



Addendum No.: One

Date Of Addendum: January 7, 2019

CT DAS | Construction Services | Office of Legal Affairs, Policy, and Procurement
Bathroom renovations and ADA Upgrades
410 Capitol Avenue
Hartford, CT
BI – 2B – 400

Bid Due Date / Time:

1/16/2019

1:00 PM

TO: Prospective Bid Proposers:

This Addendum forms part of the "Contract Documents" and modifies or clarifies the original "Contract Documents" for this Project dated 9/14/18. Prospective Bid Proposers shall acknowledge receipt of the total number the Addenda issued for this Project on the space provided on Section 00 41 00 Bid Proposal Form.

Failure to acknowledge receipt of the total number the Addenda issued for this Project on the space provided on Section 00 41 00 Bid Proposal Form shall subject Bid Proposers to disqualification.

The following clarifications are applicable to drawings and specifications for the project referenced above. *Questions (Items 10-29) are transcribed verbatim from the RFI-s received.*

Item 1:

In Section 02 82 13 Asbestos Abatement, Paragraph 1.2 DESCRIPTION OF WORK

DELETE: Sub-Paragraphs B, C, D.

SUBSTITUTE:

- B. The results of laboratory analysis indicate asbestos-containing material (ACM) is present in the areas of the building to be renovated in this project. A complete listing of all suspect materials sampled, results of testing is documented in attached asbestos inspection reports. See also Floor Plans included in Section 05 80 00.1 2016 ATC Report Appendix B Drawings. Specifically the following materials have been determined to be ACM:
1. Joint Compound in gypsum board walls in Janitor's Rooms.
 2. 12"x12" Gray Floor Tile and Associated Mastic in all Janitor's Rooms.
 3. Mirror Adhesive (Presumed).
 4. Joint compound in gypsum board walls behind ceramic tile (Presumed).
- C. The scope of work includes the removal of ACM as part of building renovation. Coordinate locations and identity of building components or materials to be removed under this section with other sections of the Project Manual and contract drawings A0.02, A1.00, A1.01, P1.01, M1.01, and E1.01. Coordinate with Project Phasing as specified in section 01 11 00 Summary of Work, 1.5 Work Sequence.
- D. The scope of work in this section includes but is not limited to the removal of the following ACM:
1. Gypsum Board Wall at all locations where walls are demolished and where new penetrations are required. See A.1.00, P1.01, M1.01, A1.01.
 2. Gypsum wall board behind ceramic tile - on all walls called to have the tile removed.
 3. 12"x12" Gray Floor Tile and Associated Mastic at Janitors Closets West (all four floors), Floor Tile and Residual Mastic and Janitors Closets East (all four floors).
 4. Mirror Adhesive (Presumed) at all locations."

Item 2:

In Drawing A1.00, DEMOLITION LEGEND:

DELETE: Note 8

SUBSTITUTE: Note 8: Remove gypsum board wall and tile from floor to underside of deck. Asbestos Abatement required because of ACM presumed present in joint compound.

ADD: Note 19: Dimensions of cuts in walls are dimensions of finished construction. See A1.01.



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Item 3:

In Drawings A.1.00, A.1.01:

ADD: Cut new doors in the existing walls at Corridor East on 2nd, 3rd and 4th floors, for access to sprinkler valves in Janitor's Closets.

See 1/SKA-1, 2/SKA-1.

Item 4:

In Drawing A.3.01, DOOR SCHEDULE:

SUBSTITUTE: 3/SKA-1

Item 5:

In Drawing A.2.01, Detail 10 DF GUARD PANEL:

SUBSTITUTE: 4/SKA-1

Item 6:

In Drawing A.2.01, Detail 3.4 MEN'S ROOM WEST WALL:

SUBSTITUTE: 5/SKA-1

Item 7:

In Drawing P2.01:

ADD: Route new water piping through bathrooms to avoid additional ceiling demo work. See SKP-1.

Item 8:

In Drawing P2.02:

ADD: Insulate and heat trace 3" Drain pipe in lower level ceiling. See SKP-2.

Item 9:

In Drawing E2.01: GENERAL NOTES:

ADD: Provide 20 amp, 120 volt circuit (2#12+#12G) from first floor receptacle panel to pipe heat tracing in lower level ceiling. Provide new 20 amp GFI circuit breaker for new circuit.

Item 10:

Question: Is there a spec for the fritted glass panel next to the water cooler on the 1st floor?

Answer: Provide ¾" thick, clear laminated tempered glass with polished edges and ½" radius corners. See 4/SKA-1.

Item 11:

Question: What is the floor to bottom of deck height at each floor?

Answer: Floor-to-floor height is 12'-5" +/-, 4th floor-to-roof height is 13'-0" +/- (verify in field).



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Item 12:

Question: Can you please confirm the existing deck height?

Answer: see Answer to Item 11 above.

Item 13:

Question: Drawing E2.01:

- a. The light fixture over the sinks in the West Mens room on floors 2-4 indicates "B-2". This fixture does not appear on the lighting schedule. Please advise
- b. Storage rooms on the 2nd-4th floor indicate a Type "A" light fixture for the 3 lights within these rooms. This fixture does not appear on the light fixture schedule. Please advise.

Answer:

- a. The light fixture over the sinks in the West Men's room on floors 2-4 indicated "B-2" shall be "A-7".
- b. Storage rooms on the 2nd-4th floor light fixture indicated Type "A" shall be Type "B".

Item 14:

Question: Are we to include fees for building permit in bid?

Answer: No building permit fees required.

Item 15:

Question: On drawing A1.00 there is a note saying all demo work will be included even if it is not shown on drawing. We have no way of knowing if asbestos will be uncovered behind the walls and ceilings. Is it confirmed that the pipes do not have asbestos?

Answer: See Section 01 35 16 and 01 20 00 regarding requirements and unit prices if additional asbestos containing materials are encountered.

Item 16:

Question: Invitation to Bid (Spec 00 11 16) indicates that the walkthrough was mandatory, however the Pre-Bid Agenda indicates that it was recommended. Please confirm the invitation is correct and that the walkthrough was Mandatory.

Answer: Walk-through was Mandatory. Sign-in sheet attached to the Addendum.

Item 17:

Question: Specification 00 62 16.1 regarding the Asbestos Insurance, it indicates that the General Contractor is to carry this insurance. Since abatement is a licensed trade, there are few if any general contractors that would self perform this work. Would this insurance only be applicable to the contractor actually doing the abatement work or is this specification correct and the insurance is to be carried by the general contractor as well.

