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ADDENDUM NO.: 2 DATE OF CMR ADDENDUM: 12/3/12

Notice of Construction Manager-at-Risk (CMR) Addendum on behalf of the CT Department of Construction Services (CT DCS)

Project Name:	JM Wright Tech High School
Project Location:	Stamford CT
Project Description:	Additions & Renovations
Project Construction Budget:	50,000,000.00
CT DCS Project Number:	BI-RT-842-CMR

The Construction Manager-at-Risk (CMR) is issuing a **Notice of CMR Addendum** for this State of CT Department of Construction Services (CT DCS) Project. Specific Addendum Information is available as noted below. If you have any questions, please contact the CMR as noted below.

CMR Information:

CMR Firm:	KBE Building Corp	
Address:	30 Batterson Park Rd	
Contact Name:	Ryan Bentz	
Contact Phone Number:	Office: 860-284-7467 Cell: 860-250-1552	
Contact Email Address:	rbentz@comcast.net	

Addendum Information is available as follows:

CMR Website and/or FTP Site:	Address: ftp.kbebuilding.com	User: JMWrightHS	Pass: 6w6dwi
Printing Company:	BL Graphics 203-630-2671		

Note to CMR Firm: This Form must be completed and emailed to the DCS personnel listed below. DCS will post the form to the State Contracting Portal as "Addendum No. #". **Delete this "Note" prior to emailing the document to DCS.**

Copies: DCS Project Manager (insert email address) DCS Process Management (<u>peter.babey@ct.gov</u>) □ DCS Process Management (<u>randy.daigle@ct.gov</u>) □ DCS Website Management (<u>rebecca.cutler@ct.gov</u>)



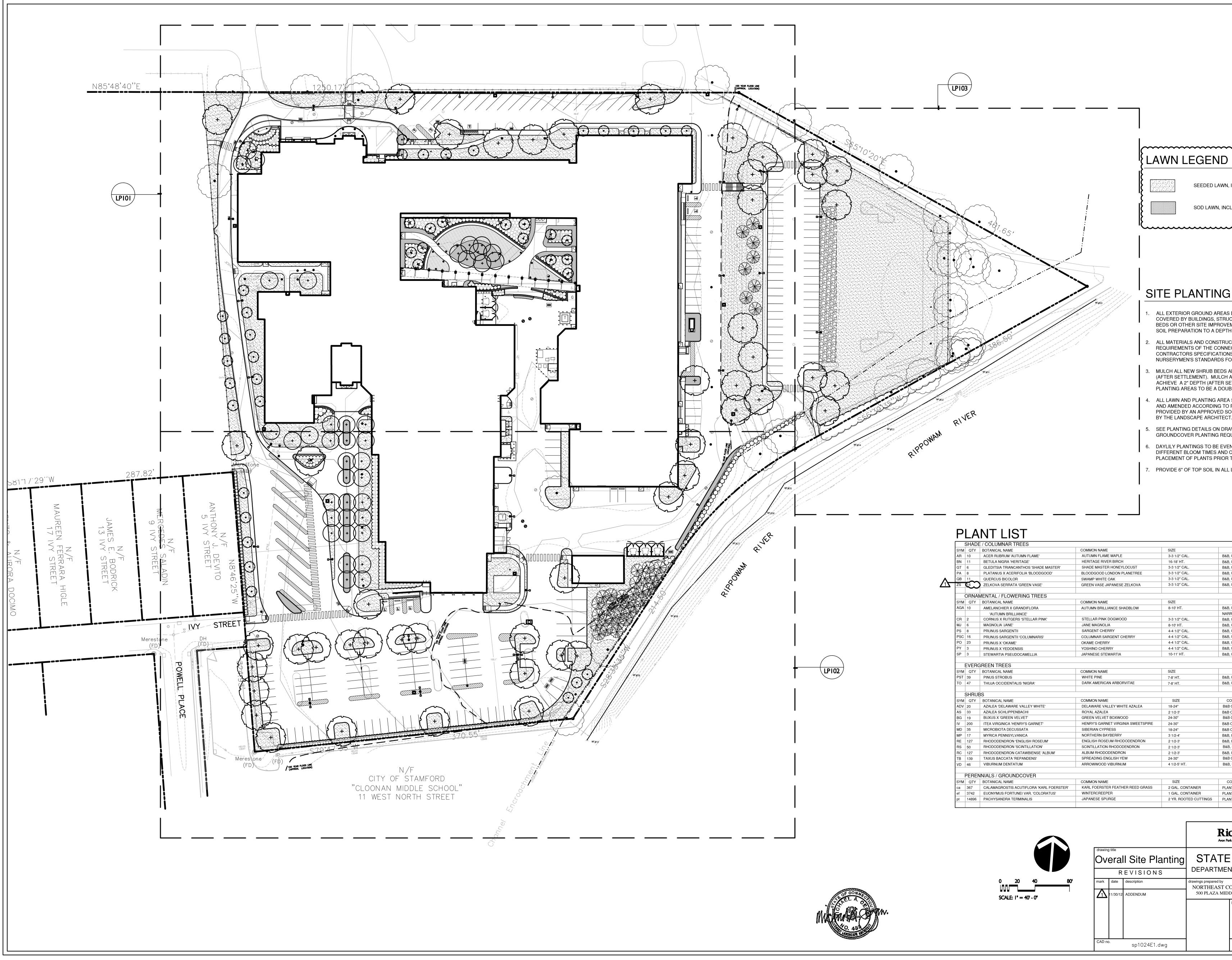
JM Wright Technical High School Stamford, CT State Project # BI-RT-842-CMR

ADDENDUM #2

December 3, 2012

Contents of Addendum #2

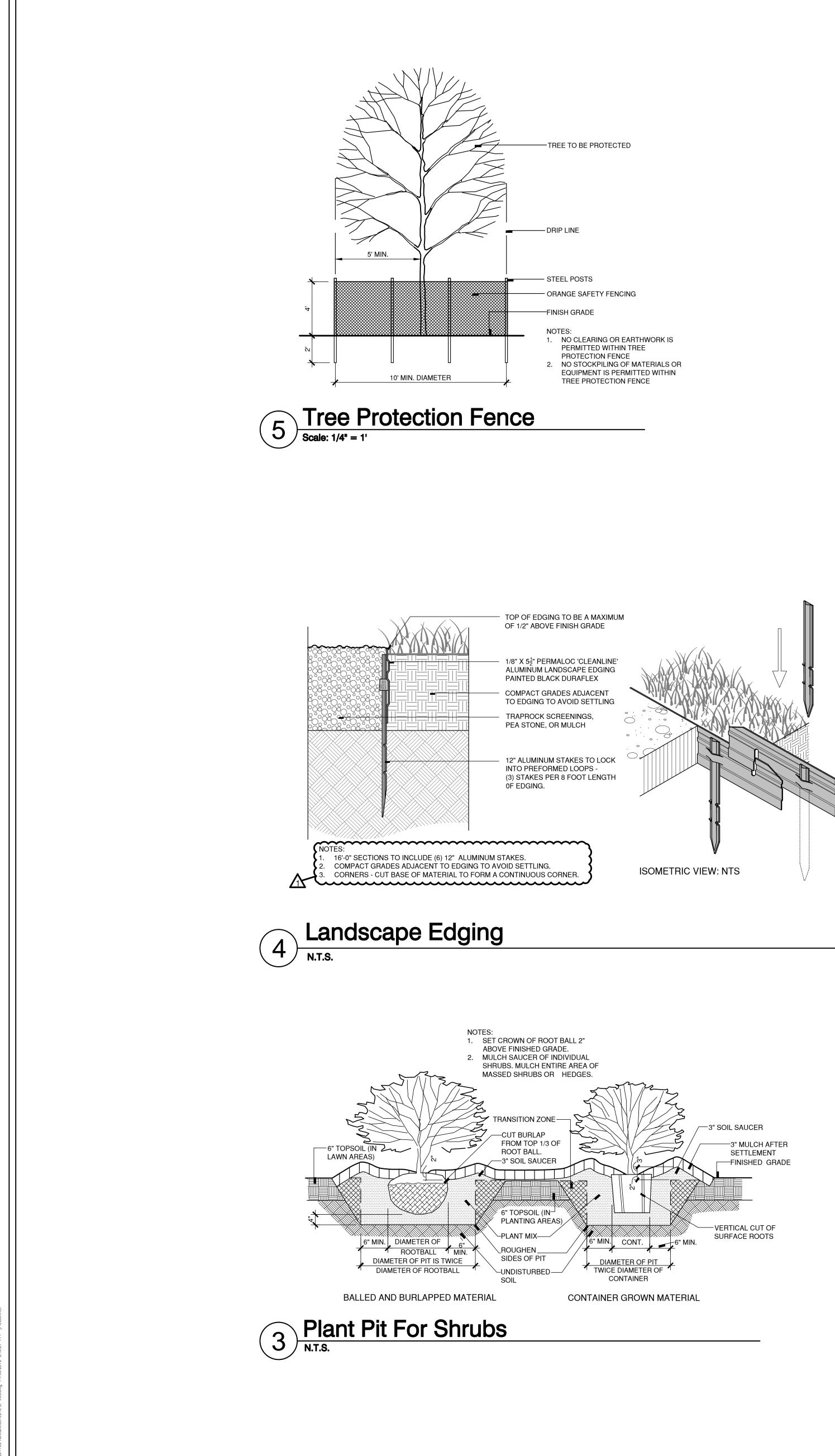
- 1) LP100 Revision 1 dated 11/30/12
- 2) LP500 Revision 1 dated 11/30/12
- 3) LM500 Revision 1 dated 11/30/12
- 4) Project Drawing List dated 12/3/12
- 5) Structural Sketches SK-S1 through SK-S6 dated 11/30/12
- 6) Bidders RFI's
- 7) Construction Managers RFI's 2 & 4
- 8) Modifications to Site Work Bid form "Bid Item D Allowances"
 A: \$5,000.00 Allowance for Gas meter relocation

