



Addendum No.: 6

Date Of Addendum: February 14, 2017

CT DAS • Construction Services • Process Management and Procurement Unit

PHASE 1B ENHANCEMENTS  
SILVER SANDS STATE PARK  
MILFORD, CT  
BI – T – 604

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Original Bid Due Date / Time: February 1, 2017 1:00 pm

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Revised Bid Due Date / Time: February 22, 2017 1:00 pm

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Previous Addendums: Addendum #5 dated 1/31/2017, Addendum #4 dated 1/27/2017, Addendum #3 dated 1/24/2017, Addendum #2 dated 1/13/2017, Addendum #1 dated 1/3/2017

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**TO: Prospective Bid Proposers:**

This Addendum forms part of the "Contract Documents" and modifies or clarifies the original "Contract Documents" for this Project dated 11/28/2016. Prospective Bid Proposers shall acknowledge receipt of the total number the Addenda issued for this Project on the space provided on Section 00 41 00 Bid Proposal Form.

Failure to acknowledge receipt of the total number the Addenda issued for this Project on the space provided on Section 00 41 00 Bid Proposal Form shall subject Bid Proposers to disqualification.

The following clarifications are applicable to drawings and specifications for the project referenced above.

**Item 1**

**QUESTION:** Drawing A401 "Enlarged Maintenance Building Toilets shows benches but no specs or detail. Please clarify.

**RESPONSE:** Provide 36" X 20" X 19" high ADA locker room bench. Bench material shall be hardwood with (4) four painted steel pedestals. Typical for (2).

**Item 2**

**QUESTION:** According to Spec 095123 pages 6 & 7, the ceilings are 1-1/2" pre-gasketed aluminum grid. W/ a NYC style pencil rod suspension system. Please clarify that this is the design intent as opposed to a standard wire hung 15/16" grid. Please advise.

**RESPONSE:** 1 1/2 " gasketed grid with hanger rods as specified in section 09123 can be substituted for a 15/16" aluminum grid system installed per ASTM C635 using a minimum 12 gauge wire hangers.

**Item 3**

**QUESTION:** Refer to Grading Plans 1 thru 5, none of these drawings have the existing contours "labeled".

1. Refer to Topographic Survey Plans 1 thru 4 of which the existing contours are labeled but there is no scale bar necessary to confirm, locate and digitize plans for electronic takeoff.
2. Refer to Topographic Survey Plan 1 which the scale is 1 in equals 40, upon attempting to cross reference Grading Plan 1 (which DOES have a scale bar within the plan) it was found the properties of Topographic Survey Plan 1 was in fact at a scale different that stated on the plan (1 in equals 36.78 feet) versus what is stated on the plan as being 1 in equals 40 feet. Based on the complexity of the project one should be able to use the GRADING PLANS to determine the earthwork necessary to complete the project versus attempting to use the Topographic Survey plan with different non-conforming match lines to the other plans within the bid package. Please correct.
3. Refer to C-1 Site Material Plan 1 of 7 and DT-4 Site Details "Bituminous Walk" what is the thickness of the proposed Stone Chip Aggregate, Asphalt Primer, and Bituminous Class II as shown on the cross section.
4. Refer to G-2 "Grading, Drainage & Utility Plan" and LY-2 "Layout Plan 2 of 7" note the existing Layout Plan states the existing Roadway is to be replaced and a new roadway is to be installed yet the Grading Plan(s) do not show



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any existing grades or proposed finish grades, please help the bidders in determining proposed earth cuts and fills, demolition of existing roadways, possible salvaging and reuse of existing paved roadways etc.

**RESPONSE:**

1. The topographic survey plans are at 1" = 40' scale. See title block.
2. See Item 11.
3. 2" Bituminous class II, emulsified asphalt placed at 0.4-0.50 gallons per square yard, 3/8" stone applied at 20-25 pounds per square yard.
4. See Item 11.

**Item 4**

**QUESTION:** Refer to the following plans EC-1 Site Preparation Plan, G-1 Grading, Drainage & Utility Plan, LY-1 Site Layout Plan and C-1 Site Materials Plan, in all cases the westerly portion of the existing roadway does not show limits of construction for the proposed pavement edge roadway but just show an "incomplete" drawing at this point. Since new work is to take place here please furnish proper drawing(s) showing the actual construction limits here.

**RESPONSE:** See Item 11

**Item 5**

**QUESTION:** Refer to Drawings G-2 Grading, Drainage & Utility Plan 2, EC-2 Site Preparation Plan 2 and C-2 Site Materials Plan 2. On Drawing G-2 the proposed Gas Line and UGC is shown but Drawings EC-2 and C-2 do not show work on any kind for the Gas Line & UGC running North Northwest to South Southeast please clarify.

**RESPONSE:** Drawing G-2 shows utility work, EC-2 is for erosion control and C-2 is for materials. G-2 shows the utilities correctly.

**Item 6**

**QUESTION:** Refer to Drawing G-3 Grading, Drainage and Utility 3 of 5, there are Proposed Grades shown on this drawing however the existing grade(s)/ contours elevations are not shown throughout the work area(s) on this drawing. Due to the reconstruction of the existing main gravel road and portions of a "loop" road between the two main parking lots which are to be paved it is imperative we have a "completed" functional grading plan that shows both existing and proposed grades so an accurate earth work take off can be prepared for our bid.

**RESPONSE:** See item 11.

**Item 7**

**QUESTION:**

1. Refer to Drawing EC-3 Site Preparation Plan 3 of 5, we have several questions related to the work to take place as shown of this plan;
  - a. Please Explain the Topdressing requirement for the existing gravel parking lots, the thickness of the ¾ in processed aggregate stone is to be 1 inch +/- shouldn't this work be measured by the ton instead of being part of the lump sum price, the area is approximately 14,000 SY the range of material needed is +/- 1,000 to 1,300 tons
  - b. On the same plan EC-3 there are several area's labeled "Endangered Grasses" but no action is described please advise.
  - c. There is a Note on the same plan that states "Trim back vegetation and remove invasive species. Install Wet Meadow Seed Mix in areas where invasive species have been removed. This work should be by the unit price at it is impossible to determine the quantity of invasive species that will be encountered and the replacement with wet meadow seed mix.
2. Can you provide a detail for any reinforcing for 8" CMU back-up at the new maintenance building? It doesn't call for any on the arch drawings and there are no structural drawings to reference.

**RESPONSE:**

- 1.

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- a. The intent is to fine grade the parking lot to insure that it drains to the existing ditches, removing any soil that has accumulated along the edge of the ditch over the years. Provide the 1" of topdress as shown on the plans and spread it to fill in low spots as required.
  - b. The contractor is to relocate the endangered species as defined by CT DEEP. See note 11.
  - c. For the purposes of the bid, assume that 50% of the areas so designated will require this treatment.
2. See detail 10 on sheet 502.

**Item 8****QUESTION:**

1. Based on the drawings it appears that the roof trusses and building framing materials (other than the maintenance building) are heavy timber. Could you please confirm that these are to be heavy timber and provide more information on these materials such as the following:
  - a. Material/grade?
  - b. Finish?
  - c. Are they to be pressure treated?
  - d. Are the connection plates to be stainless steel?
2. I have the following questions in regards to the fiberglass doors:
  - a. The door schedule has fiberglass doors on some buildings but not others. Is this correct?
  - b. The frame details shown are typical hollow metal jambs and not the wood frames described in the fiberglass door spec section 081613. Please advise which we are to provide?
  - c. The fiberglass door spec does not describe the model of the doors required only the manufacturers and the manufacturers are residential type fiberglass doors (i.e., thermatru). Similar projects to this typically use special-lite, chem-proof, or tiger door for public access fiberglass doors on the beach. Please advise if the manufacturer's listed in the spec are correct and if so please provide a model number. If not, please provide a manufacturer and model number for the door that we should provide.

**RESPONSE:**

1.
  - a. T.B.D by Truss Engineer
  - b. Stained as per 09 93 00
  - c. As per U1-16 AWPA
  - d. Galvanized
2.
  - a. Correct. Swing doors in maintenance building are hollow metal.
  - b.
  - c. For all fiberglass doors, provide fiberglass frames.
  - d. Fiberglass doors and frames shall be commercial grade and not residential type of doors. Manufacturers listed in specification are not limited to that listed.  
Other manufactures would be as follows:
    - a.) Tiger Door - Heavy Duty Door and FRP Frame
    - b.) Metropolitan Door Industries - Commercial Fiberglass Doors & Frames, W.D. 1/31/17

**Item 9**

**QUESTION:** The maintenance building elevations (A-205) show the building as receiving stone veneer around the perimeter. However, the wall sections on drawing A-310 indicate split face block. Please advise which is correct?

**RESPONSE:** The split face block is correct.

**Item 10****QUESTION**

1. Spec section 06100-00 paragraph 2.3 does not specify actual preservative retention. UC3B would be above ground, UC4A for ground contact. Please clarify AWPA C2? Otherwise, the lumber yards are recommending UC4B or UC3B treatment. Please advise.
  1. In regards to the Pile replacement detail 1 on DTY-6. As far as we can tell there is no way to determine how many times we are doing the pile replacement. The decking/pile cap replacement quantity is detailed on CP-1, but this page shows nothing of piles being replaced.

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2. In regards to the structures wall/roof framing and sheathing. It is unclear if these framing members need to be preservative treated as they will not be exposed to the weather. It would seem that these be PT since they could be exposed to the elements, but it is unclear if so.
3. The vertical gable trim material is not clearly defined as to what it is. I assume a cedar product, but not sure if T&G, etc.
4. In regards to the structural wood posts. As these are exposed to weather and both a structural and trim element the species of the wood is not clear. I.e., Are they cedar or are they preservative treated lumber?

**RESPONSE:**

1. Provide AWWPA category UC& B or use 3B.
2. There are four (4) locations where this is needed.
3. Concealed framing members (wall studs and roof rafters/ purlins). Do not need to be pressure treated.
4. All exterior trim and T&G soffits shall be cedar.
5. The posts are to be southern pine #2 or better. They are to be preservative treated. E.L. 1/31/17

**Item 11**

Existing grades elevations have been turned on. Replace drawings G-1 thru G-5.

**Item 12**

**QUESTION:** 1. Please confirm the extent, (how many trees and where the trees are located), that require the 8"x8" square timber post as tree protection. Is it only newly planted trees that are within the limit of the turf reinforced parking area or is also newly planted trees in the vicinity of the turf areas, around areas that have bituminous paving, or at concrete areas as well?

