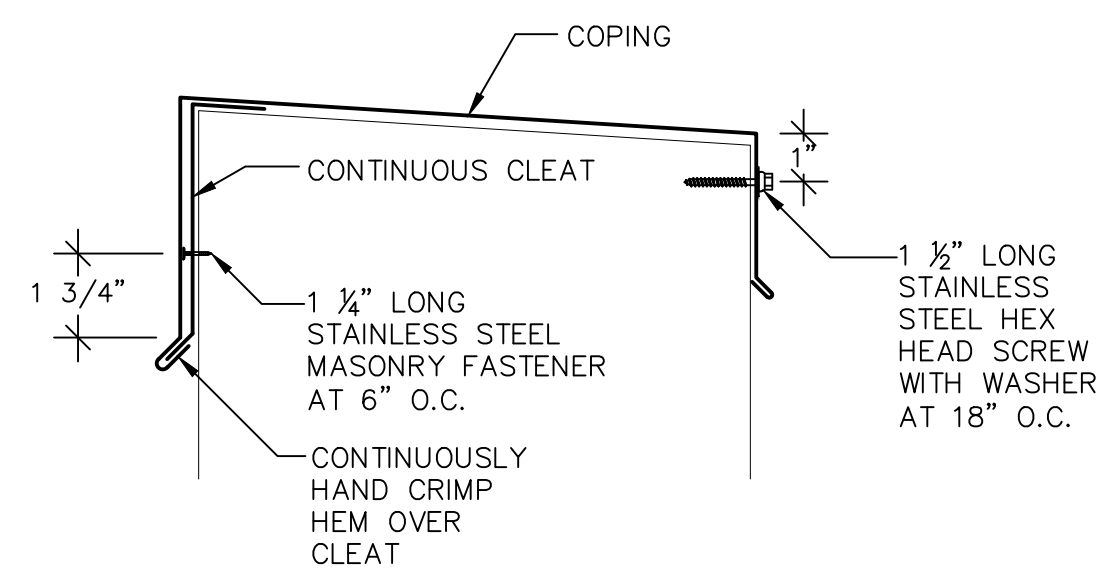


ANSI/SPRI ES-1 REQUIRED RESISTANCE	
OUTWARD	UPWARD
112 LBS./SQ.FT.	230 LBS./SQ.FT.

**NOTES:**  
1. COPING FOR THIS PROJECT TO BE FABRICATED FROM THE MATERIALS LISTED AND TESTED IN ACCORDANCE WITH ANSI/SPRI ES-1 TO RESIST THE LISTED WIND LOADS (ASCE 7-10). SHEET METAL FABRICATOR MUST BE ANSI/SPRI CERTIFIED. IF A PRE-APPROVED NRCA DETAIL DOES NOT EXIST FOR THE CONDITION, CONTRACTOR TO PROVIDE SHOP DRAWING AND FORMED SAMPLE FOR TESTING DURING THE SUBMITTAL PROCESS.  
2. REFER TO 2/A507 FOR SPLICES