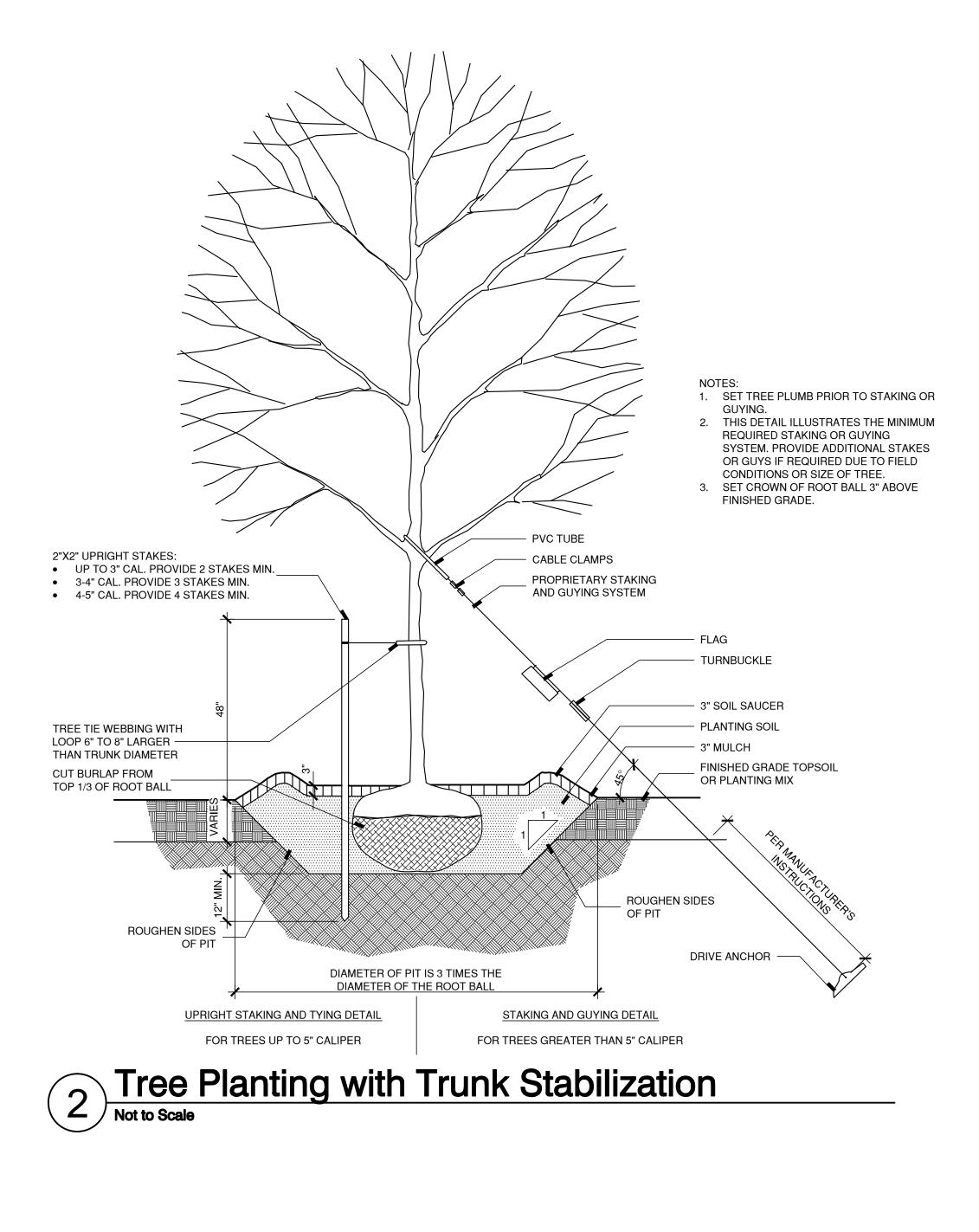


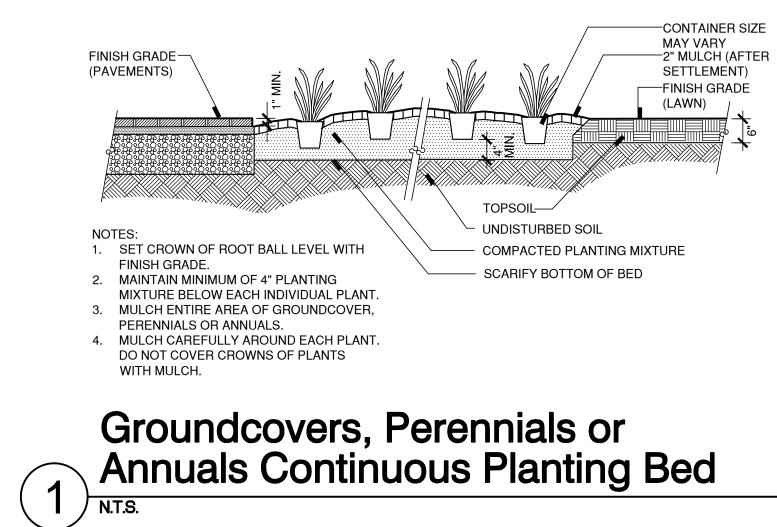
SYM		E / COLUMNAR TREES	COMMON NAME	SIZE	
	10		HERITAGE RIVER BIRCH	3-3 1/2" CAL.	B&E
BN GT	11 6	BETULA NIGRA 'HERITAGE' GLEDITSIA TRIANCANTHOS 'SHADE MASTER'	SHADE MASTER HONEYLOCUST	16-18' HT. 3-3 1/2" CAL.	B&E
PA	8	PLATANUS X ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	3-3 1/2" CAL.	B&E
	-			3-3 1/2" CAL.	B&E
QB ZS	11	QUERCUS BICOLOR ZELKOVA SERBATA 'GREEN VASE'	SWAMP WHITE OAK GREEN VASE JAPANESE ZELKOVA	3-3 1/2" CAL.	B&E
23		ZELKOVA SENNATA GREEN VASE	GREEN VASE JAPANESE ZELKOVA	3-3 1/2 OAL.	Dat
(MENTAL / FLOWERING TREES			
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
AGA	10	AMELANCHIER X GRANDIFLORA	AUTUMN BRILLIANCE SHADBLOW	8-10' HT.	B&E
		'AUTUMN BRILLIANCE'			NAR
CR	2	CORNUS X RUTGERS 'STELLAR PINK'	STELLAR PINK DOGWOOD	3-3 1/2" CAL.	B&B
ΛJ	6	MAGNOLIA 'JANE'	JANE MAGNOLIA	8-10' HT.	B&B
PS	8	PRUNUS SARGENTII	SARGENT CHERRY	4-4 1/2" CAL.	B&B
PSC	16	PRUNUS SARGENTII 'COLUMNARIS'	COLUMNAR SARGENT CHERRY	4-4 1/2" CAL.	B&B
PO	23	PRUNUS X 'OKAME'	OKAME CHERRY	4-4 1/2" CAL.	B&B
PY	3	PRUNUS X YEDOENSIS	YOSHINO CHERRY	4-4 1/2" CAL.	B&E
SP	3	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	10-11' HT.	B&B
		GREEN TREES			
SYM		BOTANICAL NAME	COMMON NAME	SIZE	
	39	PINUS STROBUS	WHITE PINE	7-8' HT.	B&B
	47	THUJA OCCIDENTALIS 'NIGRA'	DARK AMERICAN ARBORVITAE	7-8' HT.	B&B
-	-1			7-0 111.	Dab
Ę	SHRUE	3S			
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	C
ADV	20	AZALEA 'DELAWARE VALLEY WHITE'	DELAWARE VALLEY WHITE AZALEA	18-24"	B&E
AS	33	AZALEA SCHLIPPENBACHI	ROYAL AZALEA	2 1/2-3'	B&B
BG	19	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	24-30"	B&E
V	200	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET VIRGINIA SWEETSPIRE	24-30"	B&E
MD	35	MICROBIOTA DECUSSATA	SIBERIAN CYPRESS	18-24"	B&E
MP	17	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	3 1/2-4'	B&E
RE	127	RHODODENDRON 'ENGLISH ROSEUM'	ENGLISH ROSEUM RHODODENDRON	2 1/2-3'	B&B
RS	50	RHODODENDRON 'SCINTILLATION'	SCINTILLATION RHODODENDRON	2 1/2-3'	B&E
RC	127	RHODODENDRON CATAWBIENSE 'ALBUM'	ALBUM RHODODENDRON	2 1/2-3'	B&B
ТВ	139	TAXUS BACCATA 'REPANDENS'	SPREADING ENGLISH YEW	24-30"	B&E
VD	46	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	4 1/2-5' HT.	B&E
	PEREN	INIALS / GROUNDCOVER			
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	0
ca	367	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	2 GAL. CONTAINER	PLA
ef	3742	EUONYMUS FORTUNEI VAR. 'COLORATUS'	WINTERCREEPER	1 GAL. CONTAINER	PLA
ot	14896	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	2 YR. ROOTED CUTTINGS	PLA
	11000				

			Avon Par
	eral	I Site Planting	STATE DEPARTMEN
mark	date	description	drawings prepared by NORTHEAST CO 500 PLAZA MIDI
CAD no).	sp1024E1.dwg	

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)		}		
J, Iľ	NCL. 6" TOPSOIL			
CL.	6" TOPSOIL	}		
2	NOTES			
UC [.] EM	DISTURBED BY CONSTRUCTION A TURES, PAVING, CONTINUOUS PL ENTS SHALL BE GRADED, TOPSC OF 6" AND GRASS SEEDED.	ANTING		
IEC NS FOF	TION METHODS SHALL CONFORM TICUT ASSOCIATION OF LANDSC AND THE AMERICAN ASSOCIATIO NURSERY STOCK. (ANSI Z60.1-2	APE DN OF 004)		
i al Set Jbl	ID PLANT PITS TO ACHIEVE A 3" E LL GROUNDCOVER AND PERENNI TLEMENT). MULCH FOR SAUCEF .E SHREDDED BARK MULCH.	AL BEDS TO RS AND		
D R SOI CT.	OIL PREPARATION SHALL BE FEF ECOMMENDATIONS OF A SOIL AN L TESTING LABORATORY, AND AF	NALYSIS PPROVED		
QU EN) C(AWING LP-500 FOR TREE, SHRUB, AND QUIREMENTS ENLY DISTRIBUTED TO PROVIDE MIX OF COLORS. LANDSCAPE ARCHITECT TO REVIEW			
	O PLANTING. AWN AND PLANTING AREAS			
	COMMENTS			
B, U B, U	NIFORM, HIGH BRANCHED TO 6' NIFORM, MULTI-STEM, 3 TRUNKS MIN. NIFORM, HIGH BRANCHED TO 6' NIFORM, HIGH BRANCHED TO 6'			
	NIFORM, HIGH BRANCHED TO 6' NIFORM, HIGH BRANCHED TO 6'			
RRC	COMMENTS NIFORM, MULTI-STEM, 5 TRUNKS MIN. DW UPRIGHT FORM NIFORM			
B, U B, U B, U	NIFORM, MULTISTEM, HEAVY SPECIMEN NIFORM NIFORM			
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ANT ANT	IMENTS 24" O.C. 10" O.C. 6" O.C.			
. –	hter Cegan Inc North Box 567 Avon, Connecticut 06001 (860) 678-066			
	OF CONNECTION SE	RVICES		
		date		
DDI	LLABORATIVE ARCHITECTS LESEX MIDDLETOWN, CT 06457	$\frac{11/12/12}{\text{scale}}$ $\frac{1''}{1''} = 40'$ drawn by		
DDI	LESEX MIDDLETOWN, CT 06457	11/12/12 scale 1" = 40'		