**RESPONSE:** The tree protection is only for the new turf reinforced parking area.

**QUESTION:** 2. In specification section 323130 vegetation protection fencing the stakes for the sand fencing are noted as 8' long black locust posts. Can alternate post materials be used?

**RESPONSE:** Yes, alternate posts can be used.

**QUESTION:** 3. Please confirm the number of new double leaf access gates which are required on drawing C-3.

**RESPONSE:** There are 5 gates.

**QUESTION:** 4. The sectional overhead doors are listed as fiberglass material on the A-601 window and door schedule the specifications has noted the sectional doors as steel. Please clarify whether steel or fiberglass is the correct material for the overhead doors.

**RESPONSE:** Provide steel doors per specification.

**QUESTION:** 5. The sectional overhead doors are shown on the A-601 door and window elevations as having windows in them. The elevation views of the sectional doors on drawing A205 show the 12' x 12' doors with windows in them and the 10' x 10' door without windows in them. Please provide clarification on which doors have windows in them.

**RESPONSE:** Provide windows in all OH doors.

**QUESTION:** 6. Please confirm if a unit price is required for new timber piles? In addendum #2 bid proposal form page 8 notes that contractor provided unit prices are not needed for this project. In addendum #2 the treated timber piles section page 10 there is a statement that conflicts that. It says "If the total aggregate footage is over or under the base quantity the additional footage shall be paid to the Contractor or the deducted footage shall be credited to the Owner on the basis of the unit prices indicated in specification section 01 02 00. Can you please clarify if the unit prices are required?"

**RESPONSE:** Yes unit prices are required for timber piles.

**QUESTION:** 7. On drawing M-101 the concession building shows that there are two 16 x 12 connection points for a kitchen hood. There is not a specification section for kitchen equipment. On the same drawing keyed note 1 says exhaust hood location and size to be coordinated with kitchen consultant. Please confirm that the contractor has no obligation to furnish or install any kitchen equipment including the kitchen hood.

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**RESPONSE:** The hood is not included in this project.

**QUESTION: 8.** The structural design drawings do not appear to show the concrete foundations for the ticket booths. Please provide details for the foundation for the two ticket booths.

**RESPONSE:** See detail 3 on A-103.

**QUESTION: 9.** The seamless quartz flooring appears to be applied directly over a plywood sub floor. Please confirm that this is an acceptable condition and a barrier is not required between the plywood and the epoxy.

**RESPONSE:** A barrier is not required. Prepare and install plywood per floor manufacturer recommendations.

**QUESTION: 10.** On drawing A-601 the finish schedule lists the stains, paints, and epoxies that will be used on the project. One of the columns for the ceiling is called exposed structure. The rooms marked underneath this column are the ticket booths, garage, workshop, storage, and mechanical equipment room. Please confirm that these areas do not receive any finishes.

**RESPONSE:** The exposed ceiling constructed in ticket booths are to be stained the same as walls. The rooms in the maintenance building shall receive no additional painting required other than what is specified in Section 13 12 50.

**QUESTION: 11.** On drawing C-4 existing boardwalk decking replacement is noted. Please confirm the linear feet of boardwalk being replaced?

**RESPONSE:** The entire length from the north end until it meets the existing composite deck to the south, (near existing wetland crossing).

**QUESTION: 12.** On drawing G-1 it shows a new gas service by S.C.G. Will the utility company or the contractor be responsible for trenching and backfill for the gas service pipe? Also who will be responsible for any fees associated with S.C.G.?

**RESPONSE:** The contractor will be responsible for trenching and backfill. Service connection fees will be the State's responsibility.

**QUESTION: 13.** In Addendum #3 item 29 there is a question in regards to who is responsible for providing the electrical work and who is responsible for paying for this. It was determined that the overhead line work is to be performed by the utility and the underground work will be performed by the contractor. In regards to the cost of this it was not noted who was responsible for the cost. Please clarify who is responsible for paying for any fees associated with the electrical work.

**RESPONSE:** The utility is responsible for the work they are doing.

**QUESTION: 14.** On drawing G-1 there is a note that says connect to existing 8" water main in street, provide shut off valve. Who is responsible for the fees associated with tying into the water main in the street?

**RESPONSE:** See previous response on water tap question.

**QUESTION: 15.** On drawing A-311 detail "A", the notes show the insulation that is required for the floor, walls and roof for the first aid building, concession and family rooms in the bathhouse. The other details on the page do not reflect the information in Note 1 for detail A. The other details either omit insulation in the floor, walls, or roof. Can you please provide clarification as to what insulation is required in what part of each building?

**RESPONSE:**

- a. Eliminate note no. 2 on detail/ section A. Provide ¾" exterior plywood sheathing on all buildings.
- b. Walls and floors in the first aid and concession building and only the family room in bathhouse building are to receive R-21 minimum batt insulation.
- c. Buildings and rooms that are insulated shall receive a combination of batt and rigid foil faced fiberglass board insulation.

**QUESTION: 16.** The geotechnical report notes that there is existing unsuitable material for structural support in the maintenance building and ticket booth foundations. That material needs to be removed and replaced with suitable material to an elevation below the water table requiring dewatering around the foundation areas. Please confirm the procedure required for discharging the water removed from these excavation areas.

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**RESPONSE:** If encountered, water would need to be filtered to remove sediment prior to discharge.

**QUESTION:** 17. In addendum #3, item 2 a question was asked about how to drive the piles that could not be reached without entering the wetlands. The answer to the question was "Construction will have to occur from the top down for the construction of the boardwalk segment". Please provide the acceptable methods of getting the crane into the wetland area in order to reach all of the locations that require piles? Infringement into the wetlands area will be required in some form in order to perform this work.

**RESPONSE:** A crane will not be able to enter the wetlands, (see DEEP permit special conditions). A rubber tired vehicle will need to drive piles from the newly constructed boardwalk.

**QUESTION:** 18. Drawing LY-5 shows the road being widened by as much as 4' in some areas and as little as 1' in some areas. The drawing does not show the existing drainage swale that is on both sides of the roadway. Can you please provide clarification if the drainage swales will need to be relocated in order for the road to have enough space to be widened?

**RESPONSE:** It is not anticipated that the drainage swales will need to be relocated.

**QUESTION:** 19. On Drawing DT-4 detail number 2, could you please provide the thickness of the class 2 bituminous concrete?

**RESPONSE:** See Item 3, response 3.

**QUESTION:** 20. Due to the deterioration of the existing bituminous concrete walkways there is no longer a chipped surface to make out color and size of the existing stone aggregate. Please provide the color and size for the bituminous concrete sidewalk aggregate so that we can match the existing with the newly poured?

**RESPONSE:** Contractor to provide a sample during construction for approval. See previous response on bituminous sidewalk.

**QUESTION:** 21. The drawings show detectable warning strips in multiple locations throughout the park. Please provide a detail for installing the detectable warning strips in the bituminous concrete sidewalks?

**RESPONSE:** Ramps with detectable warning strips will need to be concrete. See SK-1.

**QUESTION:** 22. Is the contractor or utility company responsible for supplying and installing the meter pit and the water meter?

**RESPONSE:** The contractor is responsible.

**QUESTION:** 23. Who is responsible for the water main taps, the contractor or the utility company?

**RESPONSE:** The contractor is responsible for the water main taps but will need to use the water company's approved contractors.

**QUESTION:** 24. Please provide a specification for all door hardware required for the sliding wood doors located in the bath house, (BH-1, BH-4, BH-8, and BH-11).

**RESPONSE:** Provide barn door hardware as indicated in detail 9, "Pull Handle" (A-501) and detail 11, "Door Guides" (A-501). Hardware includes door stops, door hanger, door roller and box rail.

**QUESTION:** 25. Drawing A-501 detail 13 shows the elevation view for the metal railings located on the deck structure. This detail shows the metal railing panel insert having a diagonal crossing pattern. Can the insert be changed from a diagonal crossing pattern to a vertical and horizontal crossing pattern?

**RESPONSE:** Provide diagonal pattern as shown.

**QUESTION:** 26. The windows are specified to be built with FSC rated lumber. Is the FSC rating for windows required or can non FSC rated materials be used for the windows? Also, the lumber that is being used for rough carpentry work is not noted in the specifications as being FSC rated wood. Please confirm if this lumber requires FSC rating?

**RESPONSE:** As project is not LEED certified, there are no requirements for FSC rated material.



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**QUESTION:** 27. Specification section 01 11 00 page 2, item G notes that "work includes but is not limited too" and lists 14 items. Three of the items listed are a visual display board, roller shades and a kitchen hood. There are no specification sections or details for these items. Please clarify the requirement for these items.

**RESPONSE:**

**QUESTION:** 28. Please provide a detail for existing pavement marking removal, (ie. Blacked out, grinding....).

**RESPONSE:** Blacking out existing pavement markings is acceptable.

Item 13

**QUESTION:**

1. Please verify if aluminum clad wood windows are acceptable in addition to the specified vinyl clad, (section 085200). Pella Windows is specified as an acceptable manufacturer of windows but does not manufacture vinyl clad windows.
2. Please confirm that there are no contract allowance sums to be included in the contractors bid. (section 012000, 1.3.C.5, "Allowance schedule: section N/A", was removed in the issuance of addendum #2 section 012000).
3. Please quantify the extent and type of existing invasive species to be removed,(reference drawing EC-3).
4. Please confirm the design load requirements for 30psf dead load in addition to 30psf snow load on the pre-engineered metal building, (section 131250, 2.3.B.1). Also, please confirm the maximum deflection limits noted in 2.3.B.2 and 2.3.B.3.

**RESPONSE:**

1. Aluminum clad wood windows are acceptable as long as the finish is appropriate for coastal locations.
2. There are no contract allowances.
3. For the purposes of this bid assume half of the area designated for removals is included.
4. Confirmed loads. All deflections confirmed; except metal roof panels, use L/360.