FABRICATION



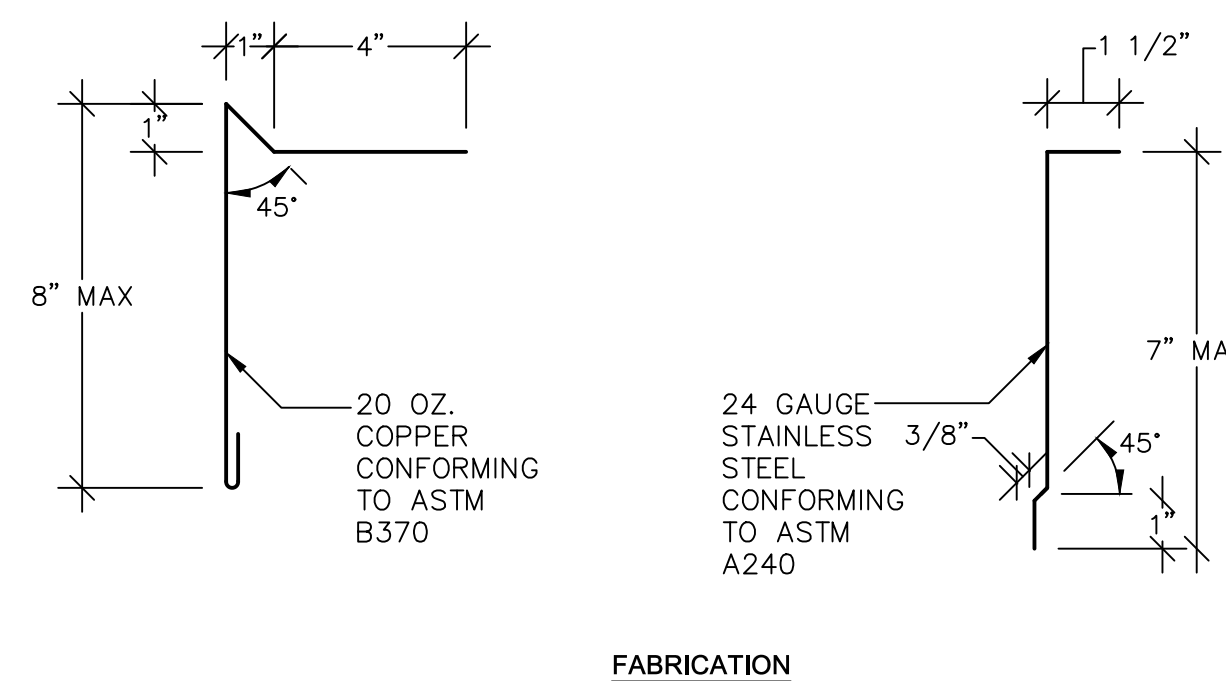
INSTALLATION

**4 BUILDING 460 - NRCA COPING METAL**  
SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

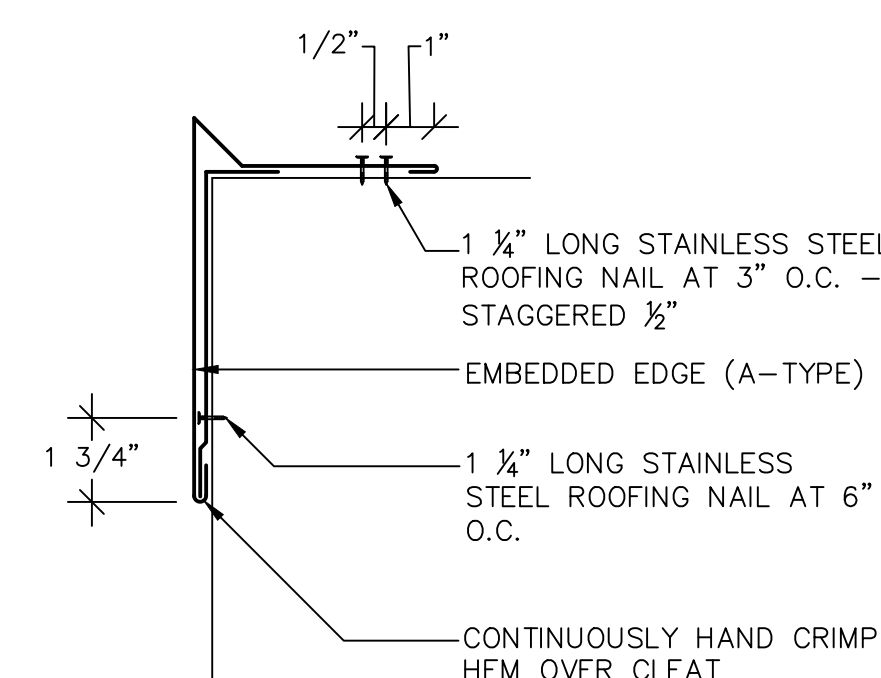


ANSI/SPRI ES-1 REQUIRED RESISTANCE	
OUTWARD	
112 LBS./SQ.FT.	

**NOTES:**  
1. EDGE METAL FOR THIS PROJECT TO BE FABRICATED FROM THE MATERIALS LISTED AND TESTED IN ACCORDANCE WITH ANSI/SPRI ES-1 TO RESIST THE LISTED WIND LOADS (ASCE 7-10). SHEET METAL FABRICATOR MUST BE ANSI/SPRI CERTIFIED. IF A PRE-APPROVED NRCA DETAIL DOES NOT EXIST FOR THE CONDITION, CONTRACTOR TO PROVIDE SHOP DRAWING AND FORMED SAMPLE FOR TESTING DURING THE SUBMITTAL PROCESS.  
2. REFER TO 2/A507 FOR SPLICES