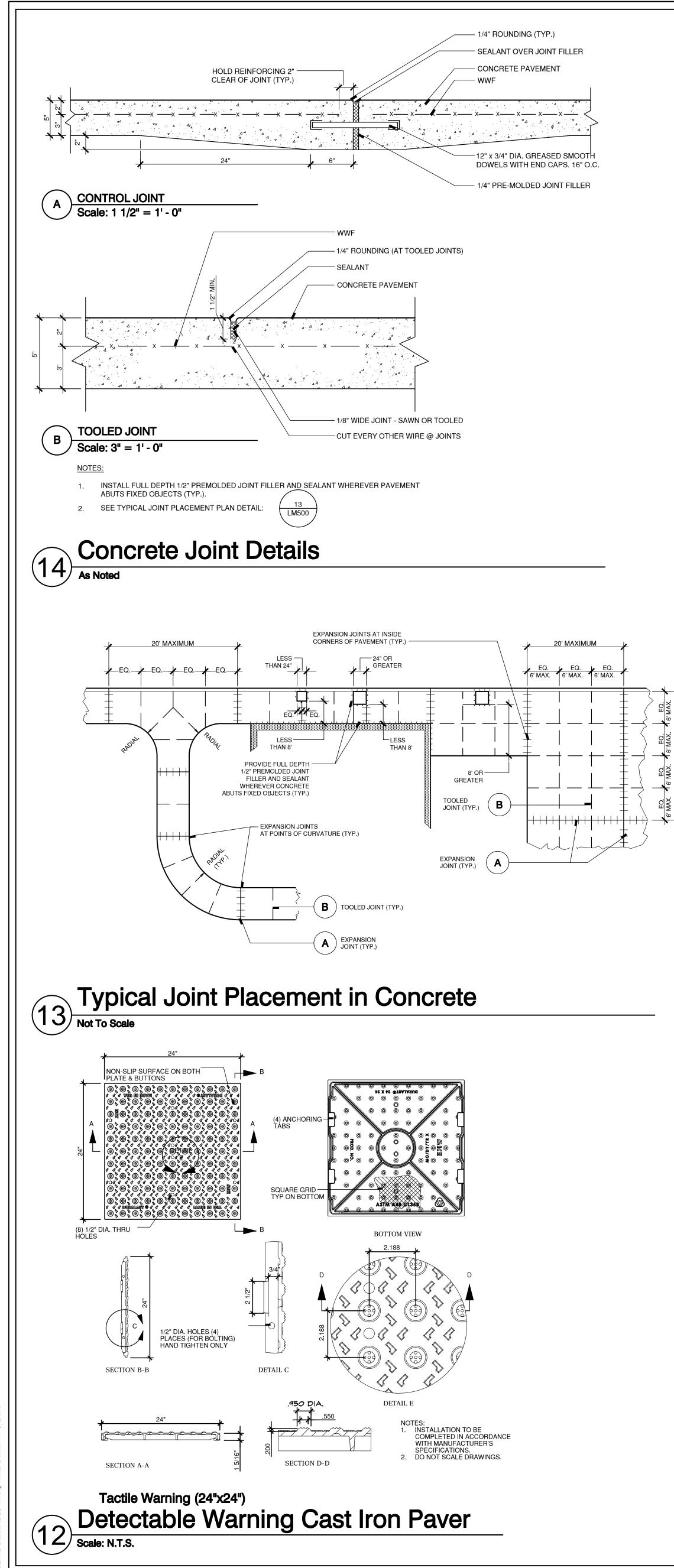


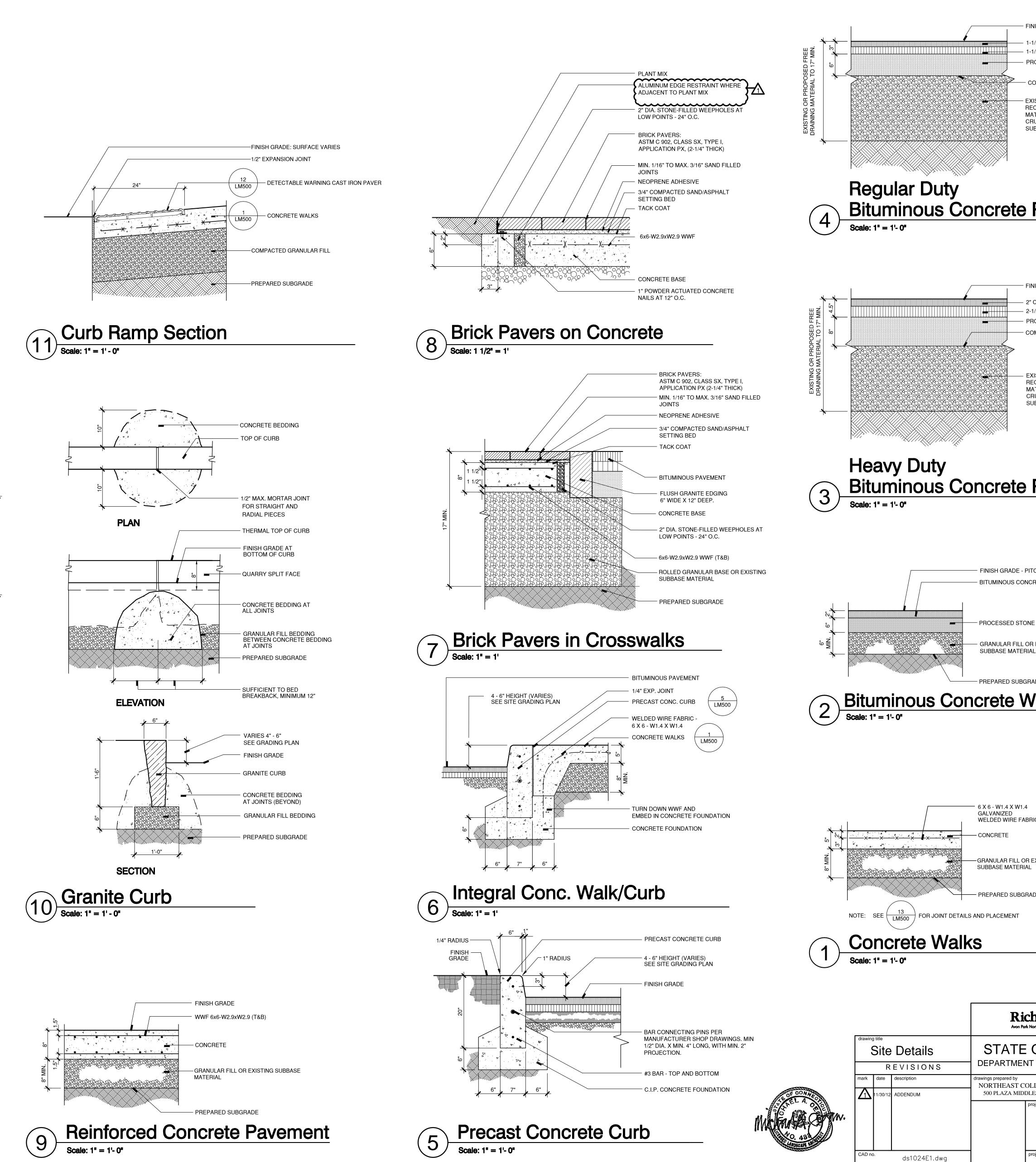




drawing title Planting Details REVISIONS mark date description drawings prepared by NORTHEAST COLLABORATIVE ARCHITECTS 500 PLAZA MIDDLESEX MIDDLETOWN, CT 06457 11/30/12 ADDENDUM CAD no. project no. ds1024E1.dwg







- FINISH GRADE	
- 1-1/2" CLASS 2 BITUMINOUS CONCRE - 1-1/2" CLASS 1 BITUMINOUS CONCRE	
- PROCESSED AGGREGATE BASE	
- COMPACTED SUBGRADE	
RECLAIMED ONSITE BITUMINOUS PA MATERIALS, CONTROLLED FILL, OR	1/2"
CRUSHED STONE WHERE PROPOSE SUBGRADES ARE IN-FILLS.	
e Pavement	
- FINISH GRADE - 2" CLASS 2 BITUMINOUS CONCRETE	
- 2-0LASS 2 BITOMINOUS CONCRETE - 2-1/2" CLASS 1 BITUMINOUS CONCRE - PROCESSED AGGREGATE BASE	ΞTE
- COMPACTED SUB GRADE	
- EXISTING PAVEMENT SUBBASE OR RECLAIMED ONSITE BITUMINOUS PA	
MATERIALS, CONTROLLED FILL, OR CRUSHED STONE WHERE PROPOSE SUBGRADES ARE IN-FILLS.	1/2"
SUBGRADES ARE IN-FILLS.	
D	
Pavement	
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A CONTRACTIVE ARCHITECTS E OF CONSTRUCTION SE COLLABORATIVE ARCHITECTS DIESEX MIDDLETOWN, CT 06457	seale AS SHOWN drawn by JMM/RWH approved by MAC
AA BGRADE Walks 1.4 ABRIC OR EXISTING GRADE COLLABORATIVE ARCHITECTS DILESEX MIDDLETOWN, CT 06457 Project J.M. WRIGHT	seale AS SHOWN drawn by JMM / R WH approved by

SPECIFICATIONS

Project Specifications Volumes 1-3 dated October 15, 2012, prepared by Northeast Collaborative Architects, LLC., 500 Plaza Middlesex, Middletown, CT 06457 and their consultants.

ADDENDUMS Addendum 1 dated 11/28/12 Addendum 2 dated 12/3/12

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	Site Utility Plan		
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C-603	Construction Details	11/12/12	
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S-302	Structural Foundation Sections

10/15/12

J.M. Wright Technical High School Additions and Renovations - 12026B-01 (October 31, 2012) Stamford, CT

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A-304	Interior Elevations	10/15/12	
A-305	Interior Elevations	10/15/12	
A-306	Interior Elevations	10/15/12	
A-307	Interior Elevations	10/15/12	
A-308	Interior Elevations	10/15/12	
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A-311	Interior Elevations	10/15/12	
A-313	Interior Elevations	10/15/12	
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A-320	Interior Elevations	10/15/12	
A-321	Interior Elevations	10/15/12	
A-322	Interior Elevations	10/15/12	
A-323	Interior Elevations	10/15/12	
A-324	Interior Elevations	10/15/12	
A-325	Interior Elevations	10/15/12	

DRAWING LIST

DRAWIN	G TITLE	ORIG. DATE	REVISION DATES
	Architecturals (cont.)		
A-326	Interior Elevations	10/15/12	
A-330	Enlarged Floor Plans	10/15/12	
A-331	Millwork Details	10/15/12	
A-332	Millwork Details	10/15/12	
A-333	Science Classroom Millwork Details	10/15/12	
A-334	Millwork Details	10/15/12	
A-340	Enlarged Corridor Plan	10/15/12	
A-341	Interior Corridor Elevations	10/15/12	
A-342	Enlarged Corridor Plan	10/15/12	
A-343	Interior Corridor Elevations	10/15/12	
A-411	Reflected Ceiling Plan Section A1	10/15/12	
A-412	Reflected Ceiling Plan Section A2	10/15/12	
A-413	Reflected Ceiling Plan Section A3	10/15/12	
A-414	Reflected Ceiling Plan Section B1	10/15/12	
A-415	Reflected Ceiling Plan Section B2	10/15/12	
A-416	Reflected Ceiling Plan Section C1	10/15/12	
A-417	Reflected Ceiling Plan Section C2	10/15/12	
A-418	Reflected Ceiling Plan Section C3	10/15/12	
A-421	Reflected Ceiling Plan Section A1	10/15/12	
A-422	Reflected Ceiling Plan Section A2	10/15/12	
A-423	Reflected Ceiling Plan Section A3	10/15/12	
A-430	Ceiling Details	10/15/12	
A-501	Stair Sections	10/15/12	
A-502	Stair/Ramp Details	10/15/12	
A-503	Plumbing Mezzanine Details and Sections	10/15/12	
A-601	Wall Sections	10/15/12	
A-602	Wall Sections	10/15/12	
A-603	Wall Sections	10/15/12	
A-604	Wall Sections	10/15/12	
A-605	Wall Sections	10/15/12	
A-606	WallI Sections	10/15/12	
A-607	Wall Sections	10/15/12	
A-611	Roof Details	10/15/12	
A-612	Roof Details	10/15/12	
A-613	Roof Details	10/15/12	
A-614	Roof Detials	10/15/12	
A-616	Canopy Details	10/15/12	
A-621	Plan Detials	10/15/12	
A-622	Plan Details	10/15/12	
A-623	Plan Detials	10/15/12	
A-624	Plan Details	10/15/12	
A-625	Plan Details	10/15/12	
A-901	Storage Building Plans & Elevations	10/15/12	
F-111	Floor Pattern Plan	10/15/12	
F-112	First Floor Pattern Plan	10/15/12	
F-113	First Floor Pattern Plan - Section A3	10/15/12	

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DRAWING	TITLE	ORIG. DATE	REVISION DATES
	Architecturals (cont.)		
F-114	Floor Pattern Plan	10/15/12	
F-115	First Floor Plattern Plan - Section B2	10/15/12	
F-121	Second Floor Pattern Plan – Section A1	10/15/12	
F-122	Second Floor Pattern Plan – Section A2	10/15/12	
F-123	Second Floor Pattern Plan – Section A3	10/15/12	
	Foodservice Equipment / Equipment / Electonic Security		
K-100	Schedule of Foodservice Equipment & Connections	10/15/12	
K-101	Foodservice Equipment Plan	10/15/12	
K-102	Foodservice Equipment Rough-In Plan	10/15/12	
K-103	Foodservice Equipment Details	10/15/12	
K-104	Foodservice Equipment Details	10/15/12	
EQ-111	First Floor Equipment Plan Section A1	10/15/12	
EQ-112	First Floor Equipment Plan Section A2	10/15/12	
EQ-113	First Floor Equipment Plan Section A3	10/15/12	
EQ-114	First Floor Equipment Plan Section B1	10/15/12	
EQ-115	First Floor Equipment Plan Section B2	10/15/12	
EQ-117	First Floor Equipment Plan Section C2	10/15/12	
EQ-118	First Floor Equipment Plan Section C3	10/15/12	
EQ-121	Second Floor Equipment Plan Section A1	10/25/12	
EQ-122	Second Floor Equipment Plan Section A2	10/25/12	
EQ-123	Second Floor Equipment Plan Section A3	10/25/12	
TY0.01	Electronic Security Site Plan	10/3/12	Not for Construction
TY1.01	Electronic Security Device Locations	10/3/12	Not for Construction
TY1.02	Electronic Security Devise Locations	10/3/12	Not for Construction
TY1.03	Electronic Security Devise Locations	10/3/12	Not for Construction
TY-G01	Electronic Security General Sheet	10/3/12	Not for Construction
	Volume 3		
	Fire Protection		
V-003	General Informtion	10/15/12	
FP-001	Fire Protection Legend, Abbreviations & Symbols	10/15/12	
FP-002	Fire Protection Zone Plan	10/15/12	
FP-111	Fire Protection Plan First Floor A1	10/15/12	
FP-112	Fire Protection Plan First Floor A2	10/15/12	
FP-113	Fire Protection Plan First Floor A3	10/15/12	
FP-114	Fire Protection Plan First Floor B1	10/15/12	
FP-115	Fire Protection Plan First Floor B2	10/15/12	
FP-116	Fire Protection Plan First Floor C1	10/15/12	
FP-117	Fire Protection Plan First Floor C2	10/15/12	
FP-118	Fire Protection Plan First Floor C3	10/15/12	
FP-121	Fire Protection Plan Second Floor A1	10/15/12	
FP-122	Fire Protection Plan Second Floor A2	10/15/12	
FP-122	Fire Protection Plan Second Floor A3	10/15/12	
	Fire Protection Details & Schedule	10/15/12	
FP-501			