Item 14

**QUESTION:**

1. There are two different wind speed requirements listed in the document, 110 mph and 120 mph.
2. Roof type - there is conflicting information. Is it standing seam or EPDM with a ballasted system?
3. E104 shows a standing seam roof & supporting docs are fine. However, E503 shows EPDM roof w/ ballast blocks & no roof plan. Additionally, there what appears to be a solar thermal diagram. Please clarify?
4. Racking - Is there a spec-ed racking system for reverse pitch or standard slope?
5. PV panels - 255 W panels are a bit obsolete and may even be difficult to find. In the final analysis, I believe you are looking for approximately 40,000 kWh of annual yield from the system. Would you consider attaching an expected yield to the project docs and let the contractor (us) propose a system that best meets your expectations. For instance, on this project, I think we can use less (panel qty) higher wattage, more efficient panels, all located on the southerly facing roof, and eliminate the reverse pitch racking. & most likely not increase cost. Structuralists may dictate point loads: Please comment or clarify.
6. Rapid shutdown went into effect Oct.1/16 as a code requirement I don't see this addressed in the line drawings. Please advise. Solar Edge Optimizers will work & complies w/ rapid shutdown or Enphase micro inverters do the same. Please comment.
7. NFPA is another consideration & requires a 4' perimeter in the event of fire. Has that been factored into this plan? Is there a solar thermal element to this project? I see a diagram for Heat Trace installation but no other solar thermal elements.

**RESPONSE:**

1. 120 mph
2. Split Seam Roof
3. Nothing specified for the reverse pitch racking, please provide racking as necessary.
4. PV System shall have 32kVA power capacity. Fewer, higher wattage, more efficient panel will be preferable. Please provide.
5. PV System shall have Rapid Shutdown. Solar Edge Optimizers are acceptable as long as they comply with Rapid Shutdown.
6. No, however, please take into consideration all code requirements.
7. No, the electric heat trace is not a solar element.



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Item 15

**QUESTION:**

1. Two notes on A105 indicate that the floors of the two family rooms are to receive R-30 batt insulation: are those the only areas of the Bath House to receive floor insulation? Page A302 refers to sections A/A311 and D/A311 which both show floor insulation in areas of the floor plan which are outside of the family room areas?
2. Section A/A311 note 1 specifies batt insulation in the walls, floor, and roof of first aid and concession bldg. (not bath house). Section C from the same page identifies ext. wall insulation where indicated on plans, but there is none indicated on the plans for the bath house. Section D ext. walls refers back to Section A. Is it correct to assume that the only insulation for the bath house in the floor and ext. walls of the Family Rooms?
3. The site layout drawings legend has processed aggregate parking aisles listed with a symbol but the symbol has no hatching and is blank. Is this correct? Please advise.

**RESPONSE:**

1. Yes, only the family rooms in the bathhouse are insulated -- floor, walls, ceiling, roof.
2. Yes.
3. The aisles in the parking area are processed aggregate.

Item 16

**QUESTION:** Please clarify several issues regarding the work shown for the widening on plan sheet LY-1 where there is a note stating 1' +/- road widening, yet on plan sheet C-1 Site Materials Plan there is a note specifically stating "to avoid installing "narrow" slivers of asphalt, 1' is the average per drawing, it is our opinion that 1' of asphalt road widening is a sliver of asphalt that will possibly be a shearing issue in the future were as the narrow widening will open up at the joint. Please verify that we will be bidding this per plan and not responsible for shearing issue in the future.

**RESPONSE:** Bid the work per the plan.

Item 17

**QUESTION:**

1. The architectural drawings show deck mounted bollards at each of the buildings. Please provide a specification.
2. Please confirm what type of nails are to be used for the deck structure and simpson brackets. Some details indicated stainless steel and others indicate galvanized.
3. There is not a dedicated specification for timber trusses. Please confirm the material is to be by the Rough Carpentry specification and if stamped engineering shop drawings will be a required submittal.
4. The composite decking specification and structural drawings have conflicting information regarding the installation of the decking. The structural drawings are calling for a composite hidden deck anchor and glue while the specification is indicating both exposed fasteners, stainless steel hidden fasteners and no glue. Please confirm which installation assembly is correct.

**RESPONSE:**

1. All bollards on deck around first aid and concession building shall be schedule 40 pipe with HDPE plastic cover.
2. Deck uses EB-TY hidden deck stainless steel fasteners, brackets use galvanized.
3. The material is TBD by the truss engineer. There should be stamped engineered shop drawings in the submittal.
4. Provide stainless steel hidden fasteners for deck installation. Exposed fasteners will only be acceptable to use for miscellaneous trim installation and areas where hidden fasteners cannot be used. Glue not required.

Item 18

**QUESTION:**

1. Will the limits of disturbance/clearing limits be identified/flagged for the site by a licensed surveyor by the owner?
2. Control points established show Point ID's at 88-24 and 88-25 masonry nail and disk. Will these be the only field control points/benchmarks supplied by the owner?
3. Will owner supply surveying and staking of boundary, perimeter property line; wetlands limits and flagging?
4. Will Iroquois pipeline easement be surveyed and staked by the owner's surveyor?
5. Will an AutoCad file be supplied by the owner for the site? It is understood that the signed and approved plans govern over the digital data provided, is that correct?



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6. Pile driving criteria and equipment is spelled out. Will substitutions for Timber Pile driving equipment (vibratory) be allowed?
7. Has consideration be given concerning the test pile depth of 35 feet possibly adding a few feet? Some piles extend approximately 17 feet above grade allowing drive to 17 feet. Will the pile length be adequate?
8. Spec's and addendum state no entry into wetlands, etc. for equipment for pile driving (test and permanent). There is also an approved permit to work in this area. Please be specific does the addendum override the permit? If it does, what is the reason for the permit? Can equipment be allowed in the wetlands area? Equipment needs to work in this area as there are no borings in the tidal wetlands – need to establish pile depth and length. Please be specific.

**RESPONSE:**

1. No
2. If there are others the surveyor used we will provide.
3. No
4. There are existing stakes for the pipeline and they will mark out when CBUD is contacted.
5. AutoCAD files can be provided.
6. Yes
7. 35 feet is the embedment depth.
8. Note the special restrictions on the permit which do not allow equipment into the wetlands. The pile for the board walk can have an embedment of 20 feet and a load of 15 kips.

**Item 19**

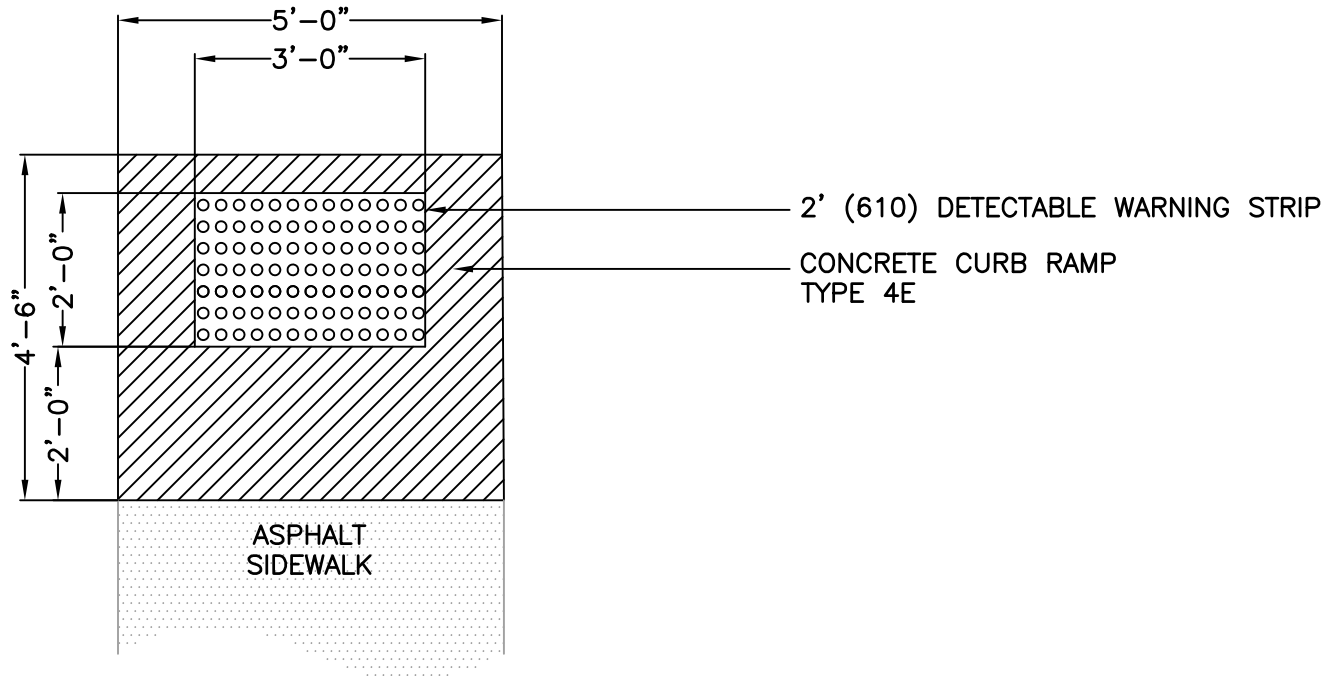
On drawing A-301 wall section A – eliminate note no. 2 and any reference to 3/1" extruded rigid insulation in exterior walls of first aid concession building. Contractor shall provide 3/4" exterior plywood sheathing for these buildings.

All questions must be in writing (not phone or e-mail) and must be forwarded to the consulting Architect/Engineer (Philip J. Katz, P.E. 203-495-1652) with copies sent to the DAS Project Manager (Thomas Surprenant, 860-622-2605)

**End of Addendum 6**

Mellanee Walton, Associate Fiscal Administrative Officer  
State of Connecticut  
Department of Administrative Services, Construction Services  
Office of Legal Affairs, Policy & Management  
Bidding & Contracts Unit  
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U:\192310379\construction\Sketches\SK-1\_Concrete Ramp.dwg  
2017/02/08 6:39 PM By: Bousacda, Emily



ORIGINAL SHEET - ANSI A

FEBRUARY, 2017  
192310379



55 Church Street, Suite 601  
New Haven CT  
www.stantec.com

Client/Project

STATE OF CONNECTICUT  
SILVER SANDS STATE PARK  
PHASE 1B ENHANCEMENTS

Figure No.