FABRICATION



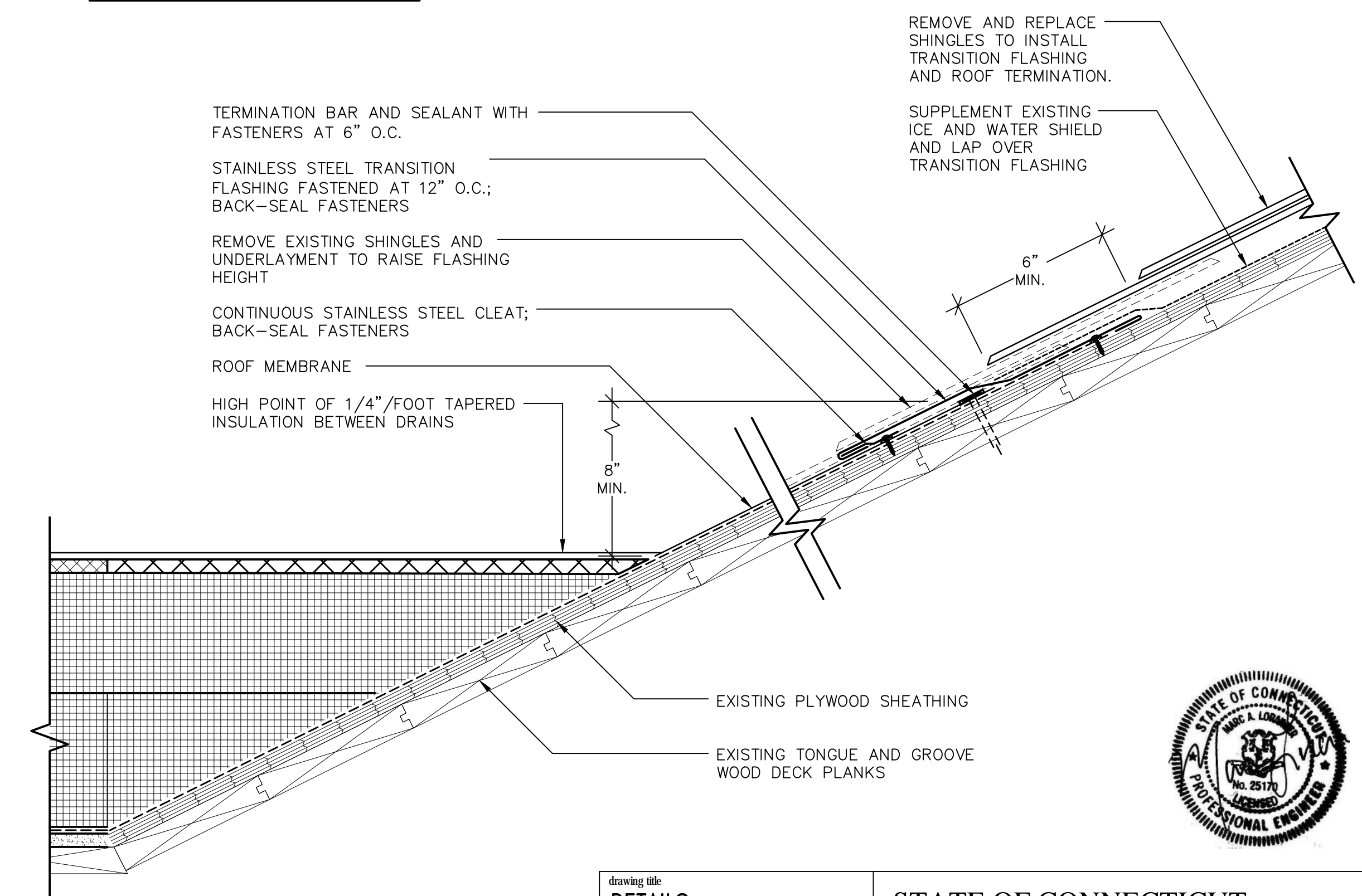
INSTALLATION

**5 BUILDINGS 460 & 470 - NRCA EDGE METAL**  
SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

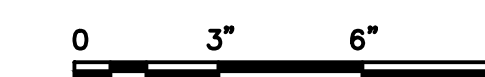


**NOTE:** ROOF IS UNDER EXISTING WARRANTY; REFER TO G101. COORDINATE ROOF WORK WITH EXISTING INSTALLER AND/OR MANUFACTURER TO MAINTAIN EXISTING WARRANTY.