Answer: This insurance requirement to be applicable to the contractor doing the abatement work.

Item 18:

Question: Spec Section 00 41 00 2.9.1 Special Hazards Insurance:

If a subcontractor is performing the abatement scope and carries the asbestos abatement liability insurance is that sufficient? Or is the prime contractor required to have this coverage?

Answer: See Answer to Item 17 above.



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Item 19:

Question: On the door schedule door 1.5 calls out for the frame as existing. It is a new drywall. Are we using one of the removed frames or providing a new frame?

Answer: Provide new frame. See 3/SKA-1 for Door Schedule.

Item 20:

Question: 9/A2.01 shows insulation in the walls. However, in specification 072100 there are 3 different types of insulation specified. Please advise which type of insulation should be used.

Answer: Provide insulation specified in Section 07 21 00 Paragraph 2.03 SOUND ATTENUATION BATT INSULATION.

Item 21:

Question: Specification 061000 2.01 F.2 indicates that the Millwork vendor and installer is to be AWI QCP certified. It will be difficult to get the QCP contractors to bid this project due to the size of the millwork package. Can this requirement be waived as long as the millwork is built to QCP standards?

Answer: Yes, the requirement can be waived as long as the millwork is built to QCP standards.

Item 22:

Questions:

Regarding the art hanging rails:

- a. Specification 055000 2.03 calls for hanging rods while Drawing 6/A3.01 calls for hanging cables. Please advise which is correct
- b. Please indicate desired length of cables or rods.
- c. Please confirm if these rails are to go on the north and south corridor walls of 2nd-4th floor as well. The note on 2/A1.01 indicates to match wall finishes and does not mention these rails.
- d. Section 055000 3.01 D calls for 2 hanging rods per foot. Based on the linear footage from the elevations (figuring North and South as well on the 2nd-4th floor), there would be around 900 hangers. Please advise if this is the correct quantity that is desired.

Answers:

- a. Provide hanging cables.
- b. Length of cables: 2'.
- c. Provide rails on all walls.
- d. Provide 25 hanging cables per floor.

Item 23:

Question: Upon removal of the existing floor system, which prep shall be used prior to installing the new floor? Spec 093000 2.06 A indicates to use a filler recommended by the manufacturer, however there is also Spec 096510 which indicates to use a self leveler on the entire floor.

Answer: Use self leveler as per Section 9 65 10.

Item 24:

Question: Regarding the demo of the existing floor tiles, what is under the tile? Is it a mud job, if so how thick? Or is it thinset?

Answer: Thinset presumed.



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Item 25:

Question: In the men's rooms, Specification 102800 3.05 and floor plans show/indicate 3 mirrors in each room. However the elevations only show 2 mirrors. Please advise which is correct. If there are to be 3 please provide size for 3rd one.

Answer: 1'6" wide by 6' tall mirror, installed by the entry door, see location in plan 1/A1.01 and elevation 4/SKA-1.

Item 26:

Question: The wall mirrors are spec-ed to have z clips for hanging but the manufacturers will not mount z clips on them as the epoxy fails over time. Is there an alternate preferred hanging method?

Answer: The intent is to conceal mount the mirrors. Provide concealed mounting system as per manufacturer's recommendations.

Item 27:

Question: Regarding Specification 014523.13:

- a. There are several parts of this specification that make reference to Green Building and related credits. As far as we can tell this is not a LEED or CT High Performance Building project. Also majority of this specification seems to be written for new building construction. The only new equipment is 2 exhaust fans on the roof, the supply air is part of the existing system that is to [be] reused. Please confirm if this specification is needed or not.

Answer: This is not a LEED or CT High Performance Building Project. The specification is for air-quality testing for indoor air pollutant constraints.

Item 28:

Question: For the new roof top exhaust fans and curbs. What is the existing roof system: EPDM, PVC, ballasted, etc? Is it under warranty? If so, which manufacturer is it warrantied under?

Answer: Existing roof system is EPDM. Warrantee is 20 years, beginning date 12/05/2013. See attached warrantee Certificate.

Item 29:

Question: Detail 5 on A3.01 indicates that corner guards are to be a 2 piece system, wall clip with a snap on cover. Specification 097216 2.06 A indicates the same. However, basis of design Roppe Rubber accessory #19 is a single piece molded guard that glues directly to the wall. Johnsonite is the same. Pawling does offer the retainer and vinyl covers however there are multiple types. Please advise which product is correct, the single molded piece or the 2-piece system. If the 2-piece system is correct, please provide a basis of design with model number.

Answer: Provide 2- piece system with snap on cover. Use the following products as base of design: Pawling: CG-20 corner guards, and CG-11 end wall guards. Similar products by Wallguard: Series 2305 corner guards, and Wallguard Series 2320 end wall guards.

Item 30:

Substitution Request: CSI 1.5C Request Form Speedflow Plus M17 & Dyson Airblade V.

Substitution accepted for SpeedFlow Plus M17-ACS-UL (satin stainless steel) manufactured by Saniflow.

Item 31:

Specification Section 50.80 00:



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ADD: 50.80.00.4 EMSL Analytical, Inc. 12/13/2018: Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 method using Polarized Light Microscopy. 12/13/2018.

(attached to this addendum)

Attachments:

- Pre-Bid meeting Sign-in sheet.
- SKA-1
- SKP-1
- SKP-2
- EPDM Roofing System Limited Warranty
- EMSL Analytical Test Report

All questions must be **emailed** (not verbal or by phone) to the consulting Architect/Engineer (Mark A. Welch, Email: markw@oakparkarchitects.com) with copies sent to the DAS/CS Project Manager (Ashour Gevargisnia, Email: ashour.gevargisnia@ct.gov) and Construction Manager (Karen DePersia, Email: karend@csgroup-llc.com)

End of Addendum One

Mellanee Walton, Associate Fiscal Administrative Officer
State of Connecticut
Department of Administrative Services, Construction Services
Office of Legal Affairs, Policy, and Procurement
450 Columbus Boulevard, Suite 1302
Hartford, CT 06103



Bid Phase Meeting Attendance Log

DAS/CS Project Title:	BATHROOM RENOVATIONS & UPGRADE TO ADA		
DAS/CS Project No.:	BI-ZB-400	Meeting Purpose (insert "X" below):	
Date:	12/10/18	<input type="checkbox"/>	Pre-Bid Meeting
Meeting Start Time:	10:00 AM	<input type="checkbox"/>	Post Bid Review Meeting
Meeting Location:	410 CAPITOL BUILDING/HARTFORD	<input type="checkbox"/>	Other:

INSTRUCTIONS TO DAS/CS PROJECT MANAGER (delete these instructions after reading):

To Insert Information in the Header: Double-Click on the header with the left mouse button. Insert information.