SK-1

Title

CONCRETE CURB RAMP DETAIL

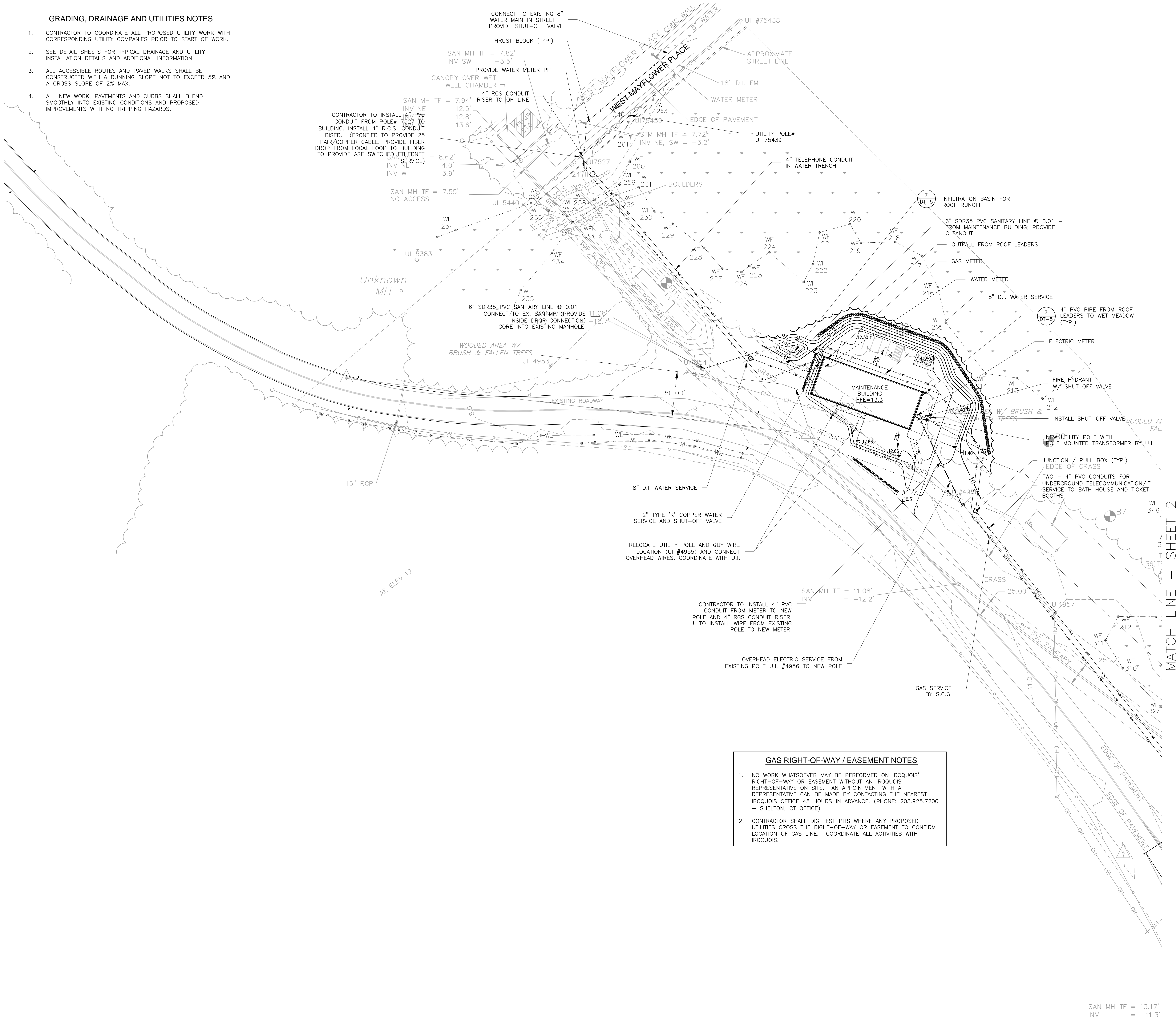


**GRADING, DRAINAGE AND UTILITIES NOTES**

1. CONTRACTOR TO COORDINATE ALL PROPOSED UTILITY WORK WITH CORRESPONDING UTILITY COMPANIES PRIOR TO START OF WORK.
2. SEE DETAIL SHEETS FOR TYPICAL DRAINAGE AND UTILITY INSTALLATION DETAILS AND ADDITIONAL INFORMATION.
3. ALL ACCESSIBLE ROUTES AND PAVED WALKS SHALL BE CONSTRUCTED WITH A RUNNING SLOPE NOT TO EXCEED 5% AND A CROSS SLOPE OF 2% MAX.
4. ALL NEW WORK, PAVEMENTS AND CURBS SHALL BLEND SMOOTHLY INTO EXISTING CONDITIONS AND PROPOSED IMPROVEMENTS WITH NO TRIPPING HAZARDS.

**LEGEND**

- — — — — EXISTING STREET LINE
- - - - - EXISTING CONTOUR
- +10.26 EXISTING SPOT ELEVATION
- — — — — PROPOSED CONTOUR
- +10.26 PROPOSED SPOT ELEVATION
- — — — — STORM DRAINAGE PIPE
- — — — — SANITARY PIPE
- ▲ CATCH BASIN
- MANHOLE
- — — — — WATER SERVICE
- GAS — GAS — GAS SERVICE
- — — — — ELECTRIC SERVICE
- — — — — TELECOMMUNICATION SERVICE
- ⊗ RELOCATED UTILITY POLE



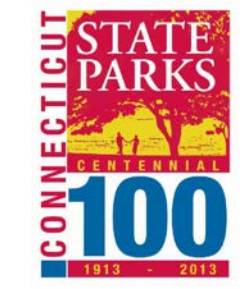
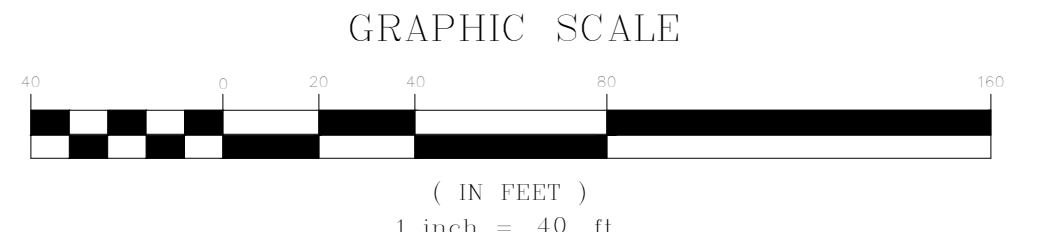
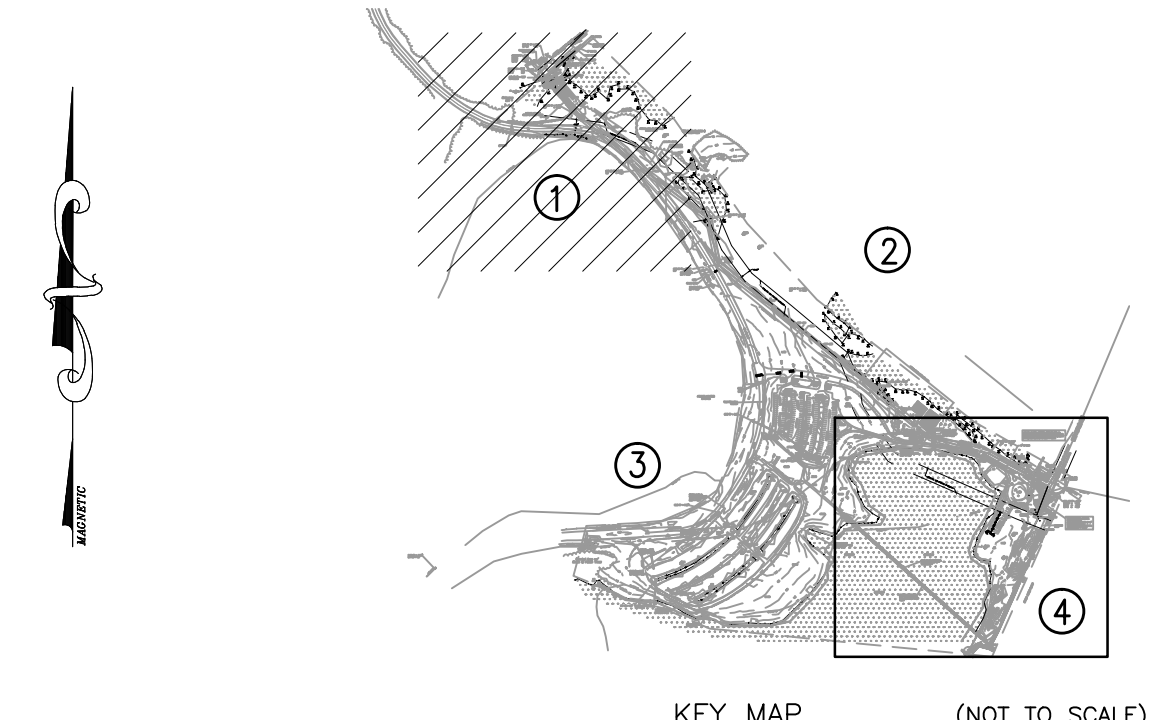
CONTRACTOR TO INSTALL 4" PVC CONDUIT FROM POLE # 7527 TO BUILDING. INSTALL 4" R.G.S. CONDUIT RISER. (FRONTIER TO PROVIDE 25 PAIR/COPPER CABLE. PROVIDE FIBER DROP FROM LOCAL LOOP TO BUILDING TO PROVIDE ASE SWITCHED (ETHERNET SERVICE))

CONTRACTOR TO INSTALL 4" PVC CONDUIT FROM METER TO NEW POLE AND 4" RGS CONDUIT RISER. UI TO INSTALL WIRE FROM EXISTING POLE TO NEW METER.

**GAS RIGHT-OF-WAY / EASEMENT NOTES**

1. NO WORK WHATSOEVER MAY BE PERFORMED ON IROQUOIS' RIGHT-OF-WAY OR EASEMENT WITHOUT AN IROQUOIS REPRESENTATIVE ON SITE. AN APPOINTMENT WITH A REPRESENTATIVE CAN BE MADE BY CONTACTING THE NEAREST IROQUOIS OFFICE 48 HOURS IN ADVANCE. (PHONE: 203.925.7200 - SHELTON, CT OFFICE)
2. CONTRACTOR SHALL DIG TEST PITS WHERE ANY PROPOSED UTILITIES CROSS THE RIGHT-OF-WAY OR EASEMENT TO CONFIRM LOCATION OF GAS LINE. COORDINATE ALL ACTIVITIES WITH IROQUOIS.