**NOTE:** REFER TO DETAIL 2/A505 FOR EDGE SCUPPER BOX AND DOWNSPOUT AT EAVE

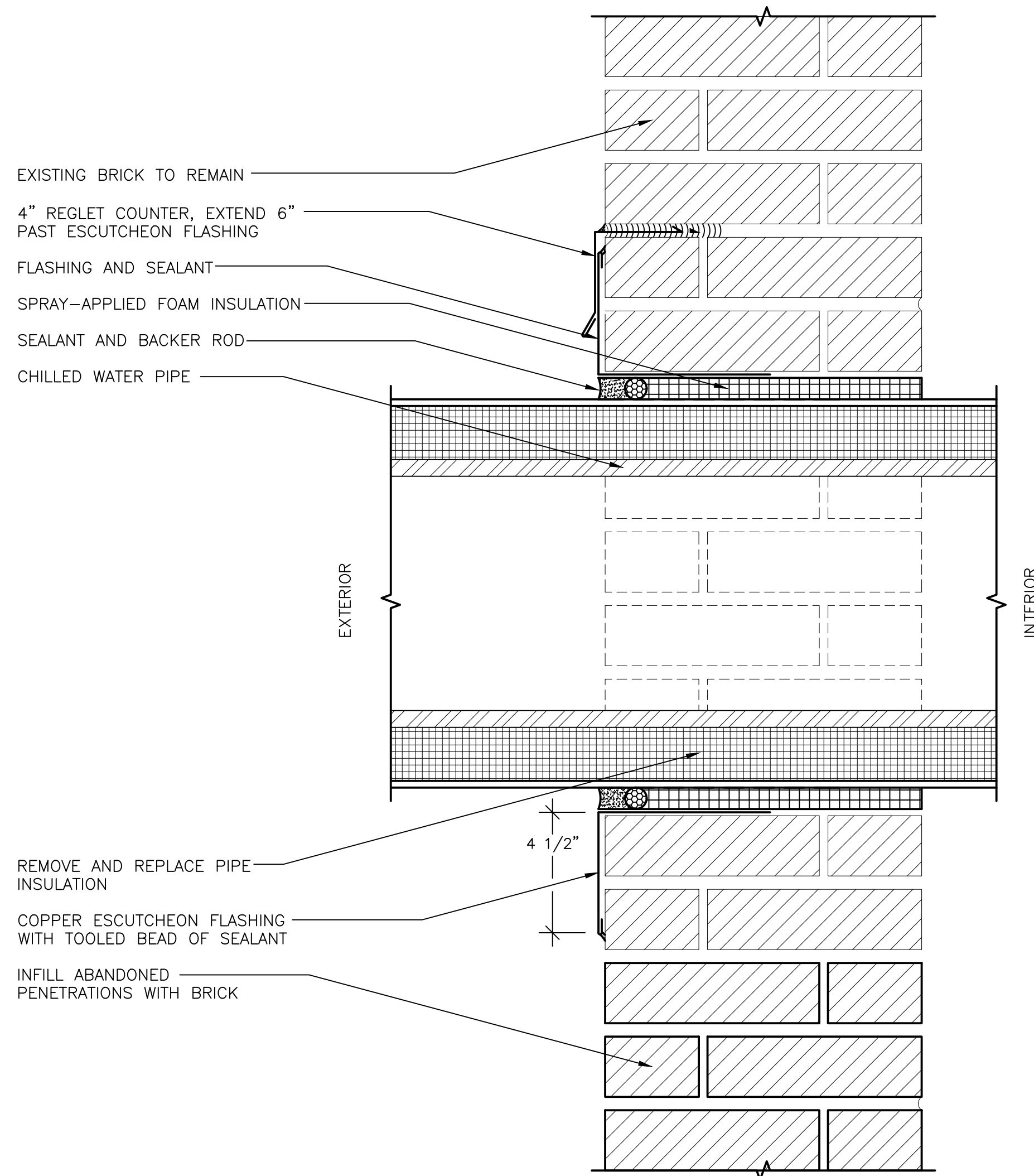


**6 BUILDING 470 TRANSITION TO EXISTING ROOF**  
SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

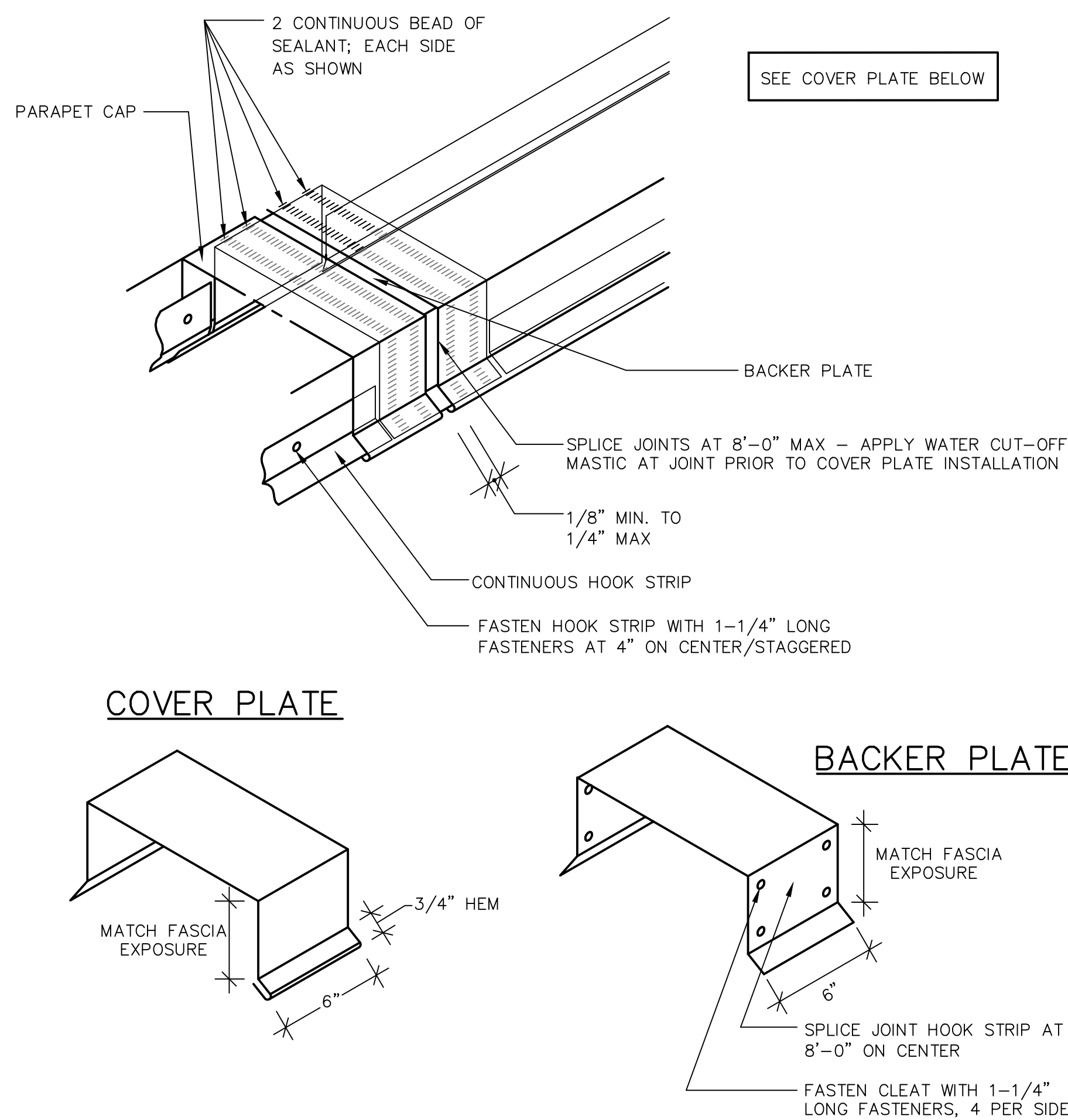


DETAILS			STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
REVISIONS			drawing prepared by	
mark	date	description	GALE ASSOCIATES, INC.	
X.X.X	X.X.X	X.X.X	703 HEBRON AVE.	
			GLASTONBURY, CT 06033	
			project	date
			ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE HARTFORD, CT	12/03/19
			drawn by	scale
			JSD/ETH	AS NOTED
			approved by	
			MAL	
			drawing no.	
				A506
			CD no.	project no.
			H1978820	SI-28-433