To Activate E-Mail Addresses: After typing the e-mail address, press the space bar once.

To Add More Pages: Left-click (& hold) your mouse, drag the mouse over the boxes, then copy & paste onto a new page.

Name:	MIKE CLIFFORD	Title:	President
Company/Department:	BRD BUILDERS	E-mail:	mikeclifford70@gmail.com
Street:	2099 MAIN ST.	Phone:	860 706 0359
City/State/Zip	HARTFORD CT 06120	FAX:	860 727 1150

Name:	Pete Cappellino	Title:	Estimator
Company/Department:	J.A. Rosa Construction, LLC	E-mail:	pete@jarosa.com
Street:	17 Town Line Rd	Phone:	203-879-3495
City/State/Zip	Wolcott CT 06716	FAX:	N/A

Name:	Brian Flynn	Title:	PE
Company/Department:	BANTON CONSTRUCTION	E-mail:	SOLDMAN@BANTONCONSTRUCTION.COM
Street:	339 WASHINGTON AVE	Phone:	203-234-2353
City/State/Zip	No. HAVEN CT 06473	FAX:	203-234-0010

Name:	Nick Barone	Title:	Estimator
Company/Department:	Montegno Const	E-mail:	nbarone@montegno.com
Street:	75 Progress Ln	Phone:	203 597-9014
City/State/Zip	Waterbury, CT 06705	FAX:	

Name:	ERIC MATTERN	Title:	PM
Company/Department:	MATTERN CONSTRUCTION, INC.	E-mail:	eric@matternconstruction.com
Street:	26M BUSHWELL HOLLOW RD	Phone:	860-822-8457
City/State/Zip	BALTIMO, CT 06330	FAX:	



Bid Phase Meeting Attendance Log

DAS/CS Project Title:	BATHROOM RENOVATIONS & UPGRADE ADA		2 of 5
DAS/CS Project No.:	BI-2B-400	Meeting Purpose (insert "X" below):	
Date:	12/10/18	<input type="checkbox"/>	Pre-Bid Meeting
Meeting Start Time:	10:00 AM	<input type="checkbox"/>	Post Bid Review Meeting
Meeting Location:	410 CAPITAL AVE	<input type="checkbox"/>	Other:

AG

Name:	Richard DiLullo	Title:	Engineer
Company/Department:	QGL Consulting Engineers LLC	E-mail:	r.dilullo@qglinc.com
Street:	32 Maple Ave	Phone:	860-236-4288
City/State/Zip	Windsor, CT 06095	FAX:	

Name:	James Keeney	Title:	President
Company/Department:	Diversity Construction Group	E-mail:	estimating@diversitycg.com
Street:	531 Cortland Cir	Phone:	203-699-8887
City/State/Zip	Cheshire CT 06410	FAX:	

Name:	Kerri Versteeg	Title:	Property Mgmt. Liaison
Company/Department:	DAS - Fac. Mgmt.	E-mail:	Kerri.Versteeg@ct.gov
Street:	450 Columbus Blvd. Suite 1403	Phone:	860-713-5746
City/State/Zip	Hartford, CT 06103	FAX:	

Name:	IOANA BARAR	Title:	PA&J DESIGNER
Company/Department:	OPA	E-mail:	ioanab@opa-arde
Street:		Phone:	860 232 6664 x119
City/State/Zip	WEST HARTFORD 06119	FAX:	

Name:	Karen DePersia	Title:	OPM
Company/Department:	CSG	E-mail:	Karend@csigroup-llc.com
Street:		Phone:	860 876-0337
City/State/Zip		FAX:	

Name:	Jason LaFleur	Title:	OPM
Company/Department:	CSG	E-mail:	jasonl@csigroup-llc.com
Street:		Phone:	860 818-6712
City/State/Zip		FAX:	



Bid Phase Meeting Attendance Log

DAS/CS Project Title:	BATH ROOM RENOVATIONS & UPGRADE ADA	
DAS/CS Project No.:	BS-2B-400	Meeting Purpose (insert "X" below):
Date:	12/10/18	<input type="checkbox"/> Pre-Bid Meeting
Meeting Start Time:	10:00 AM	<input type="checkbox"/> Post Bid Review Meeting
Meeting Location:	410 CAPITAL AVE HARTFORD	<input type="checkbox"/> Other:

AG

15 mins. Late
SUB CONTRACTOR MECHANICAL

Name:	Malcolm Arnold	Title:	Owner
Company/Department:	Arnold Pkg & Piping	E-mail:	Malcolm.AA1@gmail.com
Street:	44 Van Buren Ave	Phone:	860-729-8973
City/State/Zip:	West Hartford, CT	FAX:	860-233-2509

Name:	ROEL LEGASPI	Title:	ESTIMATOR
Company/Department:	NOSAL BUILDERS, INC.	E-mail:	ROEL@NOSALBUILDERS.COM
Street:	85 FIELDSTONE COURT	Phone:	203-439-9320
City/State/Zip:	CHESTER, CT 06410	FAX:	

Name:	Jonathan Sygrave	Title:	Estimator
Company/Department:	Sarazin General Contractors	E-mail:	jsygrave@sarazin.com
Street:	6 Commerce Drive	Phone:	860-456-4576
City/State/Zip:	North Windham, CT 06256	FAX:	860-456-8937

Name:		Title:	
Company/Department:		E-mail:	
Street:		Phone:	
City/State/Zip:		FAX:	

Name:		Title:	
Company/Department:		E-mail:	
Street:		Phone:	
City/State/Zip:		FAX:	

Name:		Title:	
Company/Department:		E-mail:	
Street:		Phone:	
City/State/Zip:		FAX:	



Bid Phase Meeting Attendance Log

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AC

DAS/CS Project Title:		
DAS/CS Project No.:		Meeting Purpose (insert "X" below):
Date:		<input type="checkbox"/> Pre-Bid Meeting
Meeting Start Time:		<input type="checkbox"/> Post Bid Review Meeting
Meeting Location:		<input type="checkbox"/> Other: _____

Name: MARIC WELCH	Title: PRINCIPAL/MEMBER
Company/Department: OAK PARK ARCHITECTS, LLC	E-mail: markw@OAKPARKARCHITECT.COM
Street: 312 PARK ROAD	Phone: 860-232-6664 X112
City/State/Zip: WEST HARTFORD, CT 06107	FAX: 860-232-6121