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DRAWING	TITLE	ORIG. DATE	REVISION DATES
	Mechanical		
M-001	Mechanical Legend, Abrreviations & Symbols	10/15/12	
MD-101	Mechanical First Floor Ductwork Demolition Plan	10/15/12	
MD-102	Mechanical Second Floor Demolition Plan	10/15/12	
MD-103	Mechanical Roof Demolition Plan	10/15/12	
M-111	Mechanical Ductwork Plan First Floor A1	10/15/12	
M-112	Mechanical Ductwork Plan First Floor A2	10/15/12	
M-113	Mechanical Ductwork Plan First Floor A3	10/15/12	
M-114	Mechanical Ductwork Plan First Floor B1	10/15/12	
M-115	Mechanical Ductwork Plan First Floor B2	10/15/12	
M-116	Mechanical Ductwork Plan First Floor C1	10/15/12	
M-117	Mechanical Ductwork Plan First Floor C2	10/15/12	
M-118	Mechanical Ductwork Plan First Floor C3	10/15/12	
M-119	Mechanical Storage Building	10/15/12	
M-121	Mechanical Ductwork Plan Second Floor A1	10/15/12	
M-122	Mechanical Ductwork Plan Second Floor A2	10/15/12	
M-123	Mechanical Ductwork Plan Second Floor A3	10/15/12	
M-131	Mechanical Roof Plan	10/15/12	
M-211	Mechanical Hydronic Piping Plan First Floor A1	10/15/12	
M-212	Mechanical Hydronic Piping Plan First Floor A2	10/15/12	
M-213	Mechanical Hydronic Piping Plan First Floor A3	10/15/12	
M-214	Mechanical Hydronic Piping Plan First Floor B1	10/15/12	
M-215	Mechanical Hydronic Piping Plan First Floor B2	10/15/12	
M-216	Mechanical Hydronic Piping Plan First Floor C1	10/15/12	
M-217	Mechanical Hydronic Piping Plan First Floor C2	10/15/12	
M-218	Mechanical Hydronic Piping Plan First Floor C3	10/15/12	
M-221	Mechanical Hydronic Piping Plan Second Floor A1	10/15/12	
M-222	Mechanical Hydronic Piping Plan Second Floor A2	10/15/12	
M-223	Mechanical Hydronic Piping Plan Second Floor A3	10/15/12	
M-301	Mechanical Partial Plans	10/15/12	
M-302	Mechanical Education Equipment Plan	10/15/12	
M-401	Mechanical Chilled Water Flow Diagram	10/15/12	
M-402	Mechanical Hot Water Flow Diagram	10/15/12	
M-403	AHU-1A, 1B Control Schematic-Airflow Diagram	10/15/12	
M-404	AHU-2 Control Schematic-Airflow Diagram	10/15/12	
M-405	AHU-3 Control Schematic-Airflow Diagram	10/15/12	
M-406	AHU-4 Control Schematic-Airflow Diagram	10/15/12	
M-407	AHU-5 Control Schematic-Airflow Diagram	10/15/12	
M-408	AHU-6, 8 Control Schematic-Airflow Diagram	10/15/12	
M-409	AHU-7 Control Schematic-Airflow Diagram	10/15/12	
M-410	AHU-9, 10, 11 Control Schematic-Airflow Diagram	10/15/12	
M-411	AHU-12A, 12B, 13, 14 Control Schematic-Airflow Diagram	10/15/12	
M-412	AHU-15, 16 Control Schematic-Airflow Diagram	10/15/12	

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DRAWING	TITLE	ORIG. DATE	REVISION DATES
	Mechanical (cont.)		
M-413	AHU-17, 18, 19 Control Schematic-Airflow	10/15/12	
101 +13	Diagram	10/10/12	
M-414	AHU-20, 21 Control Schematic-Airflow Diagram	10/15/12	
M-415	Mechanical Hydronic Piping Flow Diagram First Floor C1, C2, C3	10/15/12	
M-416	Mechanical Hydronic Piping Flow Diagram First Floor B1, B2	10/15/12	
M-417	Mechanical Hydronic Piping Flow Diagram First Floor A1	10/15/12	
M-418	Mechanical Hydronic Piping Flow Diagram Second Floor A1, A2	10/15/12	
M-419	Mechanical Hydronic Piping Flow Diagram Second Floor A3	10/15/12	
M-420	Chilled Water Piping Flow Diagram	10/15/12	
M-421	Mechanical Hydronic Piping Flow Diagram First Floor A2	10/15/12	
M-501	Mechanical Details	10/15/12	
M-601	Mechanical Schedules	10/15/12	
M-602	Mechanical Schedules	10/15/12	
M-603	Mechanical Schedules	10/15/12	
M-604	Mechanical Schedules	10/15/12	
	Plumbing		
P-001	Plumbing Legend, Abbreviations & Symbols	10/15/12	
PD-101	Plumbing Basement Demolition Plan	10/15/12	
PD-111	Plumbing Demolition Plan First Floor A1	10/15/12	
PD-112	Plumbing Demolition Plan First Floor A2	10/15/12	
PD-113	Plumbing Demolition Plan First Floor A3	10/15/12	
PD-114	Plumbing Demolition Plan First Floor B1	10/15/12	
PD-115	Plumbing Demolition Plan First Floor B2	10/15/12	
PD-116	Plumbing Demolition Plan First Floor C1	10/15/12	
PD-117	Plumbing Demolition Plan First Floor C2	10/15/12	
PD-118	Plumbing Demolition Plan First Floor C3	10/15/12	
PD-121	Plumbing Demolition Plan Second Floor A1	10/15/12	
PD-122	Plumbing Demolition Plan Second Floor A2	10/15/12	
PD-123	Plumbing Demolition Plan Second Floor A3	10/15/12	
P-111	Plumbing Drainage & Vent Piping Plan First Floor A1	10/15/12	
P-112	Plumbing Drainage & Vent Piping Plan First Floor A2	10/15/12	
P-113	Plumbing Drainage & Vent Piping Plan First Floor A3	10/15/12	
P-114	Plumbing Drainage & Vent Piping Plan First Floor B1	10/15/12	
P-115	Plumbing Drainage & Vent Piping Plan First Floor B2	10/15/12	
P-116	Plumbing Drainage & Vent Piping Plan First Floor C1	10/15/12	

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	Plumbing (cont.)		
P-117	Plumbing Drainage & Vent Piping Plan First	10/15/12	
	Floor C2		
P-118	Plumbing Drainage & Vent Piping Plan First Floor C3	10/15/12	
P-121	Plumbing Drainage & Vent Piping Plan Second Floor A1	10/15/12	
P-122	Plumbing Drainage & Vent Piping Plan Second Floor A2	10/15/12	
P-123	Plumbing Drainage & Vent Piping Plan Second Floor A3	10/15/12	
P-131	Plumbing Drainage & Vent Piping Roof Plan	10/15/12	
P-211	Plumbing Potable & Natural Gas Piping Plan First Floor A1	10/15/12	
P-212	Plumbing Potable & Natural Gas Piping Plan First Floor A2	10/15/12	
P-213	Plumbing Potable & Natural Gas Piping Plan First Floor A3	10/15/12	
P-214	Plumbing Potable & Natural Gas Piping Plan First Floor B1	10/15/12	
P-215	Plumbing Potable & Natural Gas Piping Plan First Floor B2	10/15/12	
P-216	Plumbing Potable & Natural Gas Piping Plan First Floor C1	10/15/12	
P-217	Plumbing Potable & Natural Gas Piping Plan First Floor C2	10/15/12	
P-218	Plumbing Potable & Natural Gas Piping Plan First Floor C3	10/15/12	
P-219	Mechanical Potable Piping Plan Storage Building	10/15/12	
P-221	Plumbing Potable & Natural Gas Piping Plan Second Floor A1	10/15/12	
P-222	Plumbing Potable & Natural Gas Piping Plan Second Floor A2	10/15/12	
P-223	Plumbing Potable & Natural Gas Piping Plan Second Floor A3	10/15/12	
P-301	Plumbing Drainage & Vent Piping Partial Plans	10/15/12	
P-302	Plumbing Drainage & Vent Piping Partial Plans	10/15/12	
P-303	Plumbing Drainage & Vent Piping Partial Plans	10/15/12	
P-401	Plumbing Potable & Natural Gas Piping Partial Plans	10/15/12	
P-402	Plumbing Potable & Natural Gas Piping Partial Plans	10/15/12	
P-403	Plumbing Potable & Natural Gas Piping Partial Plans	10/15/12	
P-501	Plumbing Details	10/15/12	
P-502	Plumbing Kitchen Drainage & Vent Riser Diagram	10/15/12	
P-503	Plumbing Kitchen Potable Riser Diagram	10/15/12	

DRAWING LIST

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DRAWING	TITLE	DATE	REVISION DATES