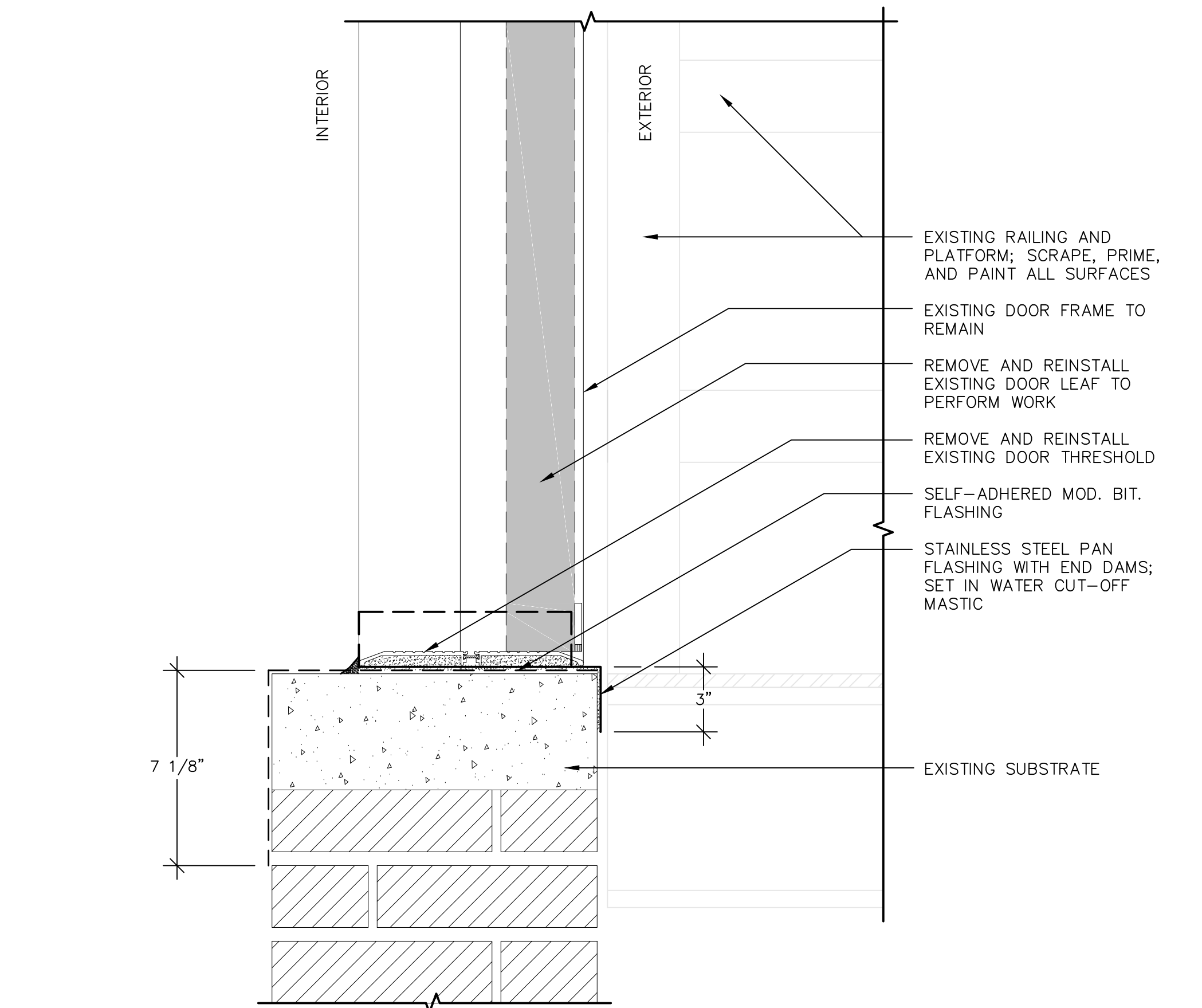




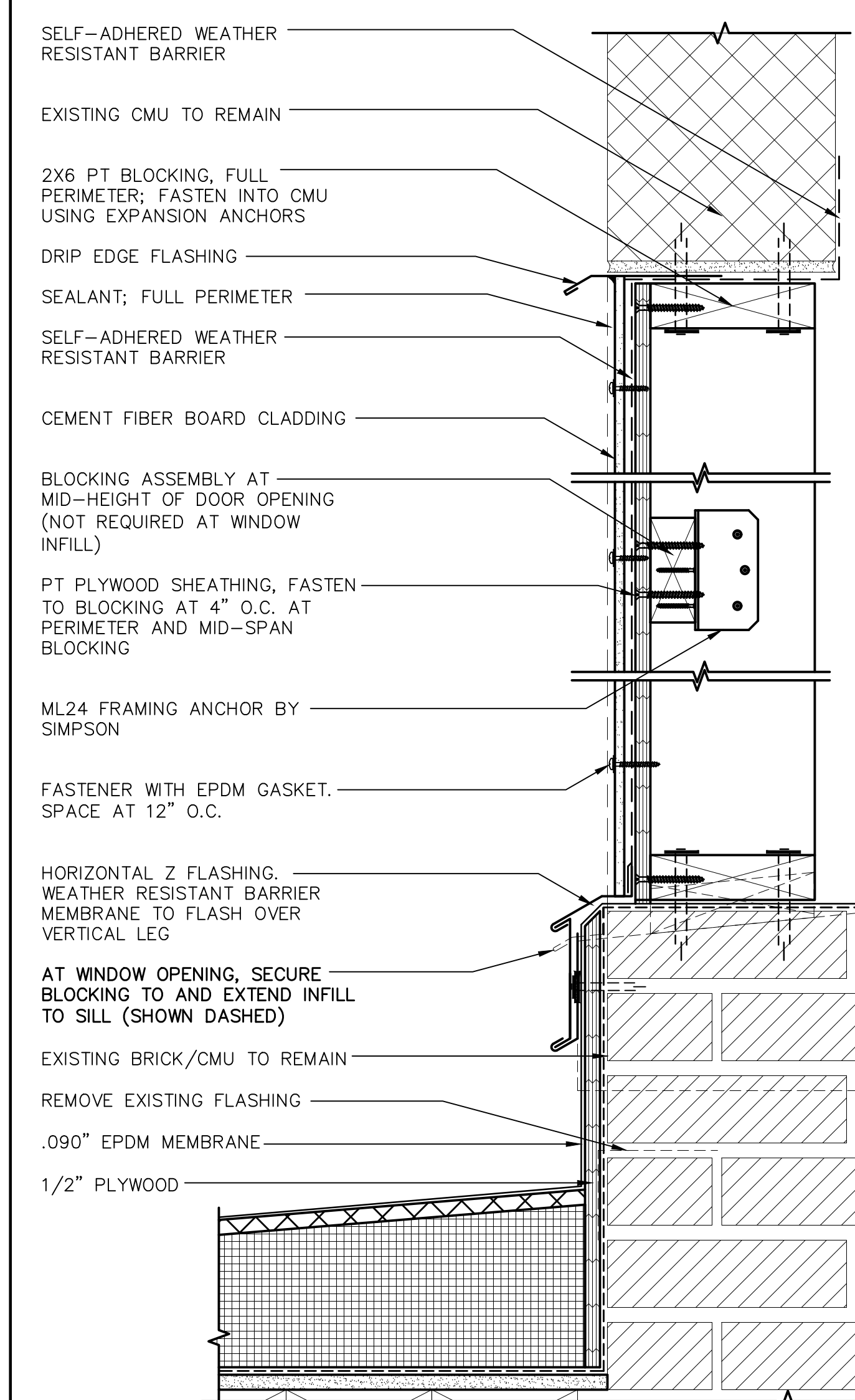
**1 BUILDING 470 – CHILLED WATER PIPE PENETRATION**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**2 COPING JOINT TREATMENT – TYPICAL**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