Name: CHRIS CYKLEY	Title: V PRESIDENT
Company/Department: CONSTRUCTION SOLUTIONS GROUP	E-mail: CHRISC@CSGROUP-LLC.COM
Street: PO Box 271860	Phone: 203-206-1281
City/State/Zip: W. HARTFORD, CT	FAX: _____

Name:	Title:
Company/Department:	E-mail:
Street:	Phone:
City/State/Zip	FAX:

Name:	Title:
Company/Department:	E-mail:
Street:	Phone:
City/State/Zip	FAX:

Name:	Title:
Company/Department:	E-mail:
Street:	Phone:
City/State/Zip	FAX:

Name:	Title:
Company/Department:	E-mail:
Street:	Phone:
City/State/Zip	FAX:

Pre-Bid Meeting Sign-In

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AG

CT Project: BI-2B-400

Restroom Renovations and ADA compliance upgrades

12/10/2018

CONTRACTOR NAME BIDDER CONTACT	EMAIL	TELEPHONE
Richard DiIullo	rdilullo@qgline.com	860-236-4288
Frank Mastriano Holzner Construction 596 John Street Bridgeport, CT 06604	estimating@holznerconstruction.com	203-335-4204
Jon Stockford Pioneer Builders 336 Stamm Rd Newington, CT 06111	estimating@pioneerbuildersct.com	860-550-1137
Marcos Caminito Pioneer Builders 336 Stamm Rd Newington, CT 06111	marcos@pioneerbuildersct.com	860-818-8114
SCOPE CONSTRUCTION CHRIS ROSSIGNOL 416 SLATER RD. NEW BRITAIN, CT 06053	CROSSIGNOL@SCOPECONSTRUCTION.COM	860.832.8335
JON ADAMS Orlando Annulli & Sons 147 Hale Road Manchester, CT 06042	JONCANNULI.COM	860-644-2427
Jonathan Puglia G Donovan Associates 627 Route 32 North Franklin Ct	jonathan@gdonovan.com	860 642 0700 x35
RONALD STACY MILLENNIUM BUILDERS INC 5D WYWOOD ROAD ROCKY HILL, CT 06089	rstacy@mbdct.com	860.571.0555
RICHARD TERRELL DAS FACILITIES MANAGEMENT	RICHARD.TERRELL@G.GOV	860.713.5717

RED SHIELD WARRANTY



RED SHIELD ROOFING SYSTEM LIMITED WARRANTY

Warranty No: RO064936 FBPCO # AE5642 Square Footage: 63343 s.f.
Building Owner: STATE OF CT-DCS
Building Identification: 410-470 CAPITOL AVENUE-BI-2B-280
Building Address: 410-470 CAPITOL AVE., HARTFORD, CT, CT, 06106
Warranty Period Of: TWENTY (20) Years, Beginning On: 12/05/13
Roofing Contractor: SILKTOWN ROOFING INC (04832)

For the warranty period indicated above, Firestone Building Products Company, LLC ("Firestone"), an Indiana limited liability company, warrants to the Building Owner ("Owner") named above that Firestone will, subject to the Terms, Conditions and Limitations set forth below, repair any leak in the Firestone Roofing System ("System").

TERMS, CONDITIONS AND LIMITATIONS

- Products Covered.** The System shall mean only the Firestone brand roofing membranes, Firestone brand roofing insulations, Firestone brand roofing metal, and other Firestone brand roofing accessories when installed in accordance with Firestone technical specifications by a Firestone-licensed applicator.
- Notice.** In the event any leak should occur in the System, the Owner must give notice in writing or by telephone to Firestone within thirty (30) days of any occurrence of a leak. Written notice may be sent to Firestone at the street address or fax number shown on the reverse side of this Limited Warranty. Evidence of this notice shall be the receipt by Owner of a Firestone Leak Notification Acknowledgement. By so notifying Firestone, the Owner authorizes Firestone or its designee to investigate the cause of the leak.
- Investigation.** If upon investigation, Firestone determines that the leak is not excluded under the Terms, Conditions and Limitations set forth in this Red Shield Roofing System Limited Warranty (the "Limited Warranty"), the Owner's sole and exclusive remedy and Firestone's total liability shall be limited to the repair of the leak. Should the investigation reveal that the leak is excluded under the Terms, Conditions and Limitations, the Owner shall be responsible for payment of the investigation costs. Failure by Owner to pay for these costs shall render this Limited Warranty null and void. Firestone will advise the Owner of the type and/or extent of repairs required to be made at the Owner's expense that will permit this Limited Warranty to remain in effect for the unexpired portion of its term. Failure by the Owner to properly make these repairs in a reasonable manner using a Firestone-licensed applicator and within 60 days shall render this Limited Warranty null and void.
- No Dollar Limit (NDL).** There is no dollar limit placed on warranted leak repairs to the extent such repairs are covered by this Limited Warranty.
- Disputes.** Any dispute, controversy or claim between the Owner and Firestone concerning this Limited Warranty shall be settled by mediation. In the event that the Owner and Firestone do not resolve the dispute, controversy or claim in mediation, the Owner and Firestone agree that neither party will commence or prosecute any suit, proceeding, or claim other than in the courts of Hamilton County in the state of Indiana or the United States District Court, Southern District of Indiana, Indianapolis Division. Each party irrevocably consents to the jurisdiction and venue of the above-identified courts.
- Payment Required.** Firestone shall have no obligation under this Limited Warranty unless and until Firestone and the licensed applicator have been paid in full for all materials, supplies, services, approved written change orders, warranty costs and other costs which are included in, or incidental to, the System. In the event that repairs not covered by this Limited Warranty are necessary in the future, Firestone reserves the right to suspend this Limited Warranty until such repairs have been completed and the licensed applicator and/or Firestone has been paid in full for such repairs.
- Exclusions.** Firestone shall have no obligation under this Limited Warranty, or any other liability, now or in the future if a leak or damage is caused by: (a) Natural forces, disasters, or acts of God including, but not limited to, fires, hurricanes, tornadoes, hail, wind-blown debris, lightning, earthquakes, volcanic activity, atomic radiation, insects or animals; (b) Winds of peak gust speed at or in excess of 55MPH calculated at ten(10) meters above ground using available meteorological data; (c) Act(s), conduct or omission(s) by any person, or act(s) of war, terrorism or vandalism, which damage the System or which impair the System's ability to resist leaks; (d) Failure by the Owner to use reasonable care in maintaining the System, said maintenance to include, but not be limited to, those items listed on the reverse side of this Limited Warranty entitled "Building Envelope Care and Maintenance Guide"; (e) Deterioration or failure of building components, including, but not limited to, the roof substrate, walls, mortar, HVAC units, skylights etc.; (f) Construction-generated moisture, condensation or infiltration of moisture in, from, through, or around the walls, copings, rooftop hardware or equipment, skylights, building structure or underlying or surrounding materials; (g) Acid, oil, harmful chemicals, or the reaction between them; (h) Alterations or repairs to the System that are not completed in accordance with Firestone's published specifications, not completed by an approved contractor, and/or not completed with proper notice to Firestone; (i) The design of the roofing system: Firestone does not undertake any analysis of the architecture or engineering required to evaluate what type of System is appropriate for a building and makes no warranty express or implied as to the suitability of its Products for any particular structure; such a determination is the responsibility of the architect, engineer or design professional; (j) Improper selection of materials for the roof assembly or the failure to accurately calculate wind uplift and/or roof loads; (k) Deterioration to metal roofing materials and accessories caused by marine salt water, atmosphere, or by regular spray of either salt or fresh water; or, (l) Change in building use or purpose.
- Transfer.** This Limited Warranty shall be transferable subject to Owner's payment of the current transfer fee set by Firestone.
- Term.** The term of this Limited Warranty shall be for the period set forth above and such term shall not be extended under any circumstances.
- Roof Access.** During the term of this Limited Warranty, Firestone's designated representative or employees shall have free access to the roof during regular business hours. In the event that roof access is limited due to security or other restrictions, Owner shall reimburse Firestone for all reasonable cost incurred during inspection and/or repair of the System that are due to delays associated with said restrictions. Owner shall be responsible for the damage caused by, removal and replacement of any overburdens, superstrata or overlays, either permanent or temporary, excluding accepted stone ballast or pavers, as necessary to expose the system for inspection and/or repair.
- Waiver.** Firestone's failure to enforce any of the terms or conditions stated herein shall not be construed as a waiver of such provision or of any other terms and conditions of this Limited Warranty.
- Governing Law.** This Limited Warranty shall be governed by and construed in accordance with the laws of the State of Indiana without regard to that State's rules on conflict of laws.
- Severability.** If any portion of this Limited Warranty is held by a court of competent jurisdiction to be invalid, void or unenforceable, the remaining provisions shall nevertheless continue in full force.