P-504 Plumbing Drainage & Vent Riser Diagram 10/15/12 P-505 Plumbing Potable Riser Diagram 10/15/12 P-506 Plumbing Potable Riser Diagram 10/15/12 P-507 Plumbing Potable Riser Diagram 10/15/12 P-601 Plumbing Schedule 10/15/12 P-601 Plumbing Schedule 10/15/12 E-001 Electrical 10/15/12 E-001 Electrical Sto Plan 10/15/12 E0-001 Electrical Bornor Plan 10/15/12 ED-101 Electrical Basement Derno Plan 10/15/12 ED-111 Electrical First Floor Derno Plan Setion A1 10/15/12 ED-112 Electrical First Floor Derno Plan Setion A2 10/15/12 ED-113 Electrical First Floor Derno Plan Setion C3 10/15/12 ED-114 Electrical First Floor Derno Plan Setion C3 10/15/12 ED-115 Electrical First Floor Derno Plan Setion C3 10/15/12 ED-114 Electrical First Floor Derno Plan Setion C3 10/15/12 ED-115 Electrical First Floor Derno Plan Setion C3 10/15/12 ED-117 </th <th></th> <th>Plumbing (cont.)</th> <th></th>		Plumbing (cont.)	
P-506 Plumbing Potable Riser Diagram 10/15/12 P-507 Plumbing Schedule 10/15/12 P-601 Plumbing Schedule 10/15/12 E-001 Electrical 10/15/12 E-001 Electrical Site Plan 10/15/12 E-002 Electrical Demolition Notes, Shedule & Ledgend 10/15/12 ED-001 Electrical Demolition Notes, Shedule & Ledgend 10/15/12 ED-101 Electrical Basement Demo Plan 10/15/12 ED-112 Electrical First Floor Demo Plan Setion A1 10/15/12 ED-113 Electrical First Floor Demo Plan Setion A2 10/15/12 ED-114 Electrical First Floor Demo Plan Setion C3 10/15/12 ED-115 Electrical First Floor Demo Plan Setion C3 10/15/12 ED-116 Electrical First Floor Demo Plan Setion C3 10/15/12 ED-117 Electrical First Floor Demo Plan Setion B1 10/15/12 ED-118 Electrical Second Floor Demo Plan Setion A1 10/15/12 ED-114 Electrical Second Floor Demo Plan Setion A2 10/15/12 ED-121 Electrical Roor Demo Plan Setion A3 10/15/1	P-504	Plumbing Drainage & Vent Riser Diagram	10/15/12
P-507 Plumbing Potable Riser Diagram 10/15/12 P-601 Plumbing Schedule 10/15/12 E-001 Electrical Ledgend & Abbreviations 10/15/12 E-002 Electrical Stie Plan 10/15/12 ED-001 Electrical Demolition Notes, Shedule & Ledgend 10/15/12 ED-001 Electrical Stie Plan 10/15/12 ED-001 Electrical Stie Demo Plan 10/15/12 ED-101 Electrical First Floor Demo Plan Setion A1 10/15/12 ED-111 Electrical First Floor Demo Plan Setion A3 10/15/12 ED-112 Electrical First Floor Demo Plan Setion A3 10/15/12 ED-113 Electrical First Floor Demo Plan Setion C1 10/15/12 ED-114 Electrical First Floor Demo Plan Setion C2 10/15/12 ED-115 Electrical First Floor Demo Plan Setion C3 10/15/12 ED-116 Electrical First Floor Demo Plan Setion B1 10/15/12 ED-117 Electrical First Floor Demo Plan Setion A1 10/15/12 ED-118 Electrical First Floor Demo Plan Setion A1 10/15/12 ED-119 Electrical First Floor Demo Plan Setion A1 10/15/12 ED-121 Electrical Roof Demo Plan Setion A1 10/15/12 ED-122 Electrical Roof Demo Plan Setion A1 10/15/12 ED	P-505	Plumbing Drainage & Vent Riser Diagram	10/15/12
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E-001Electical Ledgend & Abbreviations10/15/12E-002Electrical Ste Plan10/15/12ED-001Electrical Ste Demo Notes, Shedule & Ledgend10/15/12ED-010Electrical Ste Demo Plan10/15/12ED-111Electrical First Floor Demo Plan Setion A110/15/12ED-112Electrical First Floor Demo Plan Setion A310/15/12ED-113Electrical First Floor Demo Plan Setion A210/15/12ED-114Electrical First Floor Demo Plan Setion C210/15/12ED-115Electrical First Floor Demo Plan Setion C310/15/12ED-116Electrical First Floor Demo Plan Setion C310/15/12ED-117Electrical First Floor Demo Plan Setion C310/15/12ED-118Electrical First Floor Demo Plan Setion B110/15/12ED-117Electrical First Floor Demo Plan Setion A110/15/12ED-118Electrical Second Floor Demo Plan Setion A110/15/12ED-121Electrical Second Floor Demo Plan Setion A210/15/12ED-132Electrical Roof Demo Plan Setion A210/15/12ED-131Electrical Power Plan First Floor Section A310/15/12E-114Electrical Power Plan First Floor Section A210/15/12E-115Electrical Power Plan First Floor Section A310/15/12E-114Electrical Power Plan First Floor Section C110/15/12E-115Electrical Power Plan First Floor Section C110/15/12E-114Electrical Power Plan First Floor Section C310/15/12E-115Electrical Power Plan First Floor Sectio	P-601	Plumbing Schedule	10/15/12
E-001Electical Ledgend & Abbreviations10/15/12E-002Electrical Ste Plan10/15/12ED-001Electrical Ste Demo Notes, Shedule & Ledgend10/15/12ED-010Electrical Ste Demo Plan10/15/12ED-111Electrical First Floor Demo Plan Setion A110/15/12ED-112Electrical First Floor Demo Plan Setion A310/15/12ED-113Electrical First Floor Demo Plan Setion A210/15/12ED-114Electrical First Floor Demo Plan Setion C210/15/12ED-115Electrical First Floor Demo Plan Setion C310/15/12ED-116Electrical First Floor Demo Plan Setion C310/15/12ED-117Electrical First Floor Demo Plan Setion C310/15/12ED-118Electrical First Floor Demo Plan Setion B110/15/12ED-117Electrical First Floor Demo Plan Setion A110/15/12ED-118Electrical Second Floor Demo Plan Setion A110/15/12ED-121Electrical Second Floor Demo Plan Setion A210/15/12ED-132Electrical Roof Demo Plan Setion A210/15/12ED-131Electrical Power Plan First Floor Section A310/15/12E-114Electrical Power Plan First Floor Section A210/15/12E-115Electrical Power Plan First Floor Section A310/15/12E-114Electrical Power Plan First Floor Section C110/15/12E-115Electrical Power Plan First Floor Section C110/15/12E-114Electrical Power Plan First Floor Section C310/15/12E-115Electrical Power Plan First Floor Sectio			
E-002Electrical Site Plan10/15/12ED-001Electrical Site Plan10/15/12ED-002Electrical Site Demo Plan10/15/12ED-101Electrical Basement Demo Plan10/15/12ED-111Electrical First Floor Demo Plan Setion A110/15/12ED-112Electrical First Floor Demo Plan Setion A210/15/12ED-113Electrical First Floor Demo Plan Setion A210/15/12ED-114Electrical First Floor Demo Plan Setion C110/15/12ED-115Electrical First Floor Demo Plan Setion C210/15/12ED-116Electrical First Floor Demo Plan Setion C310/15/12ED-117Electrical First Floor Demo Plan Setion B110/15/12ED-118Electrical First Floor Demo Plan Setion B110/15/12ED-119Electrical First Floor Demo Plan Setion B210/15/12ED-112Electrical Second Floor Demo Plan Setion A110/15/12ED-123Electrical Second Floor Demo Plan Setion A110/15/12ED-131Electrical Power Plan First Floor Section A110/15/12E-111Electrical Power Plan First Floor Section A110/15/12E-113Electrical Power Plan First Floor Section A210/15/12E-114Electrical Power Plan First Floor Section A210/15/12E-115Electrical Power Plan First Floor Section A210/15/12E-116Electrical Power Plan First Floor Section A210/15/12E-117Electrical Power Plan First Floor Section A210/15/12E-118Electrical Power Plan First Floor Section A210/1		Electrical	
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E-118Electrical Power Plan First Floor Section C310/15/12E-119Electrical Power Plan Garage10/15/12E-121Electrical Power Plan Second Floor Section A110/15/12E-122Electrical Power Plan Second Floor Section A210/15/12E-123Electrical Power Plan Second Floor Section A310/15/12E-131Electrical Power Plan Roof10/15/12E-211Electrical Lighting Plan First Floor Section A110/15/12E-212Electrical Lighting Plan First Floor Section A110/15/12E-213Electrical Lighting Plan First Floor Section A210/15/12E-214Electrical Lighting Plan First Floor Section B110/15/12E-215Electrical Lighting Plan First Floor Section B210/15/12E-216Electrical Lighting Plan First Floor Section C110/15/12E-217Electrical Lighting Plan First Floor Section C210/15/12	E-116	Electrical Power Plan First Floor Section C1	10/15/12
E-119Electrical Power Plan Garage10/15/12E-121Electrical Power Plan Second Floor Section A110/15/12E-122Electrical Power Plan Second Floor Section A210/15/12E-123Electrical Power Plan Second Floor Section A310/15/12E-131Electrical Power Plan Roof10/15/12E-211Electrical Lighting Plan First Floor Section A110/15/12E-212Electrical Lighting Plan First Floor Section A210/15/12E-213Electrical Lighting Plan First Floor Section A310/15/12E-214Electrical Lighting Plan First Floor Section B110/15/12E-215Electrical Lighting Plan First Floor Section B210/15/12E-216Electrical Lighting Plan First Floor Section C110/15/12E-217Electrical Lighting Plan First Floor Section C210/15/12	E-117	Electrical Power Plan First Floor Section C2	10/15/12
E-121Electrical Power Plan Second Floor Section A110/15/12E-122Electrical Power Plan Second Floor Section A210/15/12E-123Electrical Power Plan Second Floor Section A310/15/12E-131Electrical Power Plan Roof10/15/12E-211Electrical Lighting Plan First Floor Section A110/15/12E-212Electrical Lighting Plan First Floor Section A210/15/12E-213Electrical Lighting Plan First Floor Section A210/15/12E-214Electrical Lighting Plan First Floor Section B110/15/12E-215Electrical Lighting Plan First Floor Section B210/15/12E-216Electrical Lighting Plan First Floor Section C110/15/12E-217Electrical Lighting Plan First Floor Section C210/15/12	E-118	Electrical Power Plan First Floor Section C3	10/15/12
E-122Electrical Power Plan Second Floor Section A210/15/12E-123Electrical Power Plan Second Floor Section A310/15/12E-131Electrical Power Plan Roof10/15/12E-211Electrical Lighting Plan First Floor Section A110/15/12E-212Electrical Lighting Plan First Floor Section A210/15/12E-213Electrical Lighting Plan First Floor Section A310/15/12E-214Electrical Lighting Plan First Floor Section B110/15/12E-215Electrical Lighting Plan First Floor Section B210/15/12E-216Electrical Lighting Plan First Floor Section C110/15/12E-217Electrical Lighting Plan First Floor Section C210/15/12	E-119	Electrical Power Plan Garage	10/15/12
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E-131Electrical Power Plan Roof10/15/12E-211Electrical Lighting Plan First Floor Section A110/15/12E-212Electrical Lighting Plan First Floor Section A210/15/12E-213Electrical Lighting Plan First Floor Section A310/15/12E-214Electrical Lighting Plan First Floor Section B110/15/12E-215Electrical Lighting Plan First Floor Section B210/15/12E-216Electrical Lighting Plan First Floor Section C110/15/12E-217Electrical Lighting Plan First Floor Section C210/15/12	E-122	Electrical Power Plan Second Floor Section A2	10/15/12
E-211Electrical Lighting Plan First Floor Section A110/15/12E-212Electrical Lighting Plan First Floor Section A210/15/12E-213Electrical Lighting Plan First Floor Section A310/15/12E-214Electrical Lighting Plan First Floor Section B110/15/12E-215Electrical Lighting Plan First Floor Section B210/15/12E-216Electrical Lighting Plan First Floor Section C110/15/12E-217Electrical Lighting Plan First Floor Section C210/15/12	E-123	Electrical Power Plan Second Floor Section A3	10/15/12
E-212Electrical Lighting Plan First Floor Section A210/15/12E-213Electrical Lighting Plan First Floor Section A310/15/12E-214Electrical Lighting Plan First Floor Section B110/15/12E-215Electrical Lighting Plan First Floor Section B210/15/12E-216Electrical Lighting Plan First Floor Section C110/15/12E-217Electrical Lighting Plan First Floor Section C210/15/12	E-131	Electrical Power Plan Roof	10/15/12
E-213Electrical Lighting Plan First Floor Section A310/15/12E-214Electrical Lighting Plan First Floor Section B110/15/12E-215Electrical Lighting Plan First Floor Section B210/15/12E-216Electrical Lighting Plan First Floor Section C110/15/12E-217Electrical Lighting Plan First Floor Section C210/15/12	E-211	Electrical Lighting Plan First Floor Section A1	10/15/12
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E-215Electrical Lighting Plan First Floor Section B210/15/12E-216Electrical Lighting Plan First Floor Section C110/15/12E-217Electrical Lighting Plan First Floor Section C210/15/12	E-213	Electrical Lighting Plan First Floor Section A3	10/15/12
E-216Electrical Lighting Plan First Floor Section C110/15/12E-217Electrical Lighting Plan First Floor Section C210/15/12	E-214	Electrical Lighting Plan First Floor Section B1	10/15/12
E-217 Electrical Lighting Plan First Floor Section C2 10/15/12	E-215	Electrical Lighting Plan First Floor Section B2	10/15/12
	E-216	Electrical Lighting Plan First Floor Section C1	10/15/12
E-218 Electrical Lighting Plan First Floor Section C3 10/15/12	E-217	Electrical Lighting Plan First Floor Section C2	10/15/12
	E-218	Electrical Lighting Plan First Floor Section C3	10/15/12

DRAWING LIST

As prepared by Northeast Collaborative Architects, LLC., and their consultants.

DRAWING TITLE		ORIG. DATE	REVISION DATES
	Electrical (cont.)		
E-221	Electrical Lighting Plan Second Floor Section A1	10/15/12	
E-222	Electrical Lighting Plan Second Floor Section A2	10/15/12	
E-223	Electrical Lighting Plan Second Floor Section A2	10/15/12	
E-311	Electrical Systems Plan First Floor Section A1	10/15/12	
E-312	Electrical Systems Plan First Floor Section A2	10/15/12	
E-312	Electrical Systems Plan First Floor Section A3	10/15/12	
E-313	Electrical Systems Plan First Floor Section B1	10/15/12	
E-314 E-315	Electrical Systems Plan First Floor Section B1	10/15/12	
E-315 E-316		10/15/12	
E-316 E-317	Electrical Systems Plan First Floor Section C1	10/15/12	
E-317 E-318	Electrical Systems Plan First Floor Section C2		
	Electrical Systems Plan First Floor Section C3	10/15/12	
E-321	Electrical Systems Plan Second Floor Section A1	10/15/12	
E-322	Electrical Systems Plan Second Floor Section A2	10/15/12	
E-323	Electrical Systems Plan Second Floor Section A3	10/15/12	
E-331	Electrical Systems Plan Roof	10/15/12	
E-401	Electrical Power One Line Diagram Removals	10/15/12	
E-402	Electrical Power One Line Diagram Proposed	10/15/12	
E-403	Electrical Kitched Equipment Schedule	10/15/12	
E-404	Electrical Motor Schedule and Facility Mgt Schedule	10/15/12	
E-501	Electrical Fixture Schedule	10/15/12	
E-502	Electrical Panel Schedule-Service A	10/15/12	
E-503	Electrical Panel Schedule-Service A	10/15/12	
E-504	Electrical Panel Schedule-Service A	10/15/12	
E-505	Electrical Panel Schedule-Service A	10/15/12	
E-506	Electrical Panel Schedule-Service B	10/15/12	
E-507	Electrical Panel Schedule-Service B	10/15/12	
E-508	Electrical Panel Schedule-Service B	10/15/12	
E-509	Electrical Panel Schedule-Service B	10/15/12	
E-601	Electrical Enlarged Kitchen Plan	10/15/12	
E-701	Electrical Details	10/15/12	
E-702	Electrical Details	10/15/12	
E-703	Electrical Details	10/15/12	
E-704	Electrical Details	10/15/12	
E-705	Electrical Details	10/15/12	
E-706	Electrical System Details	10/15/12	
E-707	Electrical Details-Gym Sound System	10/15/12	
E-708	Electrical Details-Lecture Room Sound System	10/15/12	
E-709	Electrical Detail-Cafeteria Sound System	10/15/12	

End of Drawing List

J.M. Wright Technical High School

BIDDERS Request for Information Log

Question 1: (Manafort Brothers Inc; Sent Thursday November 29 11:06 am)

The roof requires abatement of all perimeter flashings (at edge of roof as well as intersections estimated at 16,440 SF).

Response:

Perimeter flashing abatement will only be required where the entire structure is removed for the new entries in areas A-1 and A-2. The remaining roof perimeters will be removed under a separate package.