MATCH LINE - SHEET 2

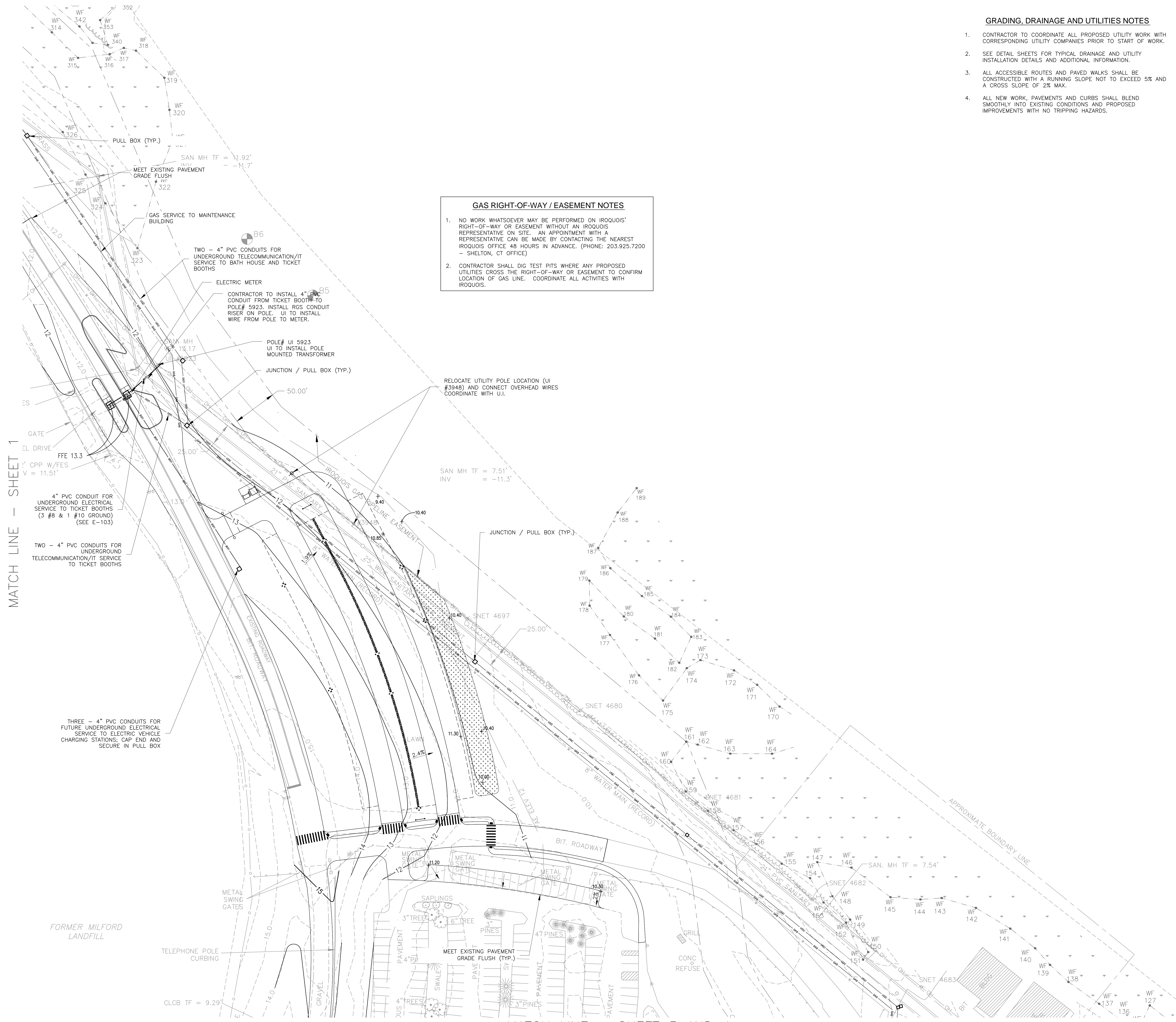


drawing title <b>GRADING, DRAINAGE AND UTILITY PLAN - 1 OF 5</b>		STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
drawing prepared by <b>STANTEC CONSULTING SERVICES INC.</b> 55 CHURCH STREET, SUITE 601 NEW HAVEN, CT 06510 (203) 495-1645	date 07/1/16	scale	
project <b>SILVER SANDS STATE PARK PHASE 1B ENHANCEMENTS</b> Milford, CT	drawn by	approved by	drawing no. <b>G-1</b>
CAD no. 192310379	project no. B-T-604		

SAN MH TF = 13.17'  
INV = -11.3'



MATCH LINE - SHEET 1



**GAS RIGHT-OF-WAY / EASEMENT NOTES**

1. NO WORK WHATSOEVER MAY BE PERFORMED ON IROQUOIS' RIGHT-OF-WAY OR EASEMENT WITHOUT AN IROQUOIS REPRESENTATIVE ON SITE. AN APPOINTMENT WITH A REPRESENTATIVE CAN BE MADE BY CONTACTING THE NEAREST IROQUOIS OFFICE 48 HOURS IN ADVANCE. (PHONE: 203.925.7200 - SHELTON, CT OFFICE)
2. CONTRACTOR SHALL DIG TEST PITS WHERE ANY PROPOSED UTILITIES CROSS THE RIGHT-OF-WAY OR EASEMENT TO CONFIRM LOCATION OF GAS LINE. COORDINATE ALL ACTIVITIES WITH IROQUOIS.

**GRADING, DRAINAGE AND UTILITIES NOTES**

1. CONTRACTOR TO COORDINATE ALL PROPOSED UTILITY WORK WITH CORRESPONDING UTILITY COMPANIES PRIOR TO START OF WORK.
2. SEE DETAIL SHEETS FOR TYPICAL DRAINAGE AND UTILITY INSTALLATION DETAILS AND ADDITIONAL INFORMATION.
3. ALL ACCESSIBLE ROUTES AND PAVED WALKS SHALL BE CONSTRUCTED WITH A RUNNING SLOPE NOT TO EXCEED 5% AND A CROSS SLOPE OF 2% MAX.
4. ALL NEW WORK, PAVEMENTS AND CURBS SHALL BLEND SMOOTHLY INTO EXISTING CONDITIONS AND PROPOSED IMPROVEMENTS WITH NO TRIPPING HAZARDS.

**LEGEND**

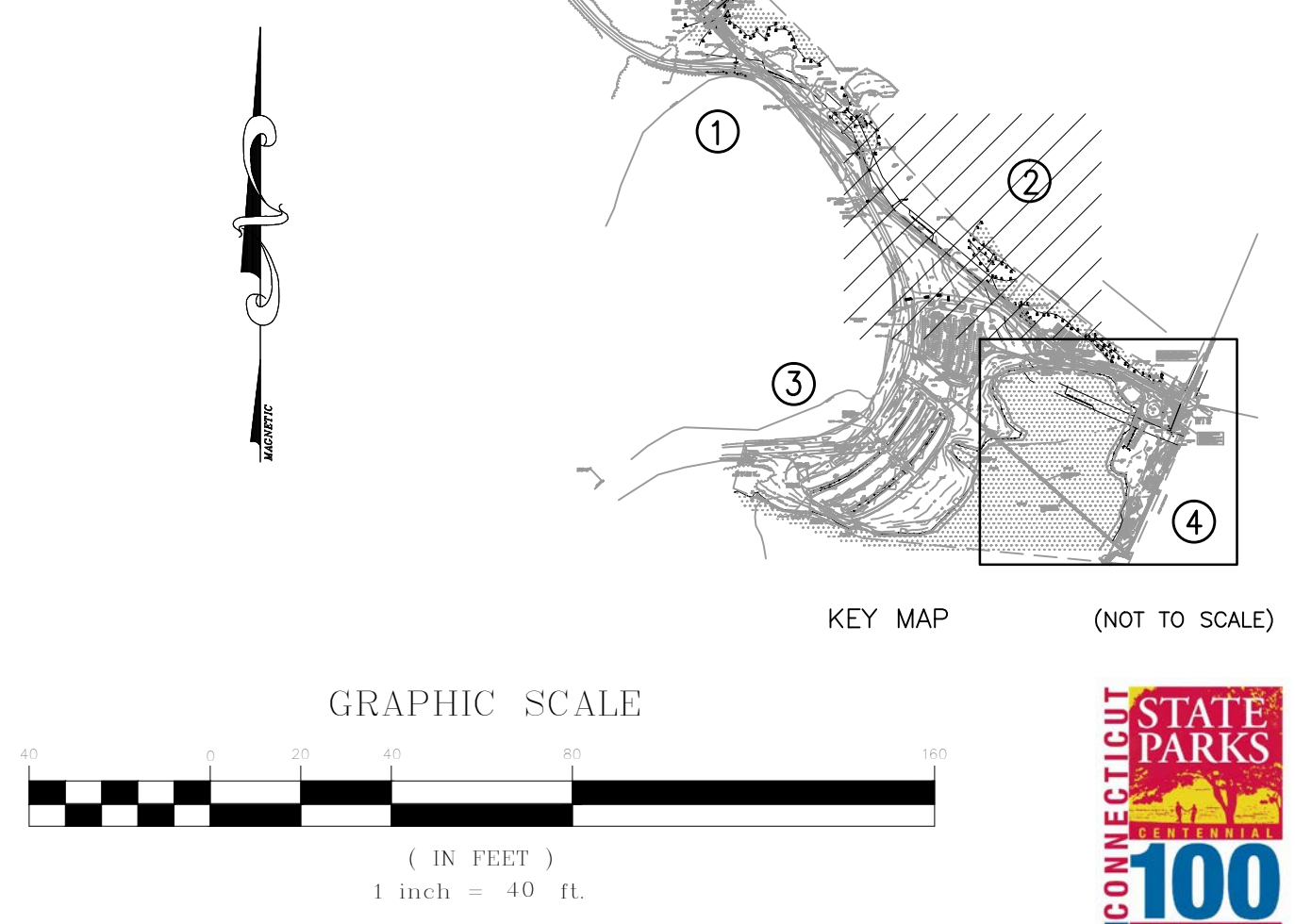
- — — — — EXISTING STREET LINE
- 10.0 — — — — EXISTING CONTOUR
- +10.26 EXISTING SPOT ELEVATION
- 10 — — — — PROPOSED CONTOUR
- +10.26 PROPOSED SPOT ELEVATION
- — — — — STORM DRAINAGE PIPE
- — — — — SANITARY PIPE
- ▣ CATCH BASIN
- MANHOLE
- — — — — WATER SERVICE
- GAS — — — — GAS SERVICE
- — — — — ELECTRIC SERVICE
- — — — — TELECOMMUNICATION SERVICE
- ⊗ RELOCATED UTILITY POLE

RELOCATE UTILITY POLE LOCATION (UI #3948) AND CONNECT OVERHEAD WIRES COORDINATE WITH U.I.