FIRESTONE DOES NOT WARRANT PRODUCTS INCORPORATED OR UTILIZED IN THIS INSTALLATION THAT WERE NOT FURNISHED BY FIRESTONE. FIRESTONE SPECIFICALLY DISCLAIMS LIABILITY UNDER ANY THEORY OF LAW ARISING OUT OF THE INSTALLATION OF, PERFORMANCE OF, OR DAMAGES SUSTAINED BY OR CAUSED BY, PRODUCTS NOT FURNISHED BY FIRESTONE.

THIS LIMITED WARRANTY SUPERSEDES AND IS IN LIEU OF ALL OTHER WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, AND FIRESTONE HEREBY DISCLAIMS ALL SUCH WARRANTIES. THIS LIMITED WARRANTY SHALL BE THE OWNER'S SOLE AND EXCLUSIVE REMEDY AGAINST FIRESTONE, AND FIRESTONE SHALL NOT BE LIABLE FOR ANY CONSEQUENTIAL, SPECIAL, INCIDENTAL OR OTHER DAMAGES INCLUDING, BUT NOT LIMITED TO, LOSS OF PROFITS OR DAMAGES TO THE BUILDING OR ITS CONTENTS OR THE ROOF DECK. THIS LIMITED WARRANTY CANNOT BE AMENDED, ALTERED OR MODIFIED IN ANY WAY EXCEPT IN WRITING SIGNED BY AN AUTHORIZED OFFICER OF FIRESTONE. NO OTHER PERSON HAS ANY AUTHORITY TO BIND FIRESTONE WITH ANY REPRESENTATION OR WARRANTY WHETHER ORAL OR WRITTEN.

FIRESTONE BUILDING PRODUCTS COMPANY, LLC

By: Phil LaDuke

Authorized

Signature:

Title:

Director, Quality Assurance

Firestone



EMSL Analytical, Inc.

29 North Plains Highway, Unit # 4 Wallingford, CT 06492

Tel/Fax: (203) 284-5948 / (203) 284-5978

<http://www.EMSL.com> / wallingfordlab@emsl.com

EMSL Order: 241806451

Customer ID: ATCE54

Customer PO: 18-10133-0001

Project ID:

Attention: Ed Fennell
ATC Group Services LLC
290 Roberts Street
Suite 301
East Hartford, CT 06108

Phone: (860) 282-9924

Fax: (860) 282-9826

Received Date: 12/13/2018 12:10 PM

Analysis Date: 12/13/2018

Collected Date: 12/13/2018

Project: 2257318040/ 410 CAPITOL AVE HARTFORD, CT

Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
121218-1A 241806451-0001	Second floor right men's - gypsum board ceiling	Gray Non-Fibrous Homogeneous	5% Cellulose	95% Non-fibrous (Other)	None Detected
121218-1B 241806451-0002	Second floor right women's - gypsum board ceiling	Gray Non-Fibrous Homogeneous	4% Cellulose	96% Non-fibrous (Other)	None Detected
121218-1C 241806451-0003	Third floor left men's - gypsum board ceiling	Gray Non-Fibrous Homogeneous	4% Cellulose 5% Glass	91% Non-fibrous (Other)	None Detected
121218-1D 241806451-0004	Third floor left women's - gypsum board ceiling	Gray Non-Fibrous Homogeneous	5% Cellulose 2% Glass	93% Non-fibrous (Other)	None Detected
121218-2A 241806451-0005	Second floor right men's - joint compound ceiling	White Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
121218-2B 241806451-0006	Second floor right women's - joint compound ceiling	White Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
121218-2C 241806451-0007	Third floor left men's - joint compound ceiling	White Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
121218-2D 241806451-0008	Third floor left women's - joint compound ceiling	White Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected

Analyst(s)

Almedina Hodzic (6)

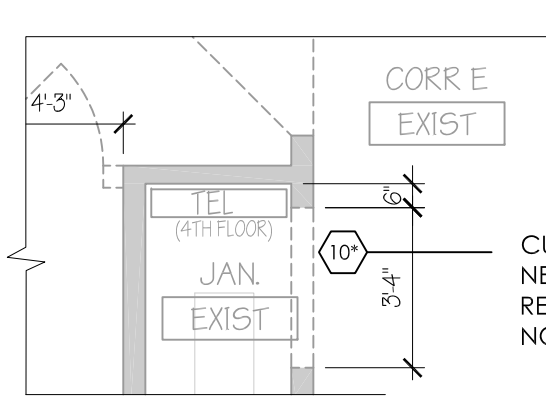
Lauren Butkus (2)

Almedina Hodzic, Asbestos Laboratory Manager
or Other Approved Signatory

EMSL maintains liability limited to cost of analysis. The above analyses were performed in general compliance with Appendix E to Subpart E of 40 CFR (previously EPA 600/M4-82-020 "Interim Method"), but augmented with procedures outlined in the 1993 ("final") version of the method. This report relates only to the samples reported above, and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. All samples received in acceptable condition unless otherwise noted. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. EMSL recommends gravimetric reduction for all non-friable organically bound materials prior to analysis. Estimation of uncertainty is available on request.