Question 2: (Manafort Brothers Inc; Sent Thursday November 29 11:06 am)

In addition all of the penetrations have ACM flashing. There are over 300 penetration locations that require flashing removal.

Response:

Only removal of flashings at existing roof top equipment and related curbs and new penetrations for roof top equipment shown on the contract documents are to be removed. Plumbing vents, roof drains, elect. Conduits flashings to remain and are included in part of a separate package.

Question 3: (Manafort Brothers Inc; Sent Thursday November 29 11:06 am)

The specifications call for protection by the Abatement Contractor after ACM flashings have been removed prior to the installation of the new roof. The amount of protection required would be rather significant.

Response:

Only protect openings left from abatement and demolition of existing and new roof top equipment and related curbs and flashings from fall and weather intrusion all other small penetrations will be completed under a separate package.

Question 3: (Manafort Brothers Inc; Sent Thursday November 29 11:06 am)

The roof removal (ACM) could be performed by the roofing contractor which would alleviate the need for costly protection and allow better coordination of removal and replacement. Please confirm that you want the ACM Contractor to remove the ACM roofing and protect the roof until the new roof is installed.

Response:

ACM contractor to only remove ACM roof in A-1 and A-2 as identified in RFI response #1. ACM contractor to protect the roof in areas A-1 and A-2 until the new roof is installed.

Question 4: (Manafort Brothers Inc; Sent Thursday November 29 11:06 am)

Who is responsible for the maintenance and removal of roofing protection?

Response:

Demolition Bidder is responsible until new roof work commences in the area of roof.

Questions 5: (Manafort Brothers Inc; Sent Thursday November 29 11:06 am)

How long will the protection need to be maintained?

Response:

Roof protection will be required until the new roof work commences in the area of roof.

Question 6: (Guerrera Construction Company Sent Thursday November 29, 2012 1:24 pm)

Regarding the Sitework Scope of Work. Please refer to paragraph (N) under Site Security / Temp Facilities. This items call for the site work contractor to provide allowance for temp heat including 3800 lf of black iron piping. Can you put this in the Mechanical Contractors scope of work as this is not something we ever get involved with and would end up subcontracting out anyway?

Response:

Black Iron piping must be included in Bid Pricing No Exceptions.

Questions 7: (Guerrera Construction Company Thursday November 29, 2012 3:05 pm)

Please respond to the following questions regarding the Sitework scope of work for this Bid General Requirements B. Provide 2 laborers for 7 months daily cleanup. Are these 2 laborers for 8 hours per day for 7 Months, or a few hours per day for 7 months; is this an allowance or Lump Sum?

Response:

2 Laborers for 8hrs per day for 7 months, it's an Allowance.

Question 8: <u>Site Security/Temp Facilities</u>

T. Furnish and Install Temp Power to trailers. Can you put this in the Electrical Contractors Scope of work as this is not something we self-perform?

Response:

Must be included in Bid Pricing within the sitework package.

Question 9: <u>Site Security/Temp Facilities</u>

U. Dumpsters for this scope of work. Does this mean just for our use only to cover the sitework scope of work?

Response:

NO Dumpsters for Building construction debris by Others. See Item S for site contractors debris

Question 10: <u>Site Security/Temp Facilities</u>

V. Do you want the Sitework Contractor to clean and provide supplies listed for the CM and Owner's Field Trailer once a week?

Response:

Yes, Owners trailer only.

Question 11: <u>Site Security/Temp Facilities</u>

W. Provide 80 dumpsters – Can you put this in the General Trades scope of work because we are not familiar with LEED Requirements for any other trades but ours.

Response:

No

Question 12: <u>Site Security/Temp Facilities</u>

Are the dumpsters to be paid as an allowance based on actual cost or is it lump sum in the bid?

Response:

The allowance is based on an actual cost of a 4 ton dumpster pick. Provide unit pricing as justified by hauler documentation.

Question 13: <u>Site Security/Temp Facilities</u>

X. Fire Extinguishers – Can you put in General Trades scope of work?

Response:

No, must be included in bid pricing

Question 14: <u>Site Security/Temp Facilities</u>

Y. Exterminator - Can you put in General Trades scope of work?

Response:

No, must be provided in sitework bid pricing

Question 15: <u>Site Security/Temp Facilities</u>

Z. Temp Toilets - Can you put in General Trades scope of work?

Response:

No, must be provided in sitework bid pricing

Question 16: (ASCA Tuesday November 27, 2012 and November 29 2012 2:21 pm)

ASCA would like to quote the metal sunshades in section 084413 Can you please confirm they are not part of the bid packages bidding on 12/05 / 12

Response:

Confirmed, not part of bid packages due on 12/05/12

Question 17:

Can we submit a substitution request for the metal sunshade now to try and become listed as an approved manufacturer?

Response:

See Section 084413 page 4 of 8 Part 2 Products Item "A" Products of other manufacturers will be acceptable, subject to compliance with these specifications listed.

Question 18: (Guerrera 12/30/12)

It states that we are to install sanitary sewer to interior of building. We are not licensed to install sewer inside a building, only to the foundation. Typically the mechanical contractor will install the sewer within the building. Please clarify

Response:

Install all sanitary sewage systems to within 5'-0" of foundations of building. Coordinate final connections with plumbing subcontractor, see Utilities Item J.

Question 19: (Guerrera 12/30/12)

It states we are to run water main inside building, we are not licensed to install plumbing inside buildings, this is typical done by a mechanical contractors. Please clarify

Response:

Provided completed and tested water main to within 5'-0" of the building foundation coordinate with plumbing contractor or fire protection contractor tie in's into buildings.

Question 20:

It states we are to relocate gas meters if necessary, make this an allowance because the gas company does this work and there is no way to determine the cost prior to bid

Response: (Guerrera 12/30/12)

Yes carry a \$5,000 allowance for this work. Subject to final review.

Question 21: (Guerrera 12/30/12)

Is there any chance this bid might be postponed again to give us more time to put the bid together?

Response:

No Bids are Due Dec 5th at 2 pm.



Request for Information

12026P-01 - J.M. Wright Regional Vo-Tech School Precon

RFI# 2	15		Date Cr	eated: 11/21/2012			
Submitted To:			Submitted	Bw:			
John Scheib			Ryan Bent	Submitted By:			
Northeast Collabora	ative Architects LLC			ng Corporation			
500 Plaza Middlese				n Park Road			
Middletown, CT 06			Farmington				
Phone: 860.344.93	32			60) 284-7467			
Email: jscheib@nc	architects.com		Email: rber	ntz@kbebuilding.com	n		
Subject:			Discipline:				
Lead Survey Spec	Section 00 31 00		S	KBE Building Cor	rporation		
Out with the	D / #						
Submittal #:	Drawing #:	Adden	dum:	Spec Section:	Schedule #:		
				00 31 00			
Distribution:			2 - 1 - 1 - 1 - 2				
s. ¹¹⁴⁰							
12							
N							
Information Reque	sted:	100		Date Required.	: 11/28/2012		
We have reviewed	Specifications Section	on 00 01 1	0 TABLE OF	CONTENTS PROJI	ECT MANUAL -		
CMR Page 1 of 12	Volume 1 of 3 Section	on No. 00 3	31 00 Availab	le Information Item	00 31 26.23 General		
				t, but found No infor	mation on Lead		
containing materials	s survey. Will a Surv	vey be prov	/ided?				
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				al steel, and cutting a	and grinding of		
existing painted ma	terials throughout th	e Building	17		÷		
- M							
		2					
Answer Received:				Date Received	d:		
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LEAD AWARENESS SPEC 11/21/12							
FORWARDED ON 11/21/12							
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6							
3							

<u>30 Batterson Park Road, Farmington, CT 06032</u> Phone: (860)284-7110 Fax: (860)284-1174



Request for Information

12026P-01 - J.M. Wright Regional Vo-Tech School Precon

RFI# 4 Date				eated: 11/21/2012		
Submitted To:			Submitted By:			
John Scheib			Ryan Benta			
ALCORPORATE CONTRACTOR STRUCTURES.	orative Architects LL	C		ng Corporation		
500 Plaza Middle		0		n Park Road		
Middletown, CT			Farmington			
Phone: 860.344.				50) 284-7467		
Email: jscheib@				ntz@kbebuilding.co	m	
	iouronicoccio com		Lindii Iboli	itz@itbobuilding.oo	411	
Subject:			Discipline:	Co-Author:	States and the states of the states	
Submittal Review	/ Time		A	KBE Building Co	prooration	
Submittal #:	Drawing #:	Adden	dum:	Spec Section:	Schedule #:	
				01 33 00		
Distribution: Information Reg	ulested.			Date Required	4.	
		time 145	Submittel Dree		ction 01-33-00 Item A	
	der days while 1.6 St					

Answer Received:

Date Received:

11/26/12

SECTION 1.4 IS CORRECT. & VAYS, BUT PLEASE NOTE PARAGRAPH ON "MASS SUBMITTALS"



PROPOSAL FORM – BP 001.1 SITE WORK BID FORM

J. M. WRIGHT TECHNICAL HIGH SCHOOL STATE PROJECT # BI-RT-842-CMR

Directions for Bid Forms

This Bid Form identifies the major type of work required for this Bid Package. The Bidder is to provide pricing as follows:

A. LUMP SUM TOTAL for this Bid Package. A Lump Sum amount is required for each item on this form. The amount is to include labor, material, supervision, tools, supplies, equipment, direct or indirect expenses, overhead, profit, insurance, bonding, and any applicable taxes necessary to perform the full obligations as set forth in this Bid Package.

B. ALLOWNACES. The Allowances are to be incorporated into the selected bidder's Scope of Work. Allowances are to be provided in accordance with specifications section 01 22 00 and as indicated in the subcontractor's scope of work.

C. UNIT PRICING: Unit Prices will be used to add or delete work from the contract sum by change order in the event the project Scope of Work is altered. Each unit price shall include all equipment, tools, operators, fuel, maintenance, mobilization, demobilization, insurance, permits, fees, bond, overhead and profit incidental to the installation and completion of the work involved.

D. ADDENDA CONFIRMATION. This form is acknowledgment of receipt of all applicable addenda. Failure to list all issued addenda will be grounds for disqualifications.

E. BID ITEMS – Bidders are required to submit pricing for each individual bid package. No bidder may withdraw its bid during the bid review period.

F. Bidder unconditionally agrees (if awarded) to all terms and conditions of the Bid Documents, and that failure of Bidder (if awarded) to execute a. contract consistent with its bid will subject Bidder to automatic forfeiture of Bidders Bid Security.

G. A checklist for required forms is provided within the bid form. Each line item shall be initialed to confirm receipt and acceptance of each item. All Bid Forms to be signed and dated in the space indicated.

Bid Item A: Base bid

1) Base Bid (including Payment, Performance Bond, Allowances & Work Authorization #2):

(in numbers) \$				
(in words)				and 00/100 Dollars
2) 100% Labor & Materials Paya	ment	& Performa	nce Bond (Breakou	t)
(in numbers) \$				
(in words)				
3) 100 % Labor & Material Work Au	thoriza	ation #2		
(in numbers) \$			-	
(in words)				
Section 023000 - Subsurface Investig			(Sum of A thru B)	1
Section 023000 - Subsurace investig		Material Labor		' <u></u>
Section 024113- Selective Site Demol	ition		(Sum of C thru D)	2
	C. D.	Materia Labor	al	
Section 024119- Selective Demolition			(Sum of E thru F)	3
	E. F.	Materia Labor	al	
				Page 1 of 10
J		s and Renova Technical Hig		00 41 00

Stamford CT

Section 028300- Lead Awareness			(Sum of G thru H)	4
	G. H.	Materia Labor	l	
Section 030130- Maintenance of Ca	ist-In-Place (Concrete	(Sum of I thru J)	5
	І. J.	Materia Labor	I	
Section 033000- Cast-In-Place Con	crete		(Sum of K thru L)	6
	К. L.	Materia Labor	I	
Section 040120- Maintenance of Ur Precast Concrete and Limestone	nit Masonry	&	(Sum of M thru N)	7
	M. N.	Materia Labor	I	
Section 042000- Unit Masonry			(Sum of O thru P)	8
	О. Р.	Materia Labor	I	
Section 047200- Cast Stone Mason	ſУ		(Sum of Q thru R)	9
	Q. R.	Materia Labor	I	
Section 055214- Exterior Metal Rail	ings		(Sum of S thru T)	10
	S. T.	Materia Labor	l	
Section 072100 Thermal Insulation			(Sum of U thru V)	11
	U. V.	Materia Labor	I	
Section 107500 Flagpoles			(Sum of W thru X)	12
	W. X.	Materia Labor	I	
				Page 2 of 10
Project # BI-RT-842 JN	Additions and I Wright Tech Stam			00 41 00