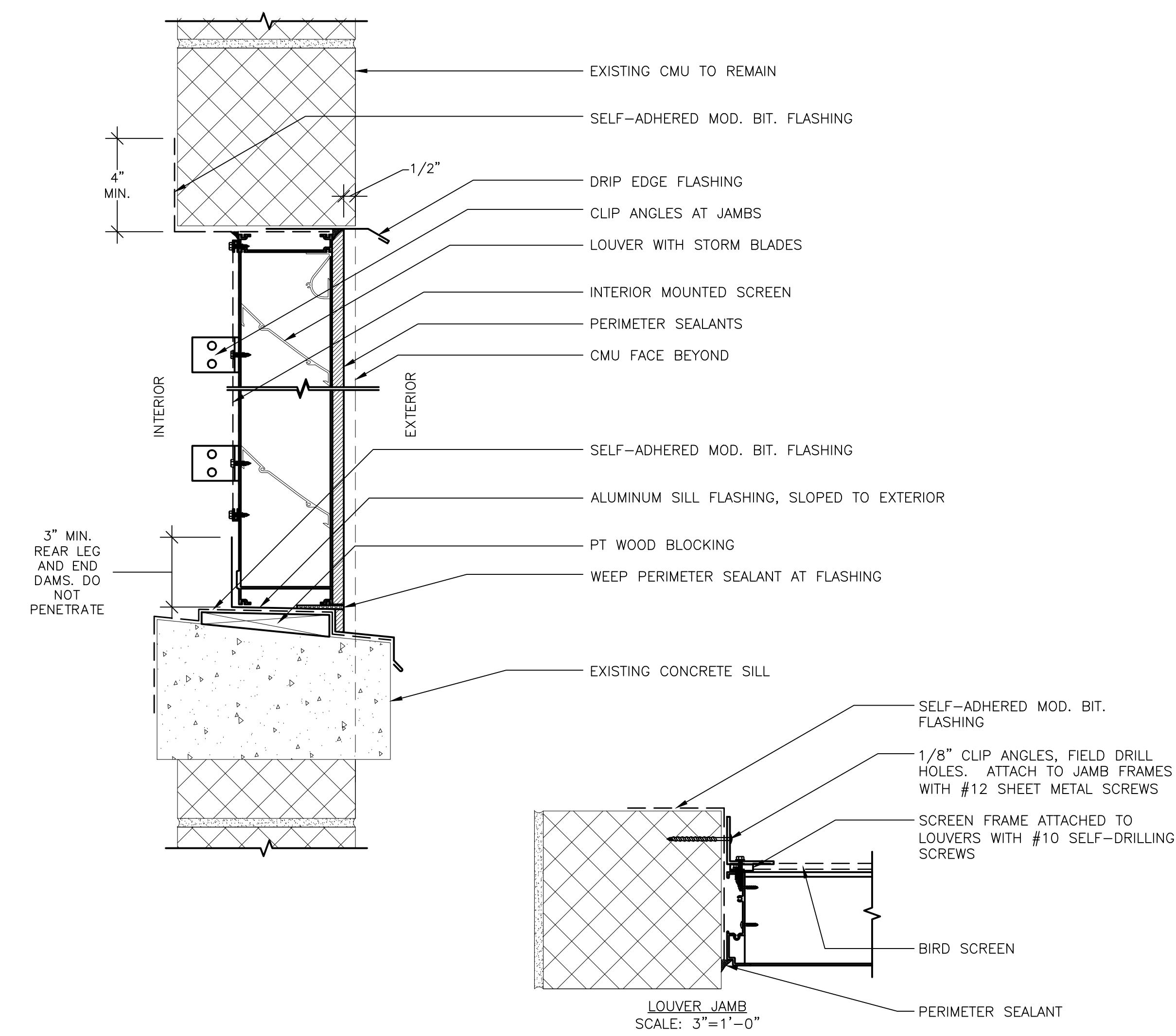


**3 BUILDING 460 – DOOR THRESHOLD**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

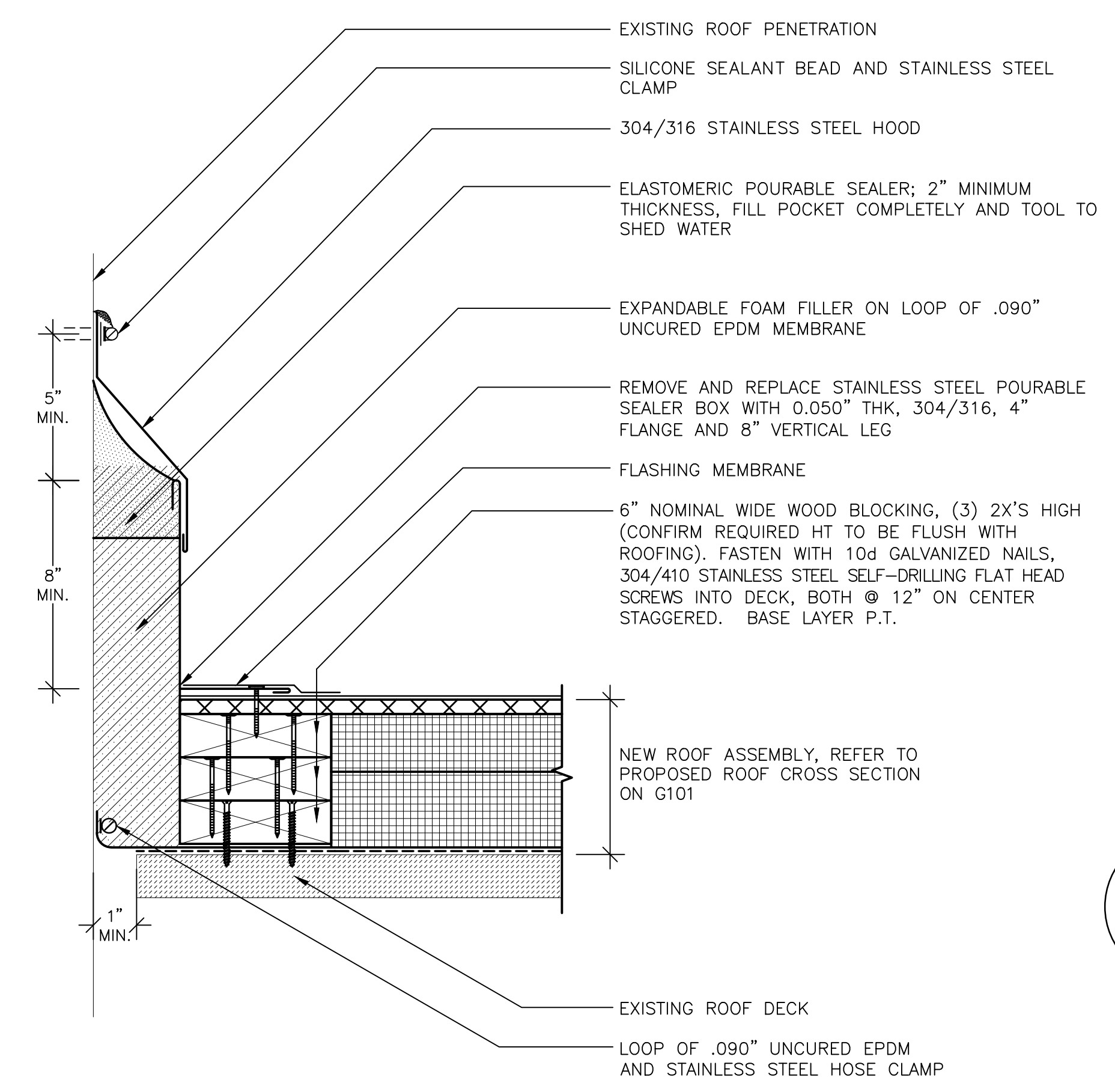


- WOOD INFILL NOTES:**
1. MAXIMUM MOISTURE CONTENT FOR ALL FRAMING SHALL BE 19%, AND 18% FOR PLYWOOD.
  2. ALL CONNECTORS, CONNECTIONS, FASTENERS, ETC. SHALL BE HOT-DIP GALVANIZED. THE GALVANIZING SHALL CONFORM TO AS A MINIMUM ASTM A653, TYPE G185 ZINC-COATED GALVANIZED STEEL OR ENGINEER-APPROVED EQUIVALENT. FASTENERS SPECIFIED TO BE HOT-DIP GALVANIZED SHALL BE IN ACCORDANCE WITH ASTM A153.
  3. FRAMING LUMBER, NAILERS, AND BLOCKING SHALL BE OF THE FOLLOWING MINIMUM GRADE AND SPECIES FOR THE SPECIFIED USE.
  4. LUMBER WHICH IS SPLIT, CRACKED, NOTCHED, DRILLED, CUT OR OTHERWISE ALTERED OR DAMAGED SHALL BE IMMEDIATELY REJECTED AND NOT ALLOWED FOR USE, UNLESS OTHERWISE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER.
  5. USE FULLY NAILED METAL CONNECTORS. FILL ALL FASTENER HOLES WITH FASTENERS.
  6. THE NEW WOOD-FRAMED INFILL IS NOT DESIGNED TO SUPPORT ANY BUILDING LOADS.
  7. ALL PLYWOOD SHALL BE APA RATED AND CLEARLY STAMPED.