Samples analyzed by EMSL Analytical, Inc. Wallingford, CT NVLAP Lab Code 200700-0,

Initial report from: 12/13/2018 16:15:46



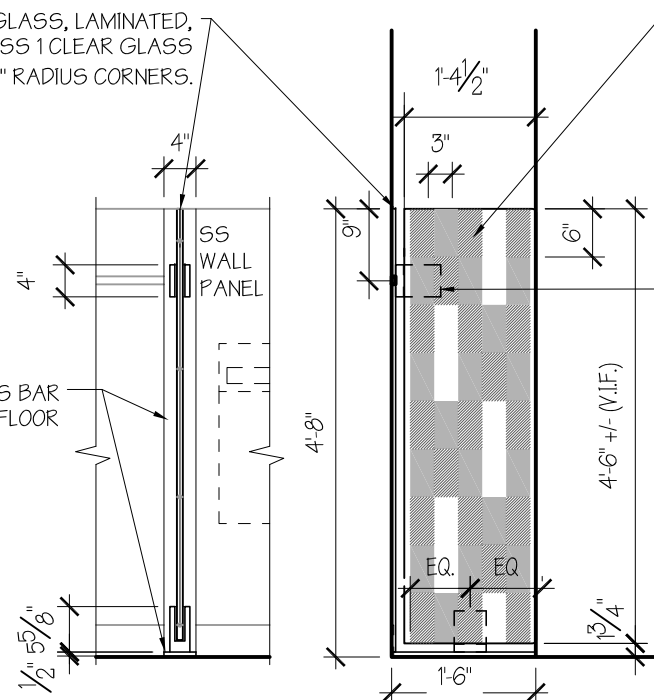
1 PARTIAL DEMO PLAN (2ND, 3RD, 4TH FLOOR)

SKA-1 SCALE: 1/4" = 1'-0"

3/4" THICK STRUCTURAL GLASS, LAMINATED, TEMPERED, CLASS 1 CLEAR GLASS WITH POLISHED EDGES, 1/2" RADIUS CORNERS.

CUT WALL FOR NEW 3' x 7' DOOR. REFER ALSO TO NOTE 10/A1.00.

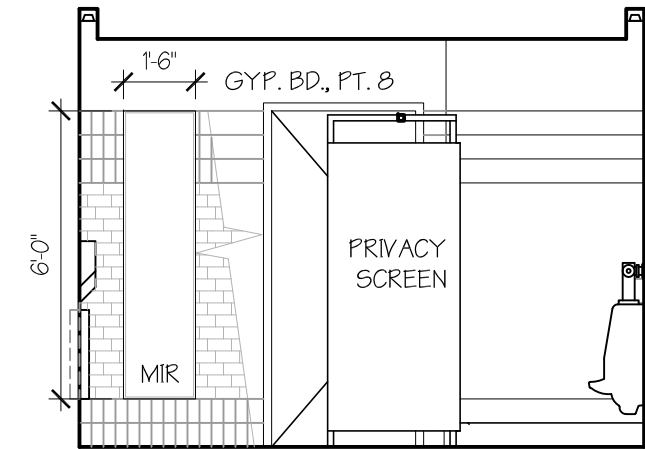
4" x 1/2" SS BAR FASTENED TO WALL AND FLOOR



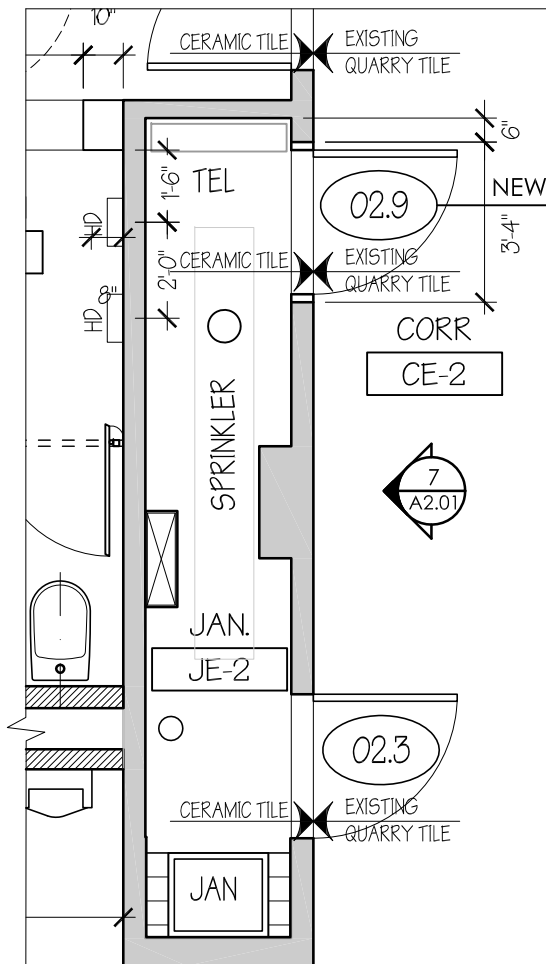
4 DF GUARD PANEL
SKA-1 SCALE: 1/2" = 1'-0"

DECORATIVE PATTERN PRINTED ON TRANSPARENT ADHESIVE PVC FILM, MOUNTED TO GLASS ON EXTERIOR SIDE. FILE PROVIDED BY ARCHITECT.