SAN MH TF = 7.51' INV = -11.3'

SAN. MH TF = 7.54'

CLCB TF = 9.29'



Drawing title: <b>GRADING, DRAINAGE AND UTILITY PLAN - 2 OF 5</b>		STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
drawing prepared by: <b>STANTEC CONSULTING SERVICES INC.</b> 55 CHURCH STREET, SUITE 601 NEW HAVEN, CT 06510 (203) 495-1645	date: 07/1/16	scale: as shown	drawn by: [blank]
project: <b>SILVER SANDS STATE PARK          PHASE 1B ENHANCEMENTS</b> Milford, CT	approved by: [blank]	drawing no.: <b>G-2</b>	[blank]
CADD no.: 192310379	project no.: BI-T-604	[blank]	[blank]

MATCH LINE - SHEET 3 AND 4



**GRADING, DRAINAGE AND UTILITIES NOTES**

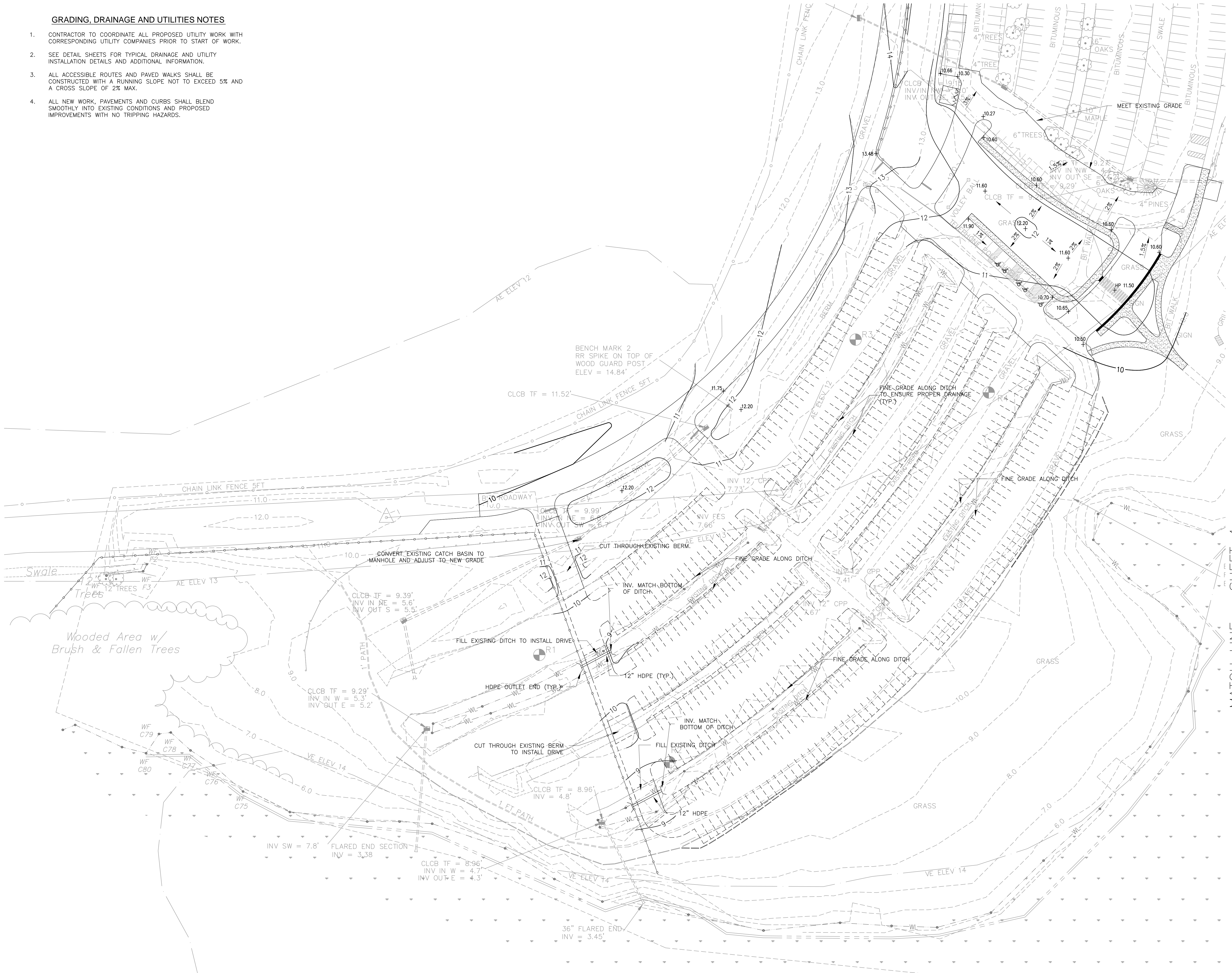
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2. SEE DETAIL SHEETS FOR TYPICAL DRAINAGE AND UTILITY INSTALLATION DETAILS AND ADDITIONAL INFORMATION.
3. ALL ACCESSIBLE ROUTES AND PAVED WALKS SHALL BE CONSTRUCTED WITH A RUNNING SLOPE NOT TO EXCEED 5% AND A CROSS SLOPE OF 2% MAX.
4. ALL NEW WORK, PAVEMENTS AND CURBS SHALL BLEND SMOOTHLY INTO EXISTING CONDITIONS AND PROPOSED IMPROVEMENTS WITH NO TRIPPING HAZARDS.

**LEGEND**

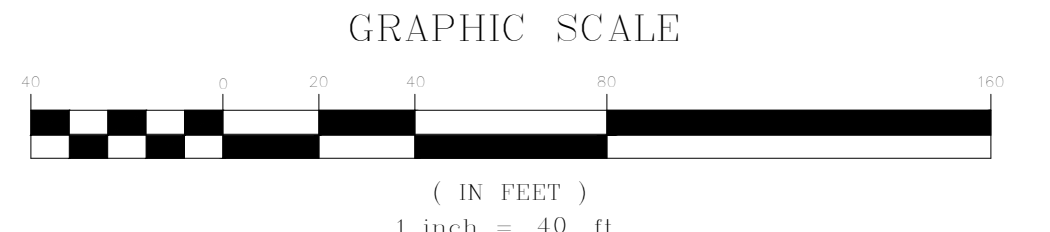
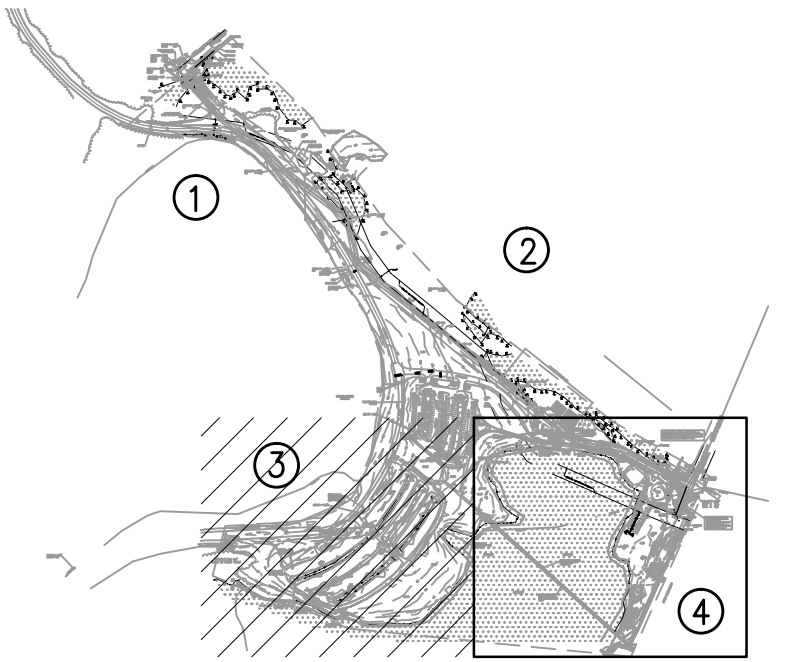
- — — — — EXISTING STREET LINE
- - - - -10.0- - - EXISTING CONTOUR
- +10.26 EXISTING SPOT ELEVATION
- - - - -10- - - PROPOSED CONTOUR
- +10.26 PROPOSED SPOT ELEVATION
- — — — — STORM DRAINAGE PIPE
- — — — — SANITARY PIPE
- ▣ CATCH BASIN
- MANHOLE
- — — — — WATER SERVICE
- — — — — GAS SERVICE
- — — — — ELECTRIC SERVICE
- — — — — TELECOMMUNICATION SERVICE
- ⊗ RELOCATED UTILITY POLE

**NOTES**

1. CONTRACTOR SHALL FINE GRADE ALONG EXISTING DITCHES TO ENSURE WATER FLOW TO DITCHES
2. SELECTIVELY CLEAR DITCHES AND BERMS



MATCH LINE - SHEET 4



drawing title <b>GRADING, DRAINAGE AND UTILITY PLAN - 3 OF 5</b>		STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
drawing prepared by <b>STANTEC CONSULTING SERVICES INC.</b> 55 CHURCH STREET, SUITE 601 NEW HAVEN, CT 06510 (203) 495-1645	date 07/1/16	project <b>SILVER SANDS STATE PARK                  PHASE 1B ENHANCEMENTS</b> Milford, CT	drawn by approved by drawing no. <b>G-3</b>
CJD no. 192310379	project no. BI-T-604		



**LEGEND**

- EXISTING STREET LINE
- - - - - EXISTING CONTOUR
- +10.26 EXISTING SPOT ELEVATION
- - - - - PROPOSED CONTOUR
- +10.26 PROPOSED SPOT ELEVATION
- STORM DRAINAGE PIPE
- SANITARY PIPE
- ▲ CATCH BASIN
- MANHOLE
- WATER SERVICE
- GAS SERVICE
- ELECTRIC SERVICE
- TELECOMMUNICATION SERVICE
- RELOCATED UTILITY POLE

**GAS RIGHT-OF-WAY / EASEMENT NOTES**

- NO WORK WHATSOEVER MAY BE PERFORMED ON IROQUOIS' RIGHT-OF-WAY OR EASEMENT WITHOUT AN IROQUOIS REPRESENTATIVE ON SITE. AN APPOINTMENT WITH A REPRESENTATIVE CAN BE MADE BY CONTACTING THE NEAREST IROQUOIS OFFICE 48 HOURS IN ADVANCE. (PHONE: 203.925.7200 - SHELTON, CT OFFICE)
- CONTRACTOR SHALL DIG TEST PITS WHERE ANY PROPOSED UTILITIES CROSS THE "RIGHT-OF-WAY" OR EASEMENT TO CONFIRM LOCATION OF GAS LINE. COORDINATE ALL ACTIVITIES WITH IROQUOIS.