Section 129300 Site Furnishings			(Sum of Y thru Z)	13
	Y. Z.	Materia Labor	I	
Section 310519.13- Geotextiles			(Sum of AA thru BB)	14
	AA. BB.	Materia Labor	I	
Section 311000 Site Clearing			(Sum of CC thru DD)	15
	CC. DD.		I	
Section 312316.16- Structure excavation Backfilling and Compaction	٦,		(Sum of EE thru FF)	16
	EE. FF.	Materia Labor	I	
Section 312319- Dewatering			(Sum of GG thru HH)	17
	GG. HH.	Materia Labor	l	
Section 312333- Trenching and Backfillin	ng		(Sum of II thru JJ)	18
	II. JJ.	Materia Labor	l	
Section 312500- Erosion and Sediment (Control		(Sum of KK thru LL)	19
	KK. LL.	Materia Labor	I	
Section 315000 Excavation Support and	Protecti	on	(Sum of MM thru NN)	20
	MM. NN.	Materia Labor	I	

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Section 321216- Asphalt Paving			(Sum of OO thru PP)	21
	oo. PP.	Materia Labor	l	
Section 321313- Concrete Paving			(Sum of QQ thru RR)	22
	QQ. RR.		I	
Section 321316- Decorative Concrete Pa	iving		(Sum of SS thru TT)	23
	SS. TT.	Materia Labor	I	
Section 321373- Concrete Paving Joint S	Sealants		(Sum of UU thru VV)	24
	UU. VV.	Materia Labor	l	
Section 321400- Unit Paving			(Sum of WW thru XX)	25
	WW. XX.	Materia Labor	l	
Section 321613- Curbs			(Sum of YY thru ZZ)	26
	YY. ZZ.		l	
Section 321713- Parking Bumpers		(Sum o	f AAA thru BBB)	27
	AAA. BBB.		l	
Section 321723- Pavement Markings		(Sum o	f CCC thru DDD)	28
	CCC. DDD.	Materia Labor	l	
Section 323113- Chain Link Fences and	Gates	(Sum of	EEE thru FFF)	29
	EEE. FFF.	Materia Labor	l	
				4 of 10

Section 323119- Decorative Metal Fence and Gates	es	(Sum of GGG thru HHH)	30
	GGG. HHH.	Material Labor	
Section 323119.03- Decorative Metal Sc and Louver Gates	reen	(Sum of III thru JJJ)	31
	III. JJJ.	Material Labor	
Section 323140- Timber Guide Rails		(Sum of KKK thru LLL)	32
	KKK. LLL.	Material Labor	
Section 328000- Irrigation System		(Sum of MMM thru NNN)	33
	MMM. NNN.	Material Labor	
Section 328001- Rainwater Harvesting Tank & Pump System		(Sum of OOO thru PPP)	34
Section 329115- Soil Preparation (Performance Specification)		(Sum of QQQ thru RRR)	35
	qqq. RRR.	Material Labor	
Section 329200- Turf and Grasses		(Sum of SSS thru TTT)	36
	SSS. TTT.	Material Labor	
Section 329300- Plants		(Sum of UUU thru VVV)	37
	UUU. VVV.	Material Labor	

Section 330500- Common Work Results for Utilities		(Sum of	f WWW thru XXX)	38
	WWW. XXX.	Materia Labor	l	
Section 330513- Manholes and Structure	es	(Sum of	f YYY thru ZZZ)	39
	YYY. ZZZ.		l	
Section 331100- Water Distribution Syst	ems		(Sum of A1 thru B1)	40
	A1. B1.		l	
Section 334000- Sanitary Sewer and Sto	orm Draii	nage	(Sum of C1 thru D1)	41
	C1. D1.		l	
Section 481614- Geothermal Well Drillin and Horizontal Pipe Installation	g		(Sum of E1 thru F1)	42
	E1. F1.		l	
Section 003124.13- Limited Subsurface Investigation Phase I Environmental Ass	sessmen	t	(Sum of G1 thru H1)	43
	G1. H1.		l	
Section 003132.13- Geotechnical Report April 19, 2012 & June 30, 2006				
including all related specification section	IS.		(Sum of I1 thru J1)	44
	I1. J1.	Materia Labor	l	

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Bid Item B: Breakout for Work Authorization Order #2

Temporary Fence:	\$ Total
Erosion & Sedimentation Control	\$ Total
Site Demolition (Less Asphalt)	\$ Total
Storm Drainage System (Complete)	\$ Total
Sanitary System (Complete)	\$ Total
Domestic & Fire System (Complete)	\$ Total
Gas Excavation & Backfill	\$ Total
Site Electrical	\$ Total

Contract to be awarded to lowest qualified bidder. Until overall project GMP has been approved by the Owner, only the work, as outlined in Authorization Order #2 noted above can take place. All other work, which will be part of the contract to the lowest qualified bidder, will be on hold until the GMP is approved.

BID ITEM C: Unit Prices

Unit Prices shall be used, where applicable, to make adjustments to the cost of the Work due to changes. All Unit Prices submitted shall be complete in-place (unless otherwise noted) and include all costs for overhead, profit, labor, materials, equipment, and any other incidentals related to the completion of the Work, and shall remain firm for the period of the contract. Unit Prices listed are for added work. Deductive unit prices will be calculated at no less than 85% of the additive unit price (100% if used in conjunction with an allowance). Subcontractor shall provide a licensed surveyor to determine elevations of materials associated with earth and rock removal to determine the total area removed and replaced as it relates to unit costs.

Retaining Wall Patching:	\$ per SF
Crack Repair & Injection Retaining Wall	\$ per LF
Class 1 Bituminous Binder Course:	\$ per ton
Class 2 Bituminous Concrete Wearing Course:	\$ per ton
Pavement Repair:	\$ per SF
Concrete Encasement:	\$ per CY
Concrete Sidewalk, incl excavation and backfill:	\$ per SF
Interior Trench Excavation	\$ per CY
Unit Cost for Rock Removal	\$ per CY
Timber Guide Rail:	\$ per LF
Chain Link Fence:	\$ per
LFDecorative Fence:	\$ per LF

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Furnish and Place the following materials: (a) Common fill

(a)	Common fill:	\$	per CY
	Screened gravel:	\$	per CY
	Processed gravel:	\$	per CY
	6" Crushed stone:	\$	per C
	³ / ₄ " Crushed stone:	\$	per CY
	Rip-Rap:	\$	per C
	Concrete:	\$	per CY
	Sod:	\$	per er
(i)	Seed:	\$	per SF
(i) (j)		\$\$	per SI
	Bedding Sand:	\$\$	per CY
Concrete Block (dead-man):		\$\$	per EA
Disposal of CRW Unlined Land		\$	per EA
Disposal of CRW Lined Landfi		\$\$	per TN
Disposal of CRW at a RCRA La		↓ ¢	per TN
30 CY Dumpster:		\$ \$	per FA
Excavator over 3 CY:		\$	per HR
Excavator 1 -3 CY:		\$	per HR
Excavator under 1 CY:		\$	per HR
Loader 3 CY and Over:		\$	per HR
Loader under 3 CY:		\$	per HR
Off Road Dump/Rock Truck:		\$	per HR
Backhoe:		\$	per HR
Bulldozer:		\$	per HR
Roller:		\$\$	per HR
Plate Compactor:		\$\$	per HR per HR
	pe Including Fittings & Valves	\$	per LF
	pe melaanig mungs a varves	Ψ	PCi Li

BID ITEM D: ALLOWNACES

All Bidders are to note that allowance quantities provided in Section 01 22 00 are to be part of the base bid. The unit costs that are to be provided will reflect additions or reductions to those quantities given. Any allowance not used will be issued as a deduct change order.

#7: Removal of deteriorated concrete and subsequent replacement and retaining wall: 200 square feet:	patching at \$	
#8: Crack repair and injection at site retaining wall: 250 linear feet:	\$	_/LF
#30: Domestic type water well: 150 feet:	\$	_/LF
80 hours of Operator and Equipment to off load per Item A under of Site Work Bid Package	-	-
(2) Laborers for (7) month duration to clean per Item B under Gen Site Work Bid Package	-	
Gas meter relocation (allowance)	\$ 5,000	

****** Quantities will be measured in place. Quantities derived from delivery tickets or invoices will not be accepted******.

BID DOCUMENT CHECK LIST:

Bidder is to provide all documents as listed below with their properly identified bid. Bidder's **<u>initials</u>** are required on all lines of **following listed** items.

- _____ Original and (2) copies of Bid Form <u>on Bidders Letterhead</u>
- _____ DAS Qualification/Certification
- _____Bid Security
- _____Bidder Qualification Statement
- _____ Non-Collusion Affidavit
- _____ Surety's letter of intent to issue Payment and Performance Bond
- List of bidders primary subcontractors and suppliers (on separate letterhead)

Bidder agrees by execution and submission of this bid that its bid inclusive of Base Bids, Alternates, and Unit Prices is valid and irrevocable for a minimum of (90) calendar days from the bid due date, that the Bidder unconditionally agrees (if awarded) to all terms and conditions of the Bid Documents, and that failure of Bidder (if awarded) to execute a contract consistent with its bid will subject Bidder to automatic forfeiture of Bidder's Bid Security.

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By submitting this bid, Bidder acknowledges receipt of the following addenda:

BIDDER:		
Name:		
Address:		
Telephone #	Fax #	
Typed Name of Officer		
Signature of Officer		
Title of Officer		
Date		

END OF BID FORM

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JM Wright Regional Vocational Technical School

Structural Demolition Package – Addendum

November 30, 2012

<u>SD-111</u>

- Revise wording on storm line identification from "EXISTING 36"STORM BELOW SLAB TO REMAIN" to "EXISTING 36"STORM APPROX 10'-0" BELOW SLAB TO REMAIN.
- 2. Add the following Note to the Notes listed on the right side of sheet.

10. BOTTOM OF EXISTING FOOTINGS ARE LOCATED APPROXIMATELY 5'-0" BELOW TOP OF EXISTING SLAB-ON-GRADE UNLESS NOTED OTHERWISE. REFER TO RECORD DRAWINGS FOR ADDITIONAL INFORMATION.

3. Add coded Note 12 to Removal Keynotes which reads "REMOVE EXISTING FOUNDATION WALL TO 12" BELOW EXISTING SLAB-ON-GRADE". Refer to attached sketch SK-S1 for location of removal.

<u>SD-112</u>

1. Add the following Note to the Notes listed on the right side of sheet.

10. BOTTOM OF EXISTING FOOTINGS ARE LOCATED APPROXIMATELY 5'-0" BELOW TOP OF EXISTING SLAB-ON-GRADE UNLESS NOTED OTHERWISE. REFER TO RECORD DRAWINGS FOR ADDITIONAL INFORMATION. Add the following sentence to Coded Note 1 in the REMOVAL KEYNOTES: SLAB AND EXISTING SUBBASE SHALL BE REMOVED TO 1'-1" BELOW EXISTING TOP OF SLAB ELEVATION".

<u>SD-116</u>

- 1. Delete coded note 4 on Removal Keynotes list.
- 2. Modify area of removal of existing elevated slab and steel floor framing identified by coded note 8 on the Removal Keynotes and as indicated on the attached sketch SK-S2.

<u>SD-117</u>

1. Modify area of removal of existing slab-on-grade identified by coded note 1 on the Removal Keynotes and location of match line as indicated on the attached sketch SK-S3.