SS U-SHAPE BRACKETS, ON CONTINUOUS SS BASEPLATE, HDI SYSTEMS OPTIK POD RECTANGULAR OR SIMILAR. FLAT HEAD ALLEN DRIVE SS FASTENERS AT 16" O.C. PROVIDE SOLID, SECURED BLOCKING ATTACHED TO STUDS AT FASTENER LOCATIONS. NEOPRENE GASKETS BETWEEN GLASS AND BRACKETS AND BETWEEN BASEPLATE AND FLOOR TILE. ISOLATE MATERIALS TO PREVENT GALVANIC REACTION.



5 MEN'S ROOM ELEVATION
SKA-1 SCALE: 1/4" = 1'-0"



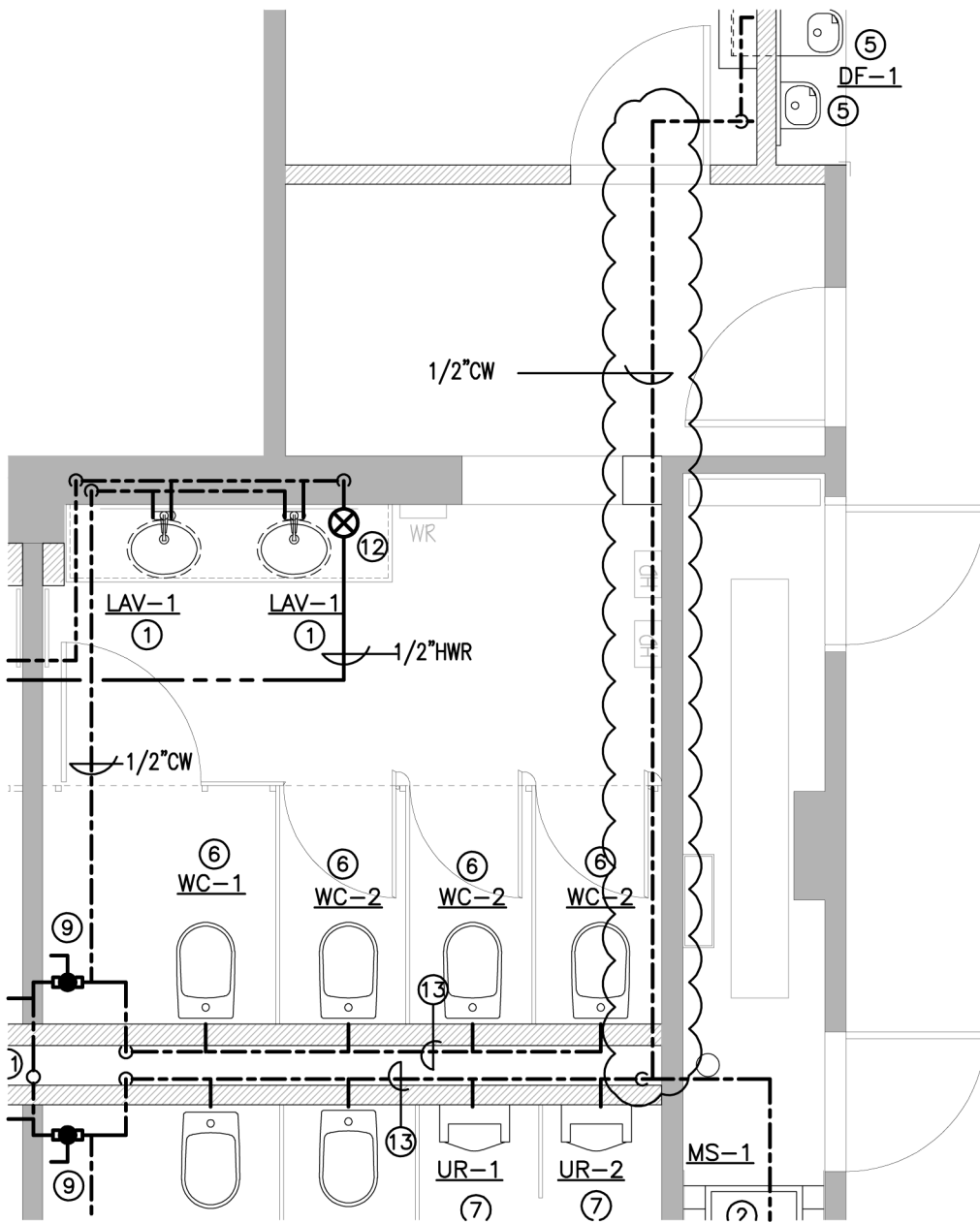
2 PARTIAL FLOOR PLAN (2ND, 3RD, 4TH FLOOR)

SKA-1 SCALE: 1/4" = 1'-0"

ROOM NAME & NUMBER	DOOR						FRAME						REMARKS		
	DR #	SIZE	MAT	TYPE	FINISH	LABEL	MAT	TYPE	FINISH	LABEL	JAMB	HEAD		SILL THRESH	HDW SET#
ALL FLOORS															
ME-1, 2, 3, 4	1.1-4.1	3'-0"X7'-0" *	HM	A	PT. 9	-	HM	EXIST	PT. 10	-	-	-	CT	4	PATCH FRAME AT REMOVED AUTOMATIC DOOR CLOSER
MW-1, 2, 3, 4	1.2-4.2	3'-0"X7'-0" *	HM	A	PT. 9	-	HM	EXIST	PT. 10	-	-	-	CT	4	REPAIR/PATCH FRAME
JE-1, 2, 3, 4	1.3-4.3	3'-0"X7'-0" *	HM	A	PT. 9	-	HM	EXIST	PT. 10	-	-	-	CT	2	REPAIR/PATCH FRAME
JW-1, 2, 3, 4	1.4-4.4	3'-0"X7'-0" *	HM	A	PT. 9	-	HM	EXIST	PT. 10	-	-	-	CT	2	REPAIR/PATCH FRAME
WE-2, 3, 4	2.5-4.5	3'-0"X7'-0" *	HM	A	PT. 9	-	HM	EXIST	PT. 10	-	-	-	CT	4	REPAIR/PATCH FRAME
WW-1, 2, 3, 4	1.6-4.6	3'-0"X7'-0" *	HM	A	PT. 9	-	HM	EXIST	PT. 10	-	-	-	CT	4	REPAIR/PATCH FRAME
BABY-1	1.7	3'-0"X7'-0" *	HM	A	PT. 9	-	HM	HM-1	PT. 10	-	J-1	H-1	CT	1	
STOR-2, 3, 4	2.7-4.7	3'-0"X7'-0" *	HM	A	PT. 9	-	HM	HM-1	PT. 10	-	J-1	H-1	CT	3	
LACT-1, 2, 3, 4	1.8-4.8	3'-0"X7'-0" *	WOOD	A'	CLEAR	-	HM	HM-1	PT. 10	-	J-1	H-2	CT	1	
JE-2, 3, 4	2.9-4.9	3'-0"X7'-0" *	HM	A	PT. 9	-	HM	HM-1	PT. 10	-	J-1	H-2	CT	2	PROTECT FLOOR QUARRY TILE AT CORRIDOR DURING WALL DEMOLITION.
WE-1	1.5	3'-0"X7'-0" *	HM	A	PT. 9	-	HM	HM-1	PT. 10	-	J-1	H-2	CT	4*	*REPLACE CONT. HINGE W/ 3 (HEAVY WEIGHT) T4A3386 4-1/2" x 4-1/2" U832D MK