CITY OF MILFORD CONTROL POINT BM 88-24  
MASONRY NAIL IN CONCRETE WALK TO THE LEFT  
OF HOUSE #840 EAST BROADWAY. N 633,806.371  
E 914,018.377, NAVD 88

CITY OF MILFORD CONTROL POINT BM 88-25  
DISK SET IN CONCRETE IN 21"  
DIAMETER PVC PIPE.  
N 633,802.623 E 913249.752,  
NAVD 88 ELEV = 17.03'

**GAS RIGHT-OF-WAY / EASEMENT NOTES**

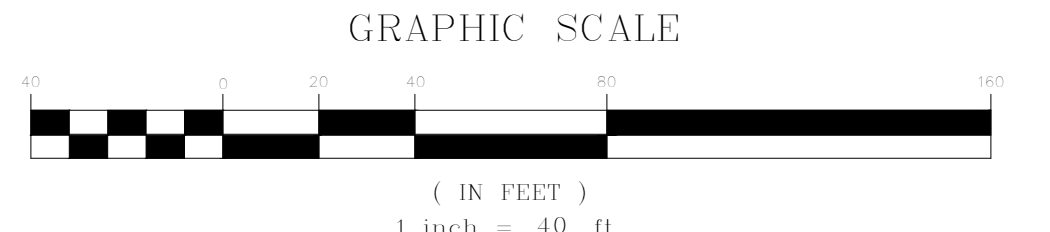
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- CONTRACTOR SHALL DIG TEST PITS WHERE ANY PROPOSED UTILITIES CROSS THE "RIGHT-OF-WAY" OR EASEMENT TO CONFIRM LOCATION OF GAS LINE. COORDINATE ALL ACTIVITIES WITH IROQUOIS.

- 8" TO 3" WATER SERVICE TRANSITION (8" x 8" x 3"TEE)
- FIRE HYDRANT
- 3" WATER SERVICE
- 2 1/2" WATER SERVICE TO BATH HOUSE (REDUCED FROM 3")
- GAS METER
- 2500 GALLON GREASE TRAP
- TF=7.90
- INV IN=4.90
- INV OUT=4.90
- GAS SERVICE (TYP.)
- 3" WATER SERVICE
- 6" SDR35 PVC SANITARY LINE @ 0.02
- 2" WATER SERVICE (REDUCED FROM 3")
- SEE ELECTRICAL & PLUMBING DRAWINGS FOR UTILITY CONNECTIONS TO BUILDING

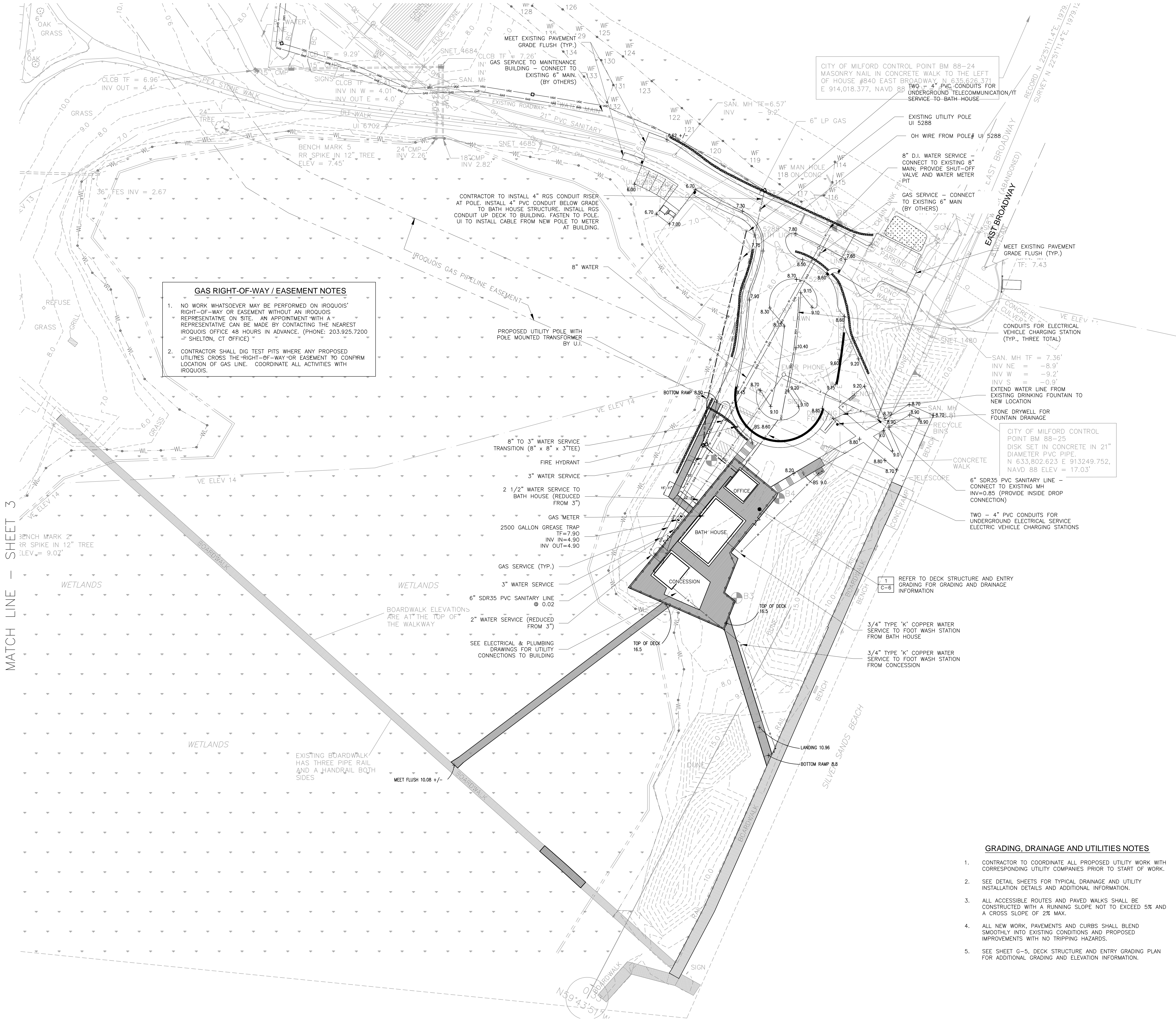
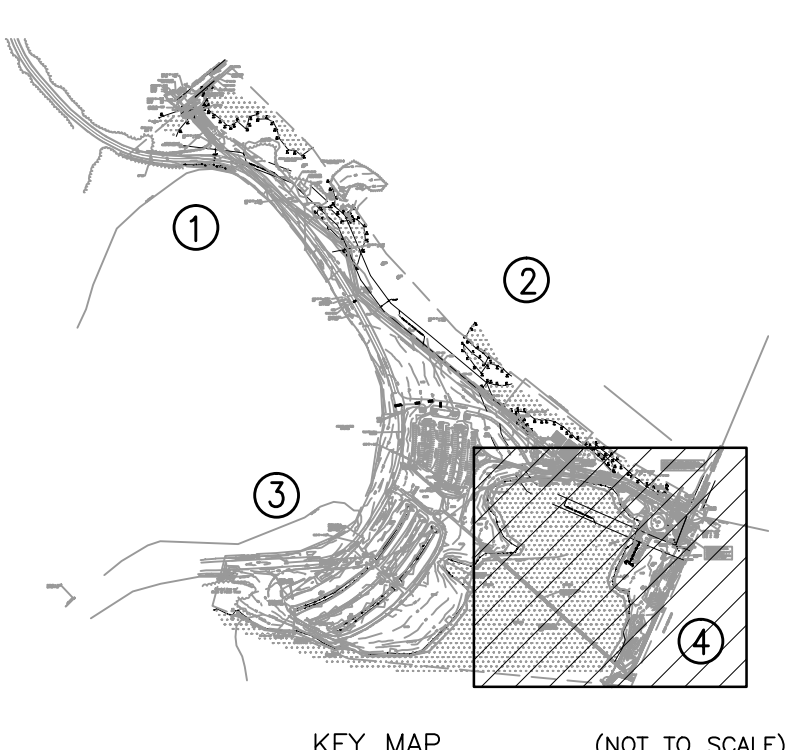
1 REFER TO DECK STRUCTURE AND ENTRY GRADING FOR GRADING AND DRAINAGE INFORMATION