<u>SD-121</u>

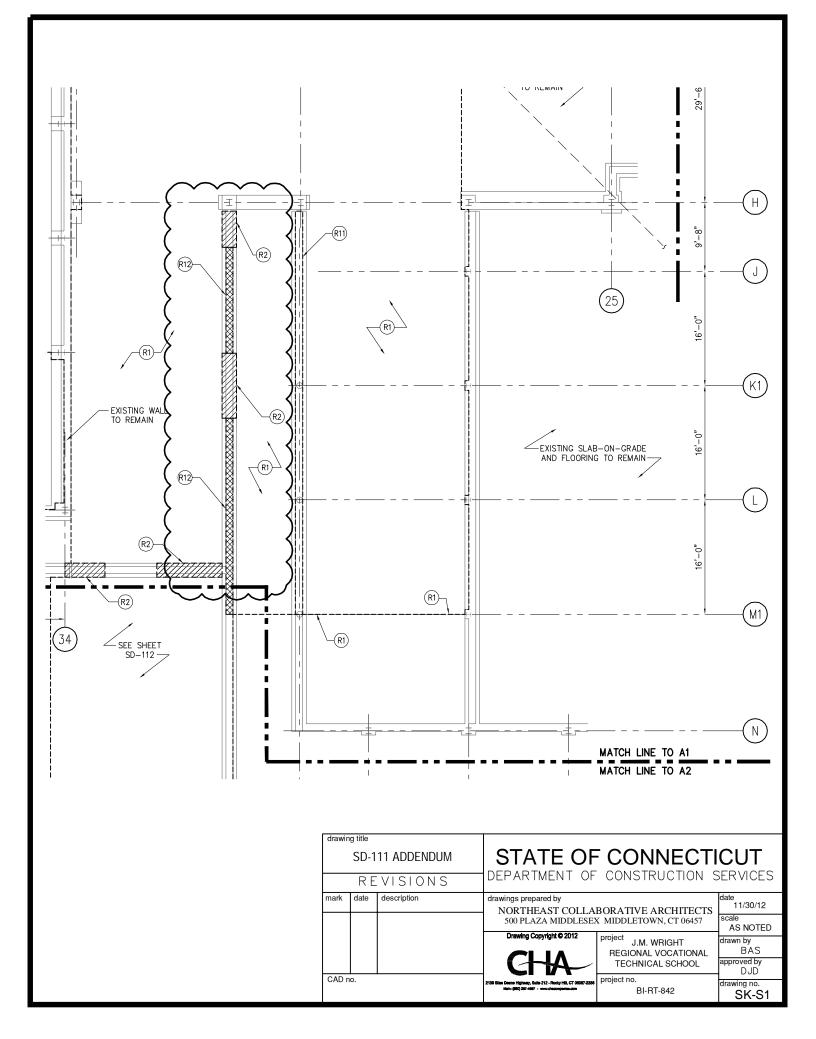
- Delete description for coded note 7 and replace with "EXISTING W14x30 BEAM TO BE REMOVED". This beam will be replaced instead of saved.
- 2. Five existing steel joist and a section of elevated slab located above the joist will require demolition. This removal has been scheduled because the joists have been overloaded and have failed. Refer to attached sketch SK-S4.

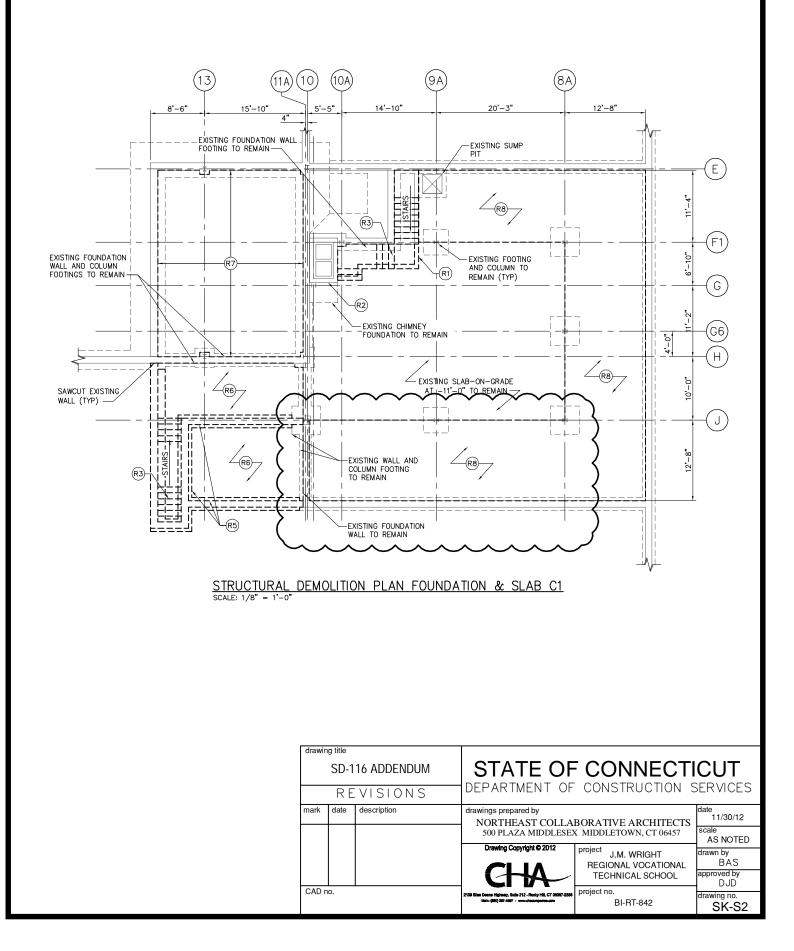
<u>SD-122</u>

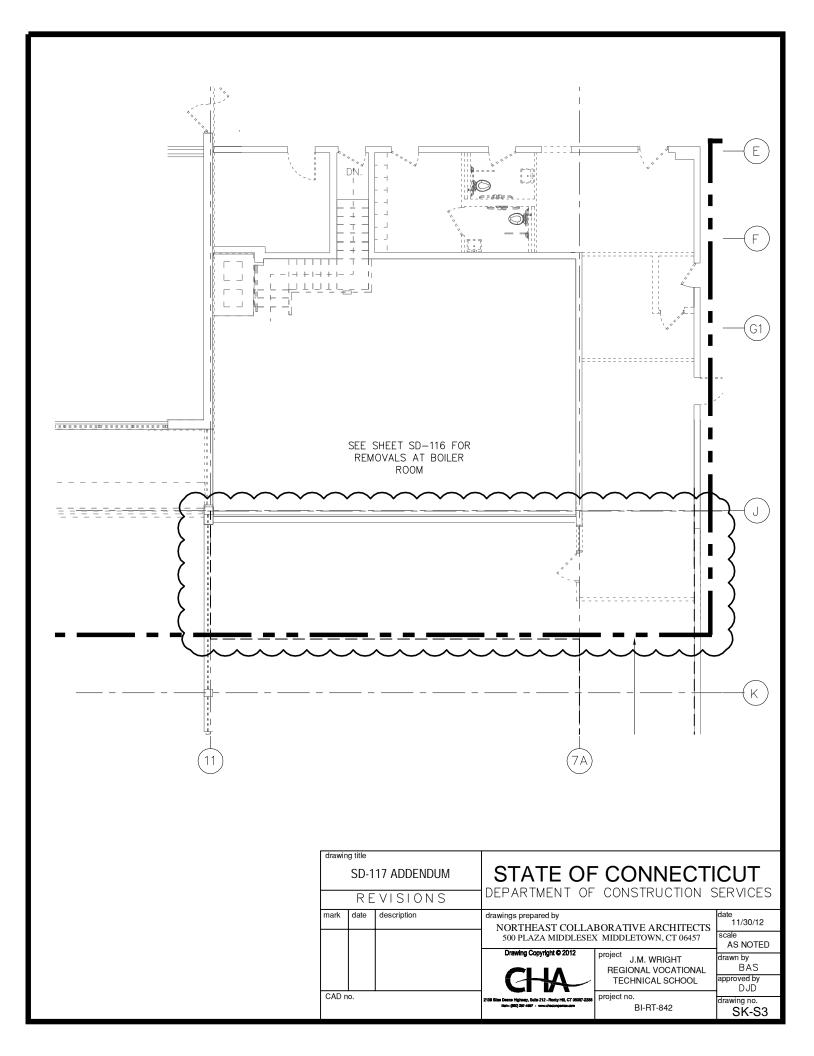
1. Column line bubbles have been added per attached sketch SK-S5 to locate the columns and framing requiring removal.

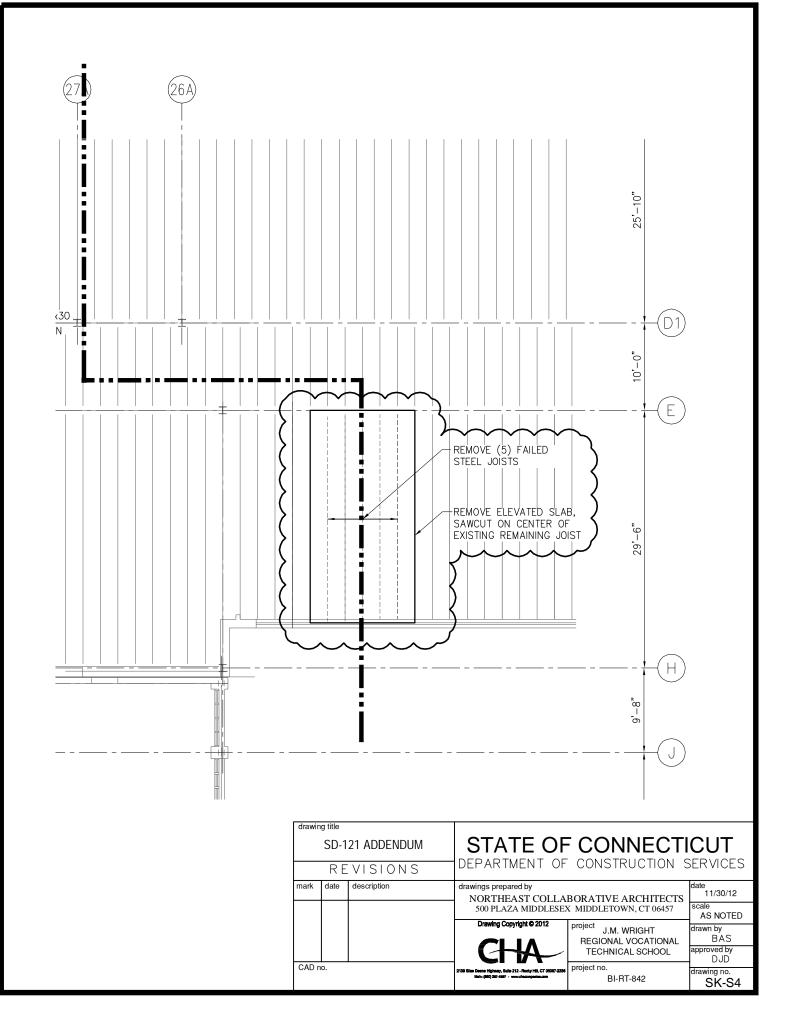
<u>SD-132</u>

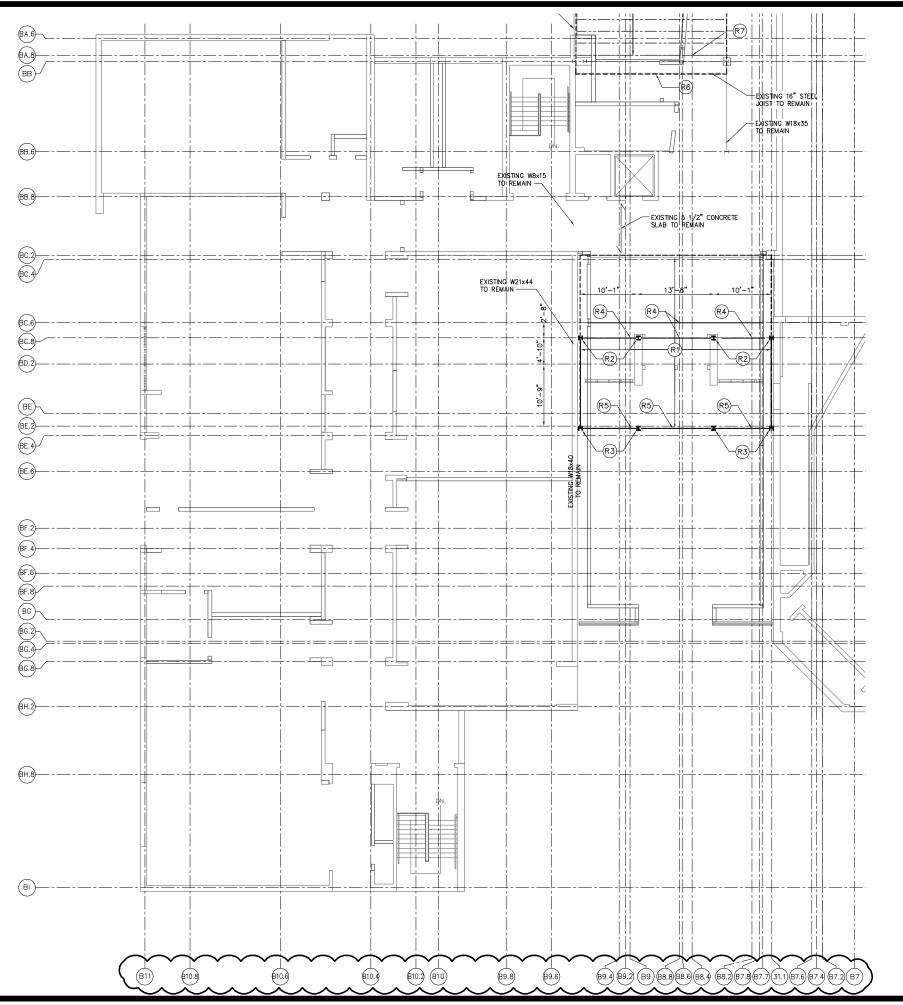
2. Column line bubbles have been added per attached sketch SK-S6 to locate the columns and framing requiring removal.











drawing title mark date description CAD no.