MATCH EXISTING HARDWARE TYPE AND FINISHES. VERIFY HM FRAME DIMENSIONS IN FIELD. NEW DOORS AND FRAMES TO MATCH EXISTING. EXISTING DOORS TO BE REFINISHED: HM DOORS: PT 9. HM FRAMES: PT 10. WOOD DOORS: CLEAN ONLY.

3 DOOR SCHEDULE
SKA-1



TYPICAL SECOND, THIRD AND FOURTH FLOOR PLUMBING PARTIAL WATER PIPING PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTE:

LOCATE CW TO DF-1 ABOVE RESTROOM CEILING.

QGL CONSULTING
ENGINEERS, LLC

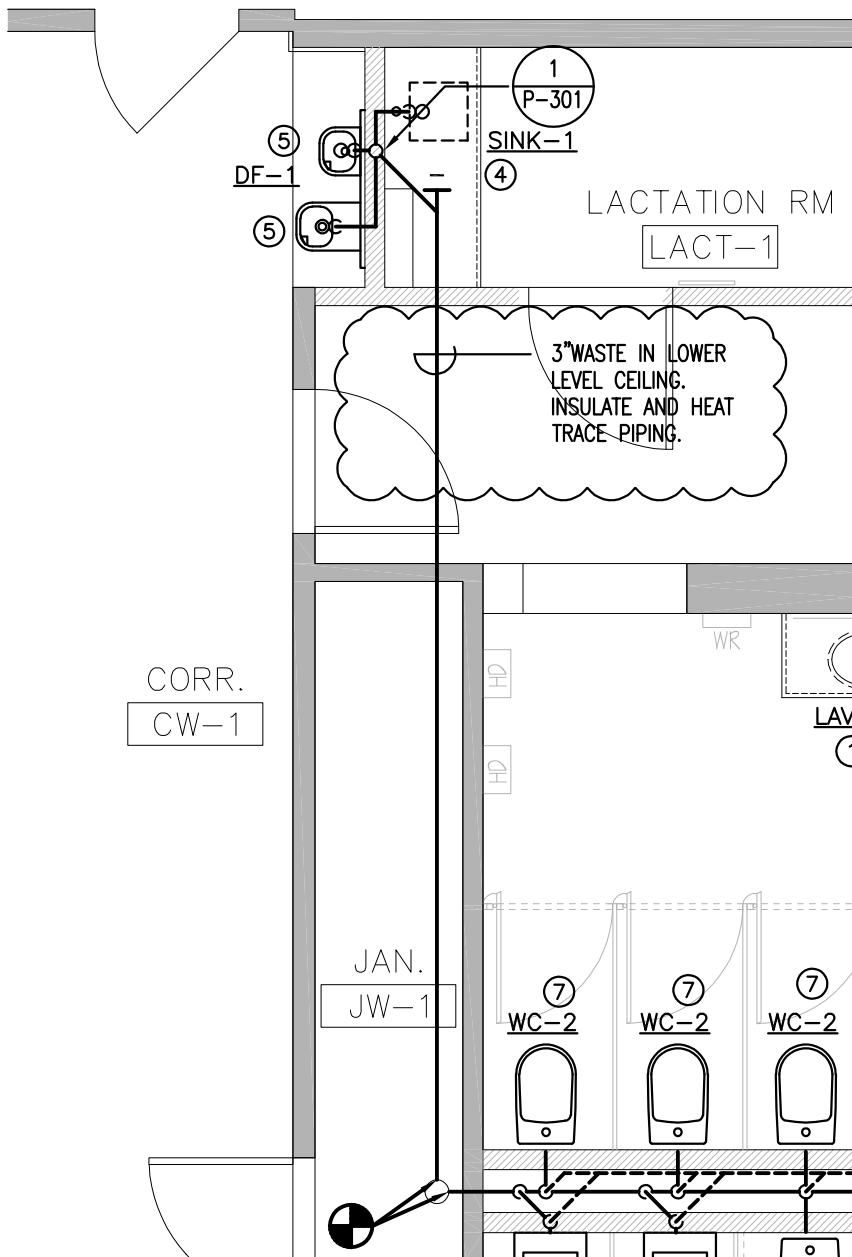
32 Maple Ave
Windsor, CT. 06095
TEL (860) 236-4288

ADDENDUM 1
BATHROOM RENOVATIONS
AND ADA UPGRADES
410 CAPITOL AVENUE, HARTFORD, CT
Project No. BI-2B-400

JANUARY 4, 2019

SKP-1

DRAWING REF: P 2.01



FIRST FLOOR PARTIAL DRAIN AND VENT PLAN

SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. INSULATE 3" DRAIN PIPE IN LOWER LEVEL CEILING WITH 1.5" FIBERGLASS PIPE INSULATION
2. HEAT TRACE 3" DRAIN PIPE IN LOWER LEVEL CEILING WITH 5 WATT/FOOT HEAT TRACE CABLE. HEAT TRACE TO BE EQUAL TO RAYCHEM 120 VOLT, BTV, CABLE SHALL BE PROVIDED WITH CONNECTION AND TERMINATION KIT AND AMBIENT SENSING THERMOSTAT. THERMOSTAT SHALL ENABLE CABLE WHEN AMBIENT SPACE IS BELOW 35°F
3. HEAT TRACE SHALL BE AS MANUFACTURED BY RAYCHEM, CHROMALOX OR EMERSON

QGL CONSULTING
ENGINEERS, LLC

32 Maple Ave
Windsor, CT. 06095
TEL (860) 236-4288

ADDENDUM 1
BATHROOM RENOVATIONS
AND ADA UPGRADES
410 CAPITOL AVENUE, HARTFORD, CT
Project No. BI-2B-400

JANUARY 4, 2019

SKP-2

DRAWING REF: P 2.02