**GRADING, DRAINAGE AND UTILITIES NOTES**

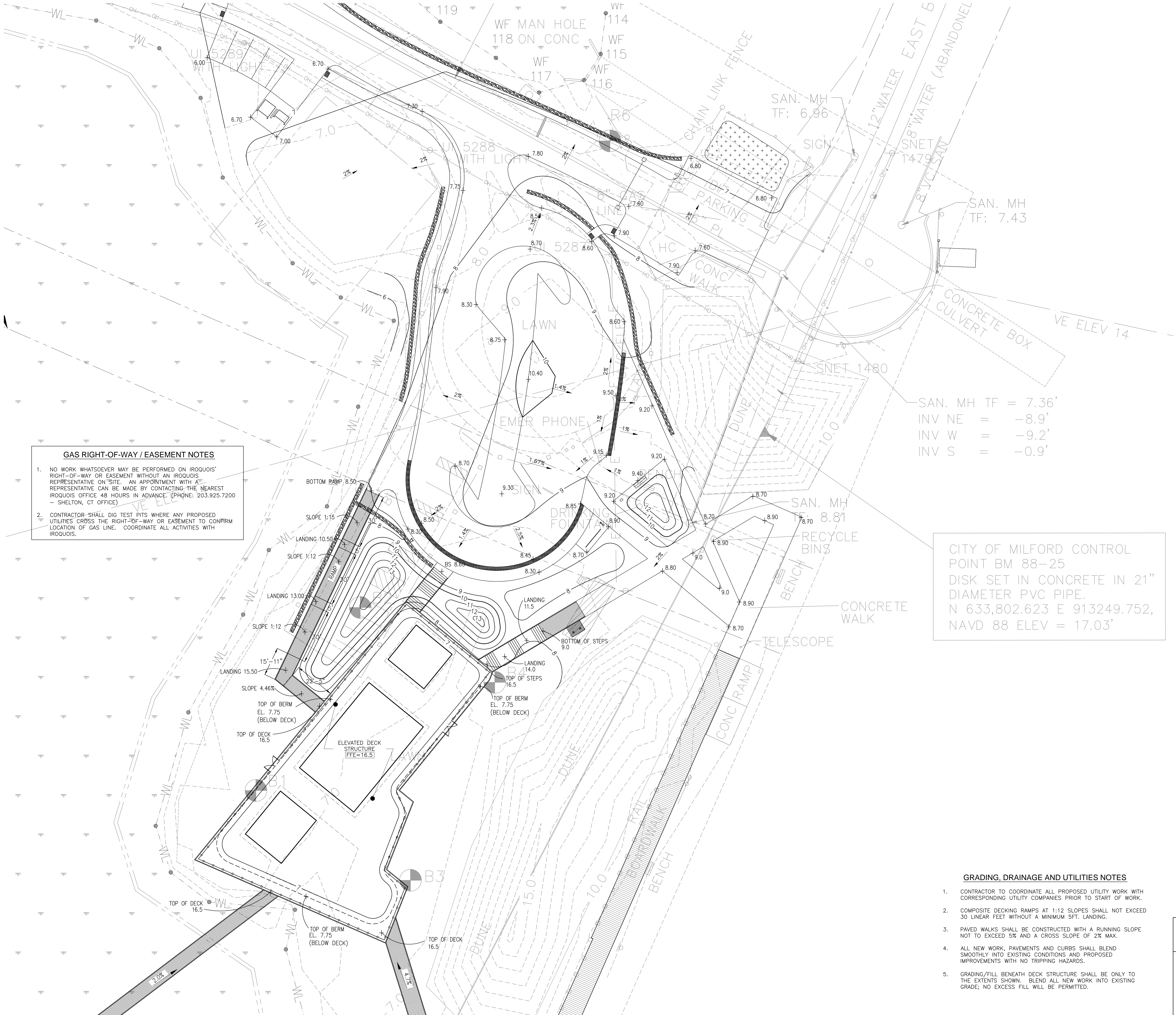
- CONTRACTOR TO COORDINATE ALL PROPOSED UTILITY WORK WITH CORRESPONDING UTILITY COMPANIES PRIOR TO START OF WORK.
- SEE DETAIL SHEETS FOR TYPICAL DRAINAGE AND UTILITY INSTALLATION DETAILS AND ADDITIONAL INFORMATION.
- ALL ACCESSIBLE ROUTES AND PAVED WALKS SHALL BE CONSTRUCTED WITH A RUNNING SLOPE NOT TO EXCEED 5% AND A CROSS SLOPE OF 2% MAX.
- ALL NEW WORK, PAVEMENTS AND CURBS SHALL BLEND SMOOTHLY INTO EXISTING CONDITIONS AND PROPOSED IMPROVEMENTS WITH NO TRIPPING HAZARDS.
- SEE SHEET G-5, DECK STRUCTURE AND ENTRY GRADING PLAN FOR ADDITIONAL GRADING AND ELEVATION INFORMATION.



DRAWING TITLE <b>GRADING, DRAINAGE AND UTILITY PLAN - 4 OF 5</b>		DATE 07/1/16	
DRAWING PREPARED BY <b>STANTEC CONSULTING SERVICES INC.</b> 55 CHURCH STREET, SUITE 601 NEW HAVEN, CT 06510 (203) 495-1645		SCALE AS SHOWN	
PROJECT <b>SILVER SANDS STATE PARK                  PHASE 1B ENHANCEMENTS</b> Milford, CT		DRAWN BY [Signature]	
CLIENT NO. 192310379		PROJECT NO. BL-T-604	
		APPROVED BY [Signature]	
		DRAWING NO. <b>G-4</b>	







**LEGEND**

- EXISTING STREET LINE
- - - - - EXISTING CONTOUR
- +10.26 EXISTING SPOT ELEVATION
- 10 — PROPOSED CONTOUR
- +10.26 PROPOSED SPOT ELEVATION
- STORM DRAINAGE PIPE
- SANITARY PIPE
- ▣ CATCH BASIN
- MANHOLE
- W — WATER SERVICE
- GAS — GAS SERVICE
- ELEC — ELECTRIC SERVICE
- TEL — TELECOMMUNICATION SERVICE

**GAS RIGHT-OF-WAY / EASEMENT NOTES**

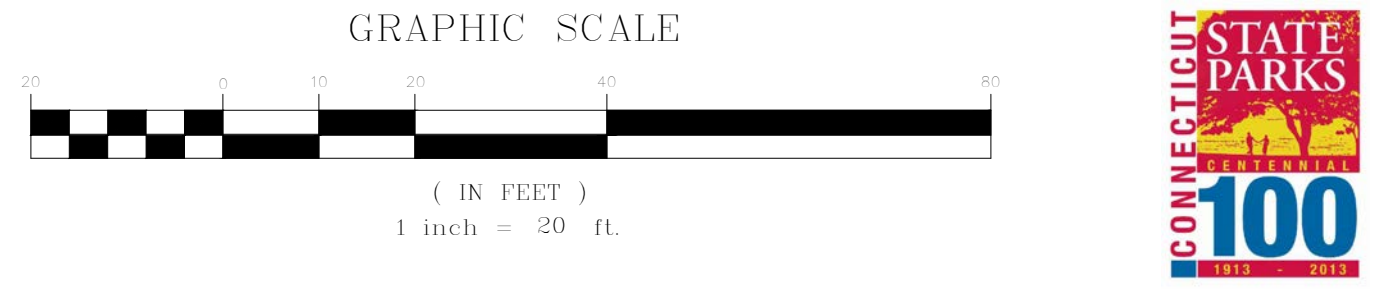
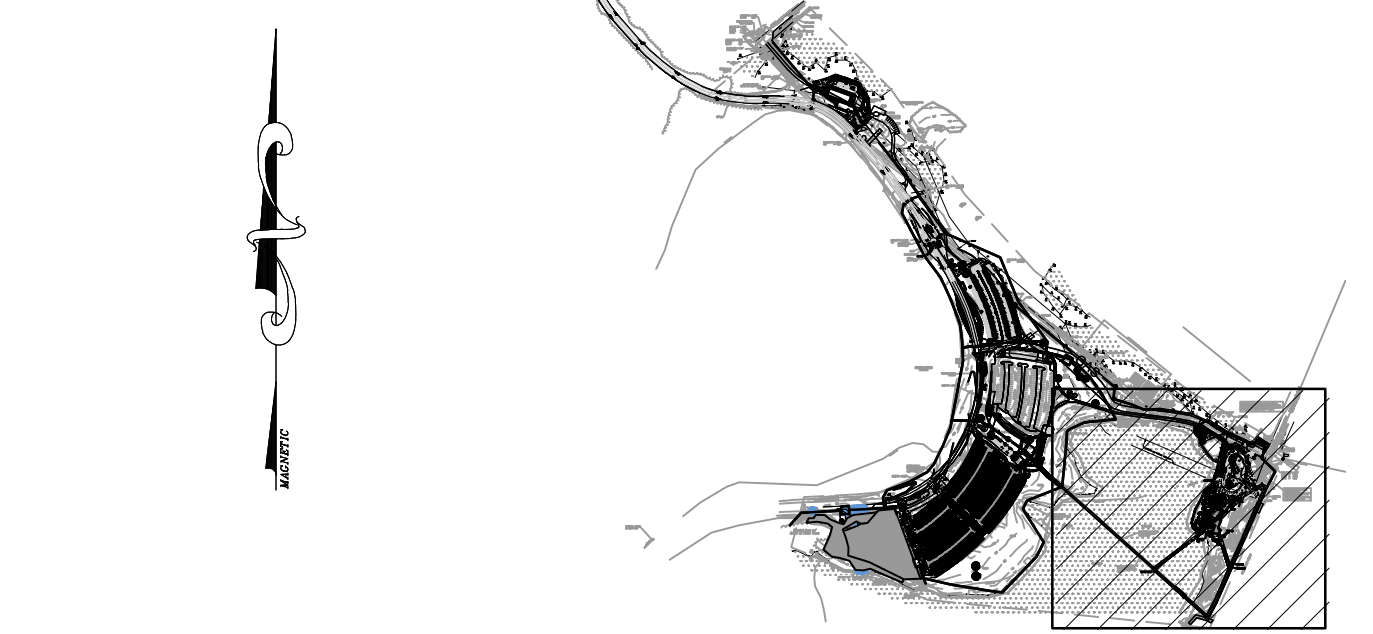
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- CONTRACTOR SHALL DIG TEST PITS WHERE ANY PROPOSED UTILITIES CROSS THE RIGHT-OF-WAY OR EASEMENT TO CONFIRM LOCATION OF GAS LINE. COORDINATE ALL ACTIVITIES WITH IROQUOIS.

SAN. MH TF = 7.36'  
 INV NE = -8.9'  
 INV W = -9.2'  
 INV S = -0.9'

CITY OF MILFORD CONTROL POINT BM 88-25  
 DISK SET IN CONCRETE IN 21" DIAMETER PVC PIPE.  
 N 633,802.623 E 913249.752,  
 NAVD 88 ELEV = 17.03'

**GRADING, DRAINAGE AND UTILITIES NOTES**

- CONTRACTOR TO COORDINATE ALL PROPOSED UTILITY WORK WITH CORRESPONDING UTILITY COMPANIES PRIOR TO START OF WORK.
- COMPOSITE DECKING RAMPS AT 1:12 SLOPES SHALL NOT EXCEED 30 LINEAR FEET WITHOUT A MINIMUM 5FT. LANDING.
- PAVED WALKS SHALL BE CONSTRUCTED WITH A RUNNING SLOPE NOT TO EXCEED 5% AND A CROSS SLOPE OF 2% MAX.
- ALL NEW WORK, PAVEMENTS AND CURBS SHALL BLEND SMOOTHLY INTO EXISTING CONDITIONS AND PROPOSED IMPROVEMENTS WITH NO TRIPPING HAZARDS.
- GRADING/FILL BENEATH DECK STRUCTURE SHALL BE ONLY TO THE EXTENTS SHOWN. BLEND ALL NEW WORK INTO EXISTING GRADE; NO EXCESS FILL WILL BE PERMITTED.



drawing title <b>DECK STRUCTURE AND ENTRY - 5 OF 5</b>		STATE OF CONNECTICUT DEPARTMENT OF ADMINISTRATIVE SERVICES	
drawing prepared by <b>STANTEC CONSULTING SERVICES INC.</b> 55 CHURCH STREET, SUITE 601 NEW HAVEN, CT 06510 (203) 495-1645	date 07/1/16	scale	
project <b>SILVER SANDS STATE PARK          PHASE 1B ENHANCEMENTS</b> Milford, CT	drawn by	approved by	
CJD no. 192310379	project no. BI-T-604	drawing no. <b>G-5</b>	