  8. DO NOT OVERDRIVE NAILS. NAIL HEADS MUST NOT BE RECESSED INTO PLYWOOD BEYOND 1/16" MAX.
  9. ATTACH PLYWOOD TO EACH MEMBER TO ACHIEVE THE FOLLOWING MINIMUM STANDARDS:
    - FASTENERS SHALL BE SPACED AT 4" O.C. AND PENETRATE THE CENTER OF EACH FRAMING MEMBER TO 1 3/4" MINIMUM DEPTH.
  9. CONTRACTOR TO VERIFY ALL DIMENSIONS. EXISTING MASONRY OPENING IS ±45" X ±88", USE ONE (1) PANEL OF PLYWOOD. EXISTING WINDOW OPENING IS ±28 WIDE X ±50" TALL, CUT PLYWOOD TO SIZE.

**4 BUILDING 460 – PENTHOUSE ENCLOSURE**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**5 BUILDING 460 – PENTHOUSE LOUVER**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



**5 POURABLE SEALER POCKET**  
 SCALE: 3"=1'-0"  
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



REVISIONS			STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
mark	date	description	drawing prepared by	date
X.X.X	X.X.X	X.X.X	GALE ASSOCIATES, INC. 703 HEBRON AVE. GLASTONBURY, CT 06033	12/03/19
			project ROOF REPLACEMENT AND WEATHER-PROOFING, 460 & 470 CAPITOL AVE HARTFORD, CT	scale AS NOTED
			drawn by JSD/ETH	approved by JMA
			drawing no. A